

**Site Plan Review Committee****COMMUNITY DEVELOPMENT DEPT.****360-330-7662**Emil Pierson, CD Director
epierson@cityofcentralia.comHillary Hoke, Asst. Director
hroke@cityofcentralia.comMike Watilo, Building Official
mwatiло@cityofcentralia.com**PUBLIC WORKS DEPARTMENT****360-330-7512**Kim Ashmore, PW Director
kashmore@cityofcentralia.comAndy Oien, Asst. Director
aoien@cityofcentralia.comCity Engineering
Patty Page, City Engineer
ppage@cityofcentralia.comWaste Water Department
Holly Fuller, Wastewater Operations Mgr.
hfuller@cityofcentralia.comDee Russell, Pretreatment
drussell@cityofcentralia.comWater Department
Chris Stone, Water Operations Manager
cstone@cityofcentralia.comCity Light
ML Norton, CCL General Manager
mlnorton@cityofcentralia.comDave Hayes, Electrical Engineering
dhayes@cityofcentralia.comAdministration
Kerissa Sauceda, Office Coordinator
ksauceda@cityofcentralia.com**RIVERSIDE FIRE AUTHORITY****360-330-9854**Kevin Anderson, Asst. Chief/Fire Marshal
kanderson@riversidefire.net**LEGAL DEPARTMENT****360-330-7675**City Attorney
Kyle Manley
kmanley@cityofcentralia.com**SITE PLAN REVIEW COMMITTEE****Meeting Agenda***Monday, March 25, 2024**Join Zoom meeting:*

<https://us02web.zoom.us/j/85356833930?pwd=aFJUanFIRXFwWWM1d0xCQnBqQmxodz09>

*Meeting ID: 853 5683 3930**Passcode: 770823**Join by mobile: #1-253-215-8782***Applicants should be at the meeting and prepared to discuss their development.****The public is invited to participate in all Site Plan Review meetings.****9:00 AM STAFF REVIEW TIME**

1. Weekly Permit List

10:00 AM – Site Plan Review

Project Name:	Long Road Parking Lot
Applicant/Owner:	Stefan Mitu
Property Address:	1257 S Yew Street
Contact Phone:	360-888-7759
Email:	stefanmitu13@gmail.com
Zone:	GCD, Gateway Commercial District
Comp. Plan:	GCD, Gateway Commercial District
Parcel Information:	021599-000-000, 0.67 AC
Request:	Final civil plan approval for parking lot construction and remodel of existing



03/07/2024 - 03/21/2024

Permit #	Permit Date	Building /Land Use	Permit Type	CONSTRUCTION SITE ADDRESS	Description of work being done under this permit	Applicant Name
20240188	3/21/2024	Building Permit	Commercial - Remodel	105 N Tower Ave	Constructing 2 new exam rooms, office, lab room and med room in existing suite.	Josh Cole
20240187	3/21/2024	Building Permit	Single Family - Remodel	702 SCOTT DR. CENTRALIA, WA 98531	PARTITION (E) DINING ROOM TO CREATE BEDROOM D. REMODEL BEDROOM C AND ITS CLOSET TO CREATE (2) BEDROOMS. REMODEL BATHROOM A & B AS PER PLANS. REMODEL MASTER BEDROOM TO CREATE BEDROOM E, OFFICE AND STORAGE. CONSTRUCT CONCRETE RAMP. RAMP IS LESS THAN 30" ABOVE GROUND.. REMODEL SF IS 340SF. INSTALL 2 BATHROOMS	GEORGE NGANGA
20240186	3/21/2024	Building Permit	Plumbing	1026 J Street	Moving a hot water heater and demoing a wall in the garage	Harold Kaski
20240185	3/20/2024	Building Permit	Reroof	Centralia little League Batting Cage	Re-Roof. This job is a donation for the non-profit organization. We only charge for the material and employees pay day. No profit for the company. They going to used the same metal, we only going to replaced under it.	Umberto Venegas

20240184	3/19/2024	Building Permit	Commercial - Remodel	1506 S Gold Street	Installing engineered trusses to existing structure as per conversation w/bldg official to bring to code	Alfredo Luque
20240183	3/19/2024	Building Permit	Commercial - Remodel	1506 S Gold Street	Walk-In Closet	Alfredo Luque
20240182	3/19/2024	Building Permit	Single Family - Remodel	1506 S Gold Street	Man Cave	Alfredo Luque
20240181	3/18/2024	Building Permit	Demolition	405 N Tower Avenue	Removing falling plaster for new drywall	Samuel Cots
20240180	3/18/2024	Building Permit	Reroof	610 W Pine Street	Tear off existing composition roof and install 30yr architectural shingles	Rosalio Martinez
20240179	3/18/2024	Building Permit	Reroof	2210 Sirkka Avenue	Re roof	Christians Roofing
20240178	3/18/2024	Building Permit	Mechanical	600 Centralia College Blvd, Centralia, WA 98531	Demo and remove existing boiler. Install new flat plate heat exchanger. Replace existing boiler circulation pump.	Sunset Air
20240177	3/14/2024	Building Permit	Multi-family-New Build	3005 Russell Road	Construction of a duplex	Brett Bates (Bella Rose Townhouses LLC)
20240176	3/14/2024	Building Permit	Multi-family-New Build	3005 Russell Road	Construction of a triplex	Brett Bates (Bella Rose Townhouses LLC)

20240175	3/14/2024	Building Permit	Commercial - Remodel	3510 STEELHAMMER DR, CENTRALIA, WA 98531	COVERT STAFF AREA OF EXISTING RTF INTO 23-HR CRISIS RELIEF CENTER FOR EVALUATION OF PERSONS PRIOR TO LONGER-TERM PLACEMENT. PROJECT ALSO INCLUDES CONVERSION OF WARMING KITCHEN INTO COMMERCIAL KITCHEN TO SERVE EXISTING AND NEW FACILITIES.	RON WRIGHT & ASSOCIATES/ ARCHITECTS
20240174	3/14/2024	Building Permit	Reroof	2455 Borst Avenue	Repair	Ken Slater
20240173	3/14/2024	Building Permit	Single Family - Remodel	608 W Pine Street	Replace foundation posts on south and east walls.	Michael Morgan
20240172	3/14/2024	Building Permit	Single Family - Remodel	823 H Street	Sunroom window replacement	CARETEK, LLC
20240171	3/14/2024	Building Permit	Commercial - Remodel	1100 N Tower Avenue	Replacing exterior windows, 2x6 wall, ceiling tiles and wood rot	Kim Ashmore
20240170	3/14/2024	Building Permit	Commercial - Addition	2312 N Pearl Street	Build a 91x36 storage building with bathroom	Miguel Orozco
20240169	3/13/2024	Building Permit	Mechanical	702 F St	install new single zone ductless heat pump	Elissa Carbajal
20240168	3/12/2024	Building Permit	Single Family Residence - New	119 Davis View Drive	Build one SFR and connect to the existing septic and well	CBW Construction
20240167	3/12/2024	Building Permit	Mechanical	144 River Heights Road	Install a gas insert and liner	Olympia Fireplace & Spa
20240166	3/12/2024	Building Permit	Mechanical	739 S Silver Street	Replace electric water heater	Red Swan
20240165	3/12/2024	Land Use Application	SEPA	215 N Pearl	SEPA for civil work and future construction of 2 - 16-unit each apartment buildings	Austin Groves, RJ Development

20240164	3/12/2024	Building Permit	Duplex - New	0 1st Street	Building a duplex	Brad & Ryan Clark
20240163	3/12/2024	Building Permit	Multi-family- New Build	0 1st Street	Building a 4-plex	Brad & Ryan Clark
20240162	3/12/2024	Building Permit	Multi-family- New Build	0 1st Street	Building a 4-plex	Brad & Ryan Clark
20240161	3/12/2024	Building Permit	Multi-family- New Build	0 1st Street	Building a 4-plex	Brad & Ryan Clark
20240160	3/12/2024	Building Permit	Multi-family Remodel	0 1st Street	Building a 4-plex	Brad & Ryan Clark
20240159	3/12/2024	Building Permit	Multi-family- New Build	0 1st Street	Building a 4-plex	Brad & Ryan Clark
20240158	3/12/2024	Building Permit	Multi-family- New Build	0 1st Street	Building a 4-plex	Brad & Ryan Clark
20240157	3/12/2024	Building Permit	Accessory Dwelling Unit	615 Warsaw Street	Adding a 3 car garage with adu upstairs	Blanca Dado
20240156	3/12/2024	Building Permit	Commercial - Remodel	609 Harrison Avenue	Addition to existing gas station for store uses	Harhit Walia (Harry)
20240155	3/12/2024	Building Permit	Multi-family- New Build	2213 Harrison Avenue	10 units of multi-family housing (2 & 3 bedroom units) for families at risk of experiencing homelessness	Erin Hiller
20240154	3/12/2024	Building Permit	Single Family - Remodel	2020 Taylor Street	Remodel existing structure to single family residence and existing apartment to remain	Michelle Hulbert
20240153	3/11/2024	Building Permit	Mechanical	1712 Hillview Rd	Install Trane gas furnace	Chehalis Sheet Metal
20240152	3/11/2024	Building Permit	Mechanical	2402 Ham Hill Rd	Install trane heat pump system.	Chehalis Sheet Metal
20240151	3/11/2024		Reroof	926 G Street	Tear-off existing roof layer, installation of new asphalt shingle roof	Lorenzo Merino
20240150	3/8/2024	Building Permit	Demolition	1900 Cooks Hill Road	Removal of wet drywall, insulation and flooring	Heritage Restoration
20240149	3/8/2024	Building Permit	Mechanical	3411 Russell Road	Ductless Heat Pump Installation	Eric Conrad
20240148	3/8/2024	Building Permit	Single Family - Remodel	1222 St Helens	Adding a ramp, removing the bath tub and tiling the floor. Will be needing a WABO inspection, convert to AFH	Fatou Silameh Kassama

20240147	3/7/2024	Building Permit	Mechanical	1309 Windsor Ave	Replacing existing single ductless heat pump for new like and kind	Elissa Carbajal
20240145	3/7/2024	Building Permit	Special Inspection	215 North Rock Street	CONDUCT A PRESSURE TEST ON THE EXISTING GAS SUPPLY LINES SO PUGET SOUND ENERGY WILL HOOK UP A GAS METER	C.D.W. CONSTRUCTION LLC
20240144	3/7/2024	Building Permit	Mechanical	1607 Military Road	Replacing outdoor unit	Brian Elliott
20240143	3/7/2024	Building Permit	Commercial - Remodel	105 North Tower Ave	Rebuilding a staircase & adding support beams	Josh Cole
20240142	3/7/2024	Building Permit	Commercial - Remodel	328 N Tower Avenue	Painting small space and adding small bar & bar stools	Laura Duthie

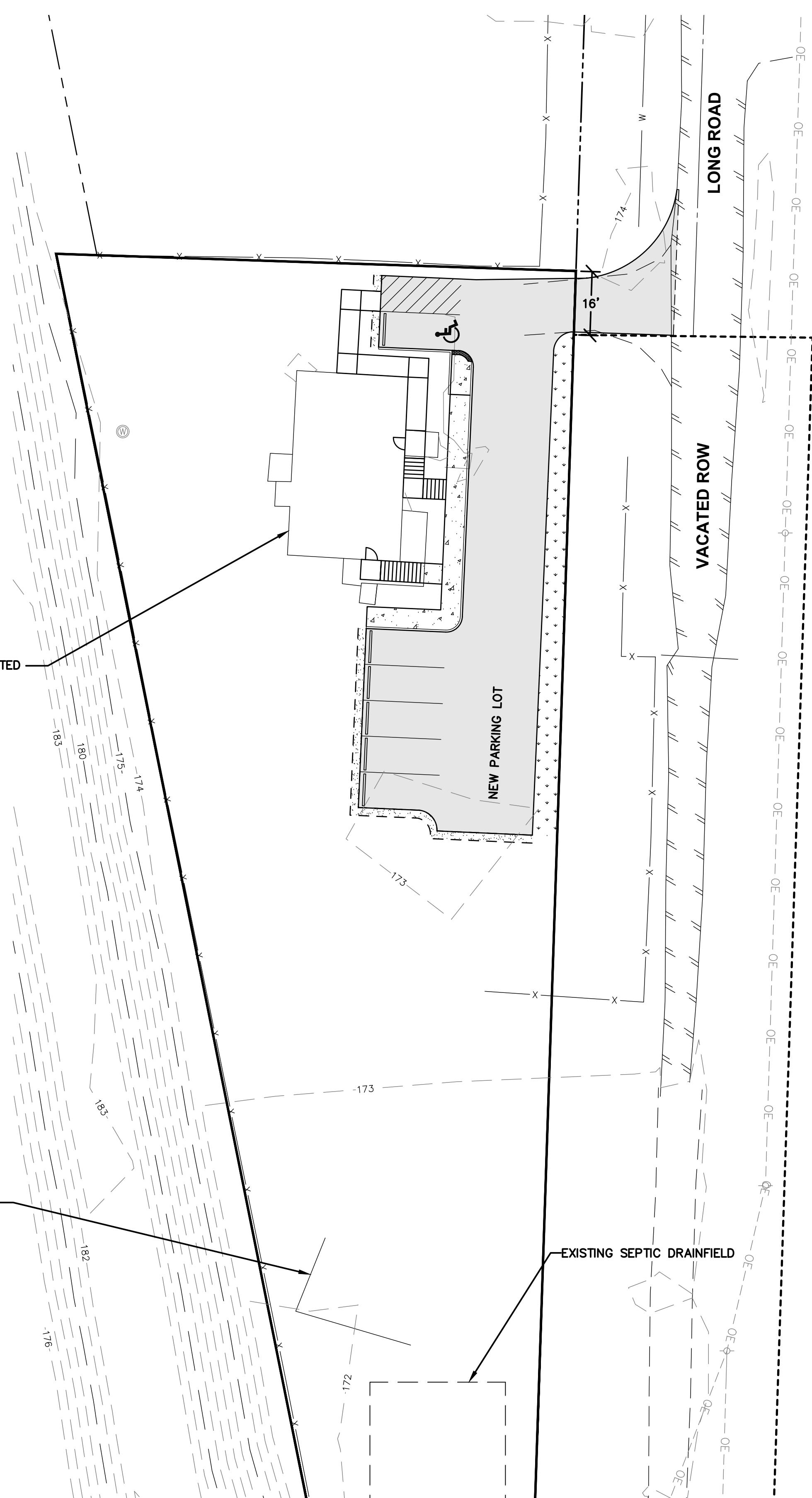
Total Records: 47

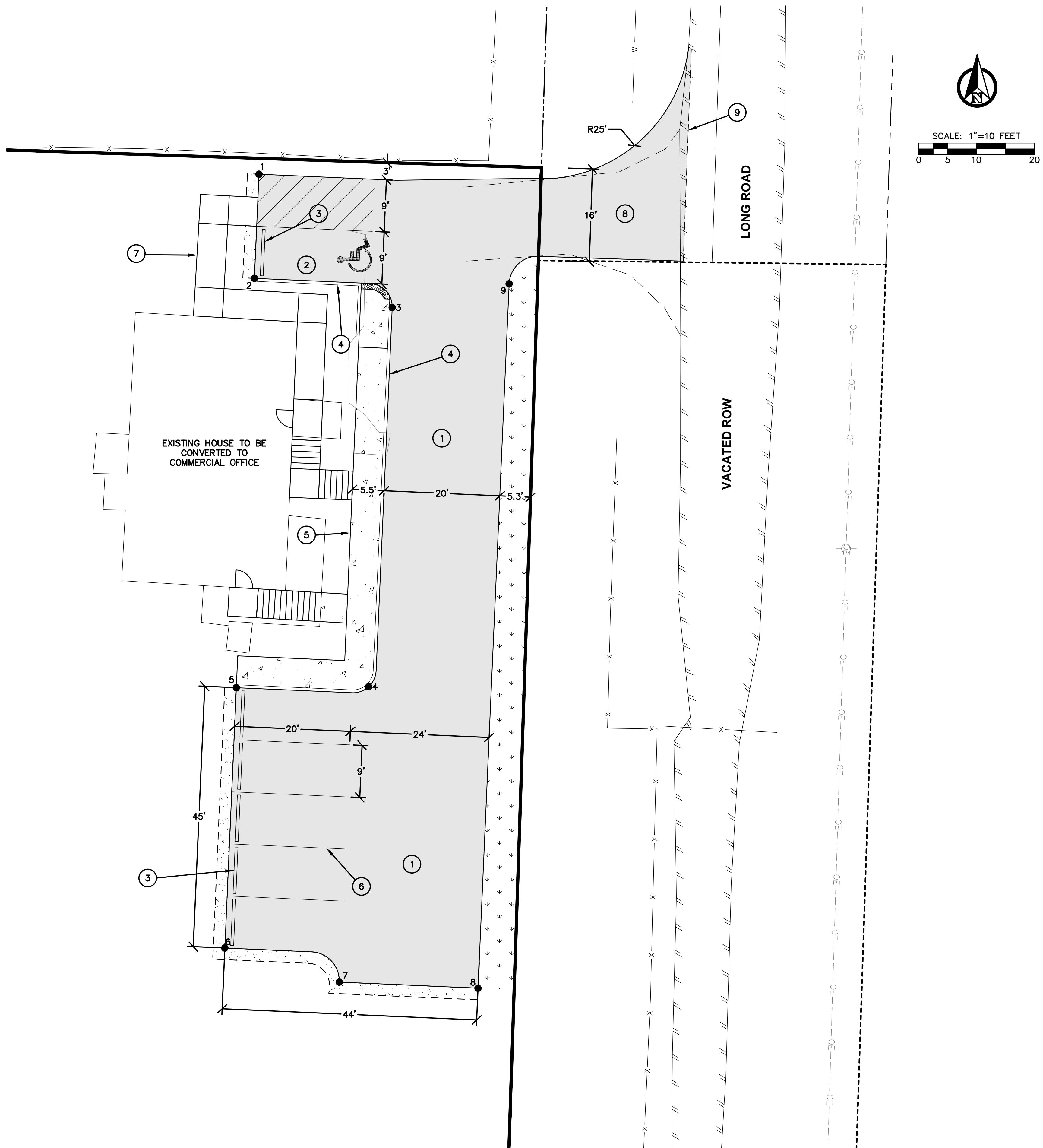
3/21/2024

LEGEND	
EXISTING	PROPOSED
— W	— W WATER MAIN
— SS	— SS SANITARY SEWER MAIN
— FM	— FM FORCE MAIN
— SD	— SD STORM MAIN
— RD	— RD ROOF DRAIN
— OE	— OE OVERHEAD POWER
— G	— G GAS LINE
— UGP	— UGP UNDERGROUND POWER
— T	— T TELEPHONE LINE
— TV	— TV CABLE TV LINE
—	— ROADWAY CENTERLINE
—	— RIGHT-OF-WAY LINE
—	— EASEMENT LINE
—	— FRONT/BACK OF CURB
—	— EDGE OF GRAVEL SHOULDER
—	— EDGE OF PAVEMENT

LONG ROAD PARKING

SECTION 18, TOWNSHIP 14 NORTH, RANGE 02 WEST, W.M.
LEWIS COUNTY, WASHINGTON





ORIZONTAL CONTROL NOTES:

- CONSTRUCT NEW PAVED OR CONCRETE PARKING LOT PER PLAN AND DETAIL ON SHEET C1.2.
 - CONSTRUCT NEW ADA PARKING STALLS AND STRIPING PER PLAN AND STD. DETAIL ON SHEET C1.2.
 - INSTALL CONCRETE WHEEL STOPS AT ALL PARKING STALLS. SEE STD. DETAIL ON SHEET C1.2.
 - CONSTRUCT NEW PARKING LOT CONCRETE BARRIER CURB PER STD. DETAIL ON SHEET C1.2.
 - CONSTRUCT NEW 5' WIDE ONSITE CONCRETE SIDEWALK PER STD. DETAIL ON SHEET C1.2.
 - STRIPE NEW PARKING LOT PARKING STALLS PER STD. DETAIL ON SHEET C1.2,
 - INSTALL NEW ADA RAMP. SEE SHEET C2.1 FOR GRADING REQUIREMENTS.
 - ALL PAVING IN RIGHT OF WAY SHALL MEET RIGHT-OF-WAY PAVING DETAIL ON SHEET C1.2. ALL HMA IN THE RIGHT OF WAY SHALL BE CLASS 1/2" PG64-22.
 - SAWCUT 6" INSIDE EXISTING EDGE OF PAVEMENT TO PROVIDE A CLEAN STRAIGHT EDGE. SEAL ALL JOINTS AFTER PAVING.

DATA NOTE:

ALL NEW SIDEWALKS SHALL NOT EXCEED 2% SIDE SLOPE AND ADA PARKING STALLS AND RAMP ENDINGS SHALL NOT EXCEED 2 PERCENT SLOPE IN ALL DIRECTIONS. ALL ADA ACCESSIBLE ROUTES IDENTIFIED ON THE PLANS SHALL NOT EXCEED 5% LONGITUDINAL GRADE. ALL ADA RAMPS SHALL NOT EXCEED 8% GRADE AND 2% CROSS SLOPE.

CONTRACTOR IS RESPONSIBLE TO CHECK GRADES PRIOR TO CONCRETE AND PAVING WORK. ANY GRADES EXCEEDING THE ABOVE LIMITS WILL BE REQUIRED TO BE CORRECTED AT THE SOLE EXPENSE OF THE CONTRACTOR.

COORDINATE TABLE

#	Description	Northing	Easting
	PARKING	508742.56	1020578.72
	PARKING	508724.58	1020577.93
	PARKING	508719.53	1020601.73
	PARKING	508654.06	1020597.67
	PARKING	508653.90	1020574.81
	PARKING	508608.94	1020572.82
	PARKING	508603.06	1020592.58
	PARKING	508602.01	1020616.56
	PARKING	508723.63	1020621.93



RB Engineering
DESIGN → PERMIT → MANAGE
1. Box 923
METHUILL, WA 98532
OFF: (360) 740-8919
EMAIL: CivilPros@RBEngineers.com

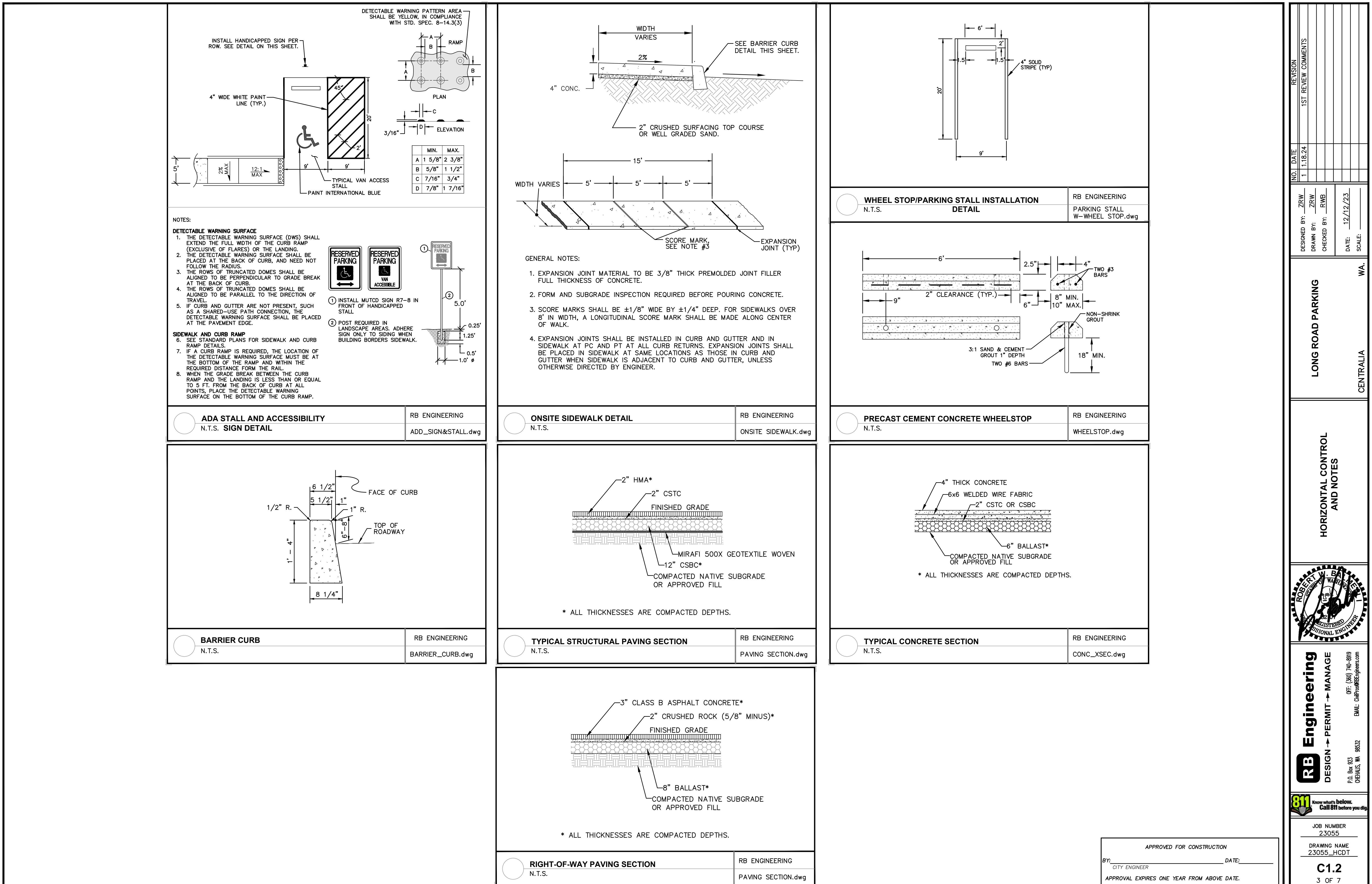


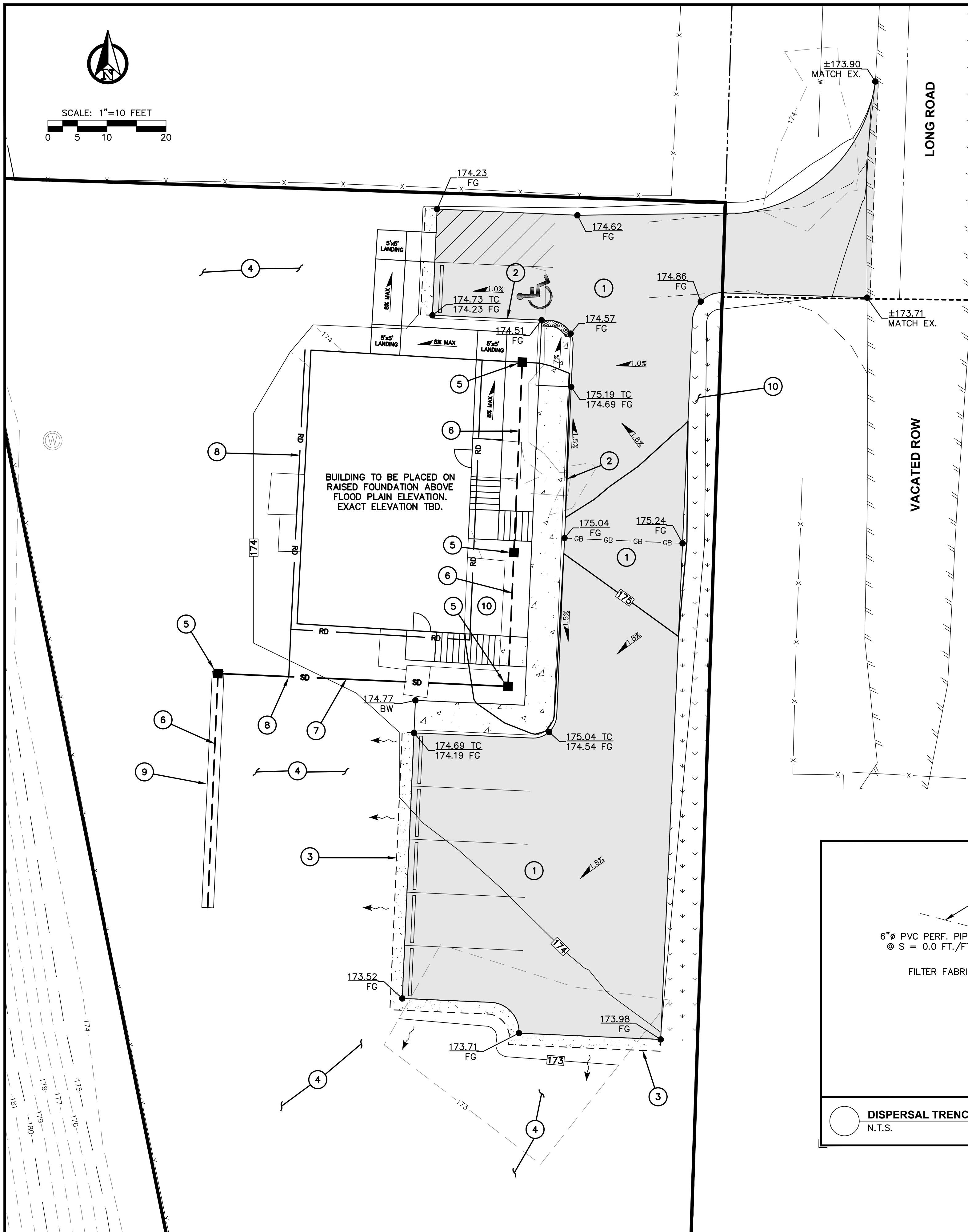
JOB NUMBER
23055

DRAWING NAME
23055_HCPL

C1.1

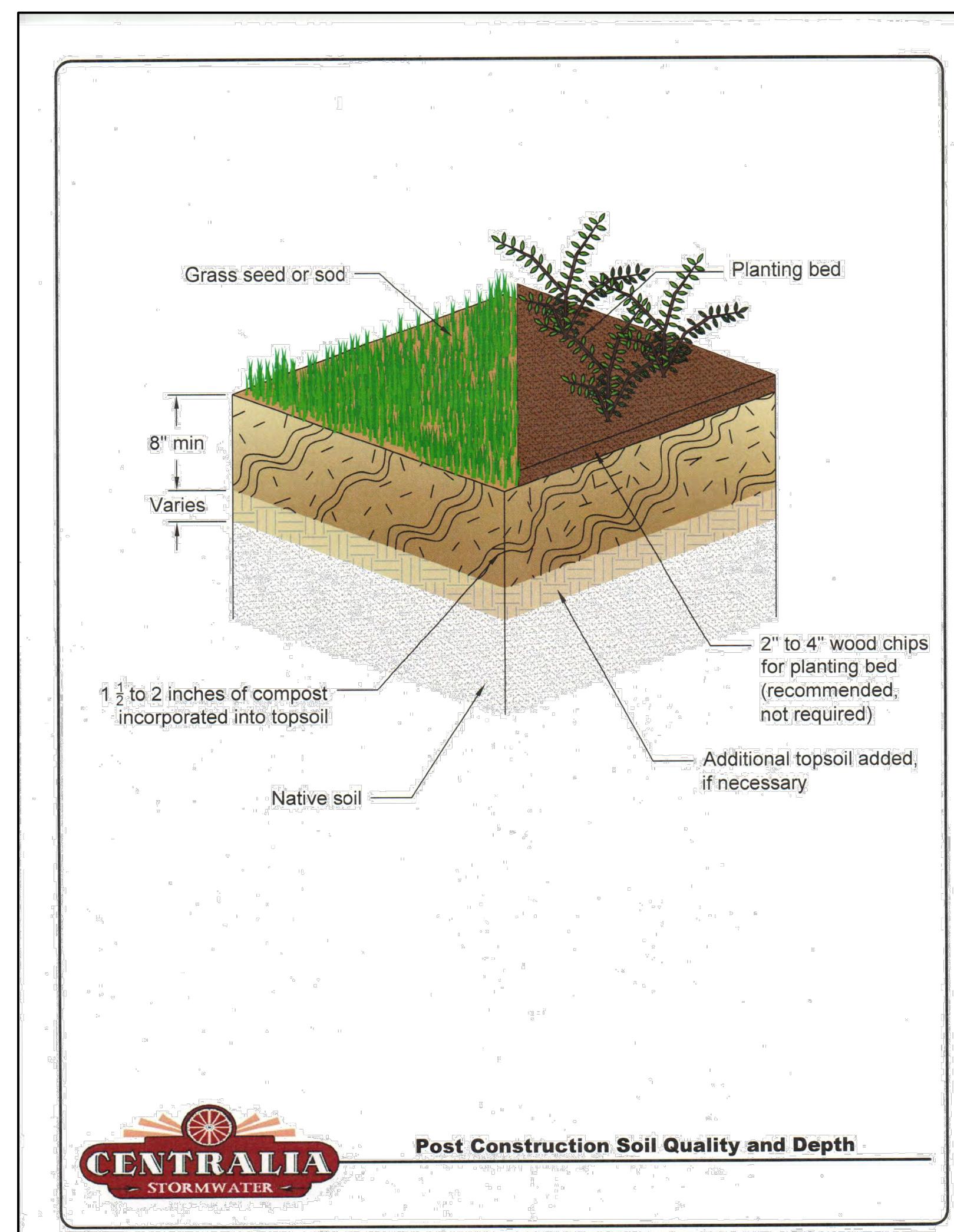
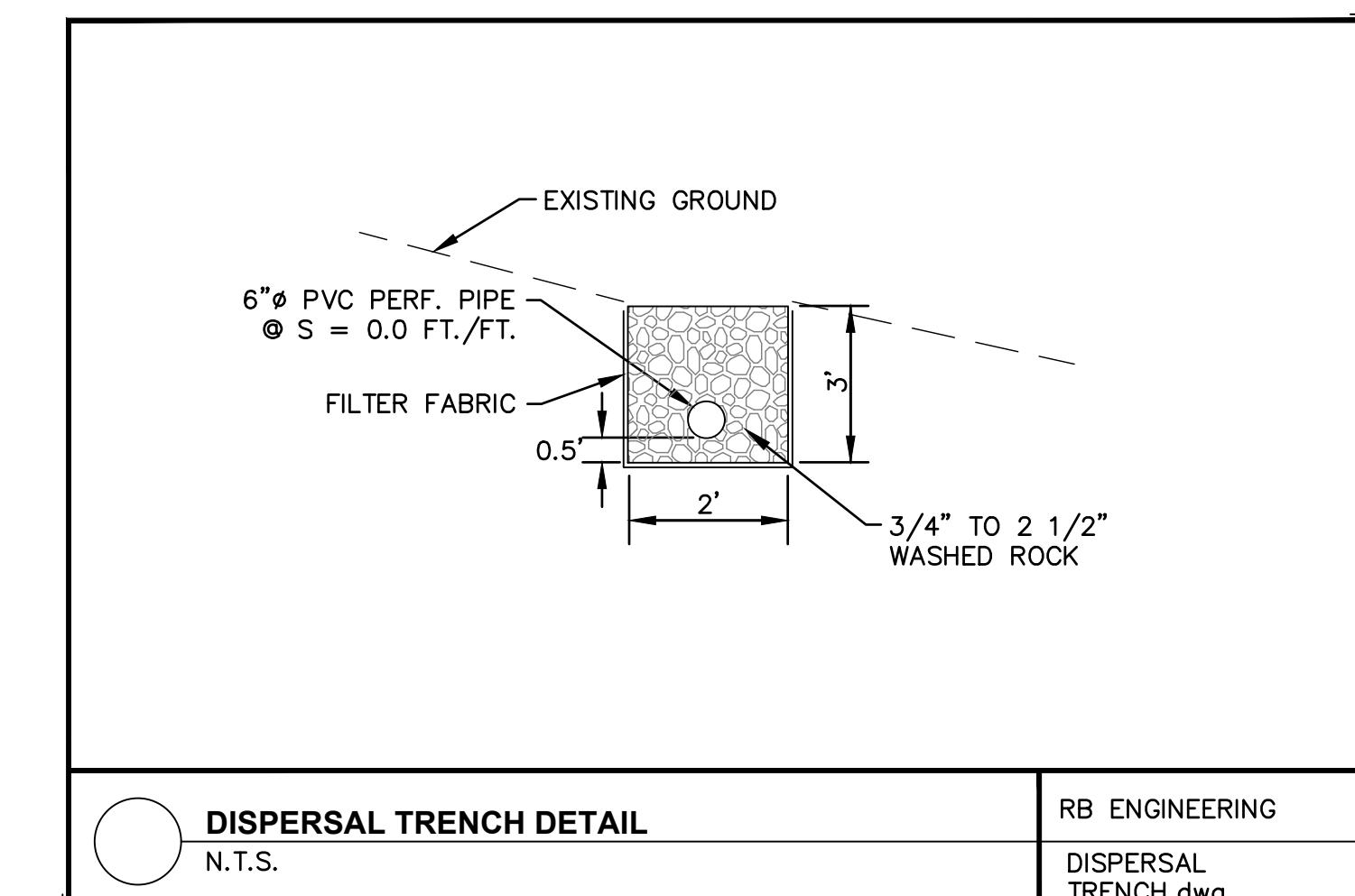
2 OF 7





GRADING AND DRAINAGE CONSTRUCTION NOTES:

- 1 GRADE NEW ASPHALT OR CONCRETE PARKING LOT PER PLAN AND PAVING SECTION ON SHEET C1.2..
 - 2 NEW CURB TO CONVEY STORMWATER RUNOFF AWAY FROM BUILDING AND DISCHARGE AT NEW DISPERSEL LOCATION.
 - 3 PROVIDE NEW 2' WIDE BY 6" THICK GRAVEL STRIP ALONG EDGE OF NEW PARKING LOT PER LIMITS SHOWN. GRAVEL STRIP TO PROMOTE SHEET FLOW DISPERSION FROM PARKING LOT RUNOFF.
 - 4 STORMWATER RUNOFF WILL SHEET FLOW INTO THE NATIVE SOIL AND INFILTRATE, WHICH MIMICS THE EXISTING SITE HYDROLOGY. THE SITE CREATES LESS THAN 5,000 SF OF NEW + REPLACES IMPERVIOUS SURFACE, THEREFOR STORMWATER CONTROL IS NOT REQUIRED.
 - 5 INSTALL NDS 18" YARD DRAIN AT LOCATIONS SHOWN AND CREATE SUMP TO DRAIN LANDSCAPE AREA.
 - 6 INSTALL 6" PERFORATED PVC DRAIN PIPE.
 - 7 INSTALL 6" SOLID PVC STORM PIPE.
 - 8 INSTALL 6" PVC ROOF DRAIN PIPE AROUND BUILDING. CONNECT TO NEW 6" DRAIN PIPE AT LOCATION SHOWN.
 - 9 CONSTRUCT NEW 40-FOOT LONG BY 2-FOOT WIDE DOWNSPOUT DISPERSEL TRENCH PER PLAN AND DETAIL ON THIS SHEET.
 - 10 ALL DISTURBED FINAL ONSITE SOILS SHALL MEET POST CONSTRUCTION SOIL QUALITY AND DEPTH PER CITY DETAIL BMP T5.13.



Post Construction Soil Quality and Depth

RB Engineering
DESIGN → PERMIT → MANAGE

P.O. Box 923
CHEHALIS, WA 98532

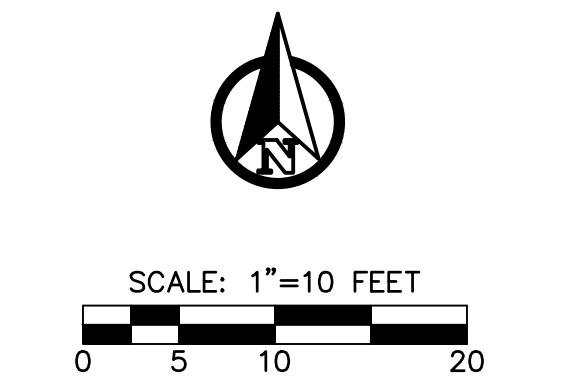
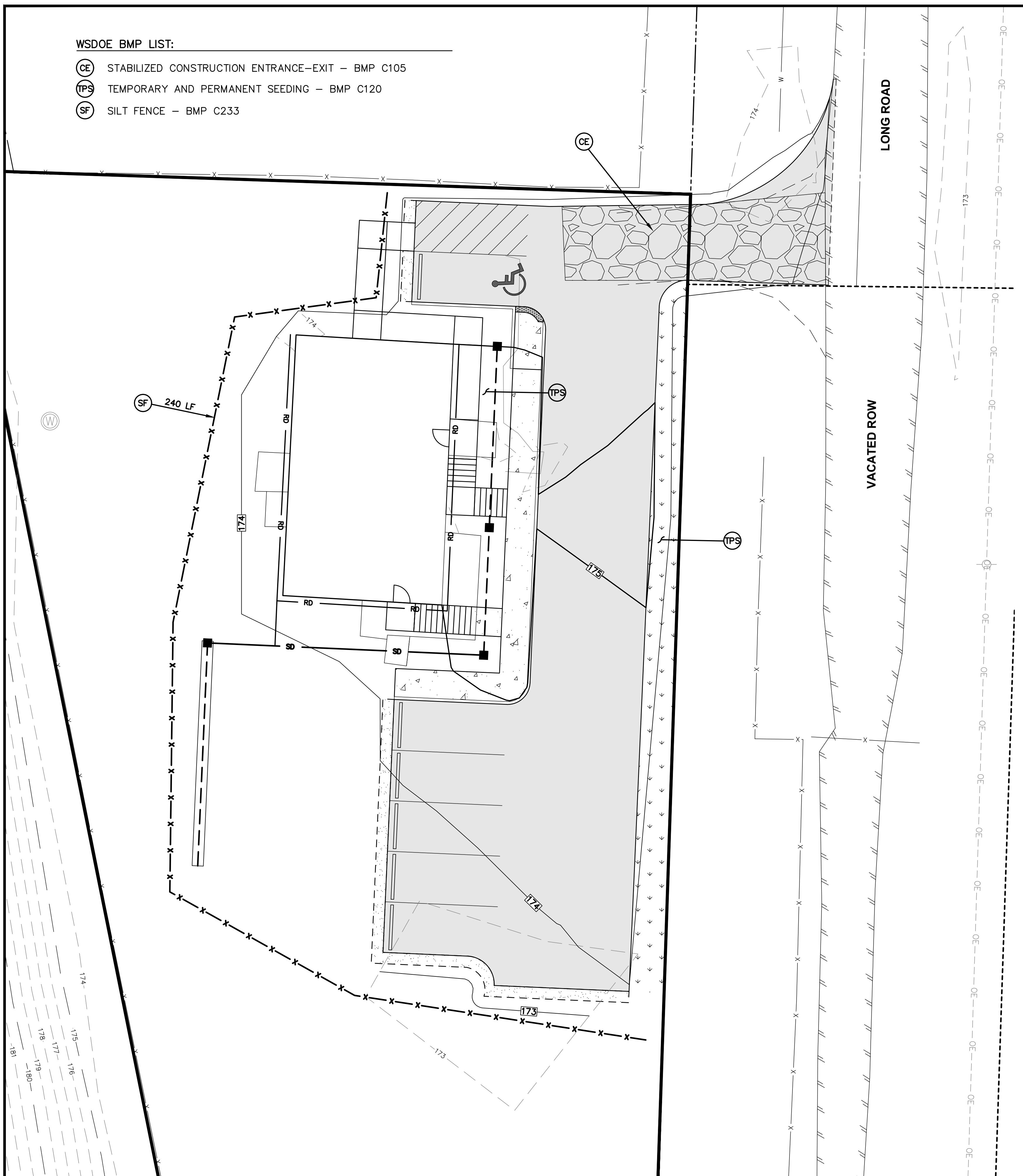
OFF: (360) 740-8919
EMAIL: CivilPros@RBEngineers.com

JOB NUMBER
23055

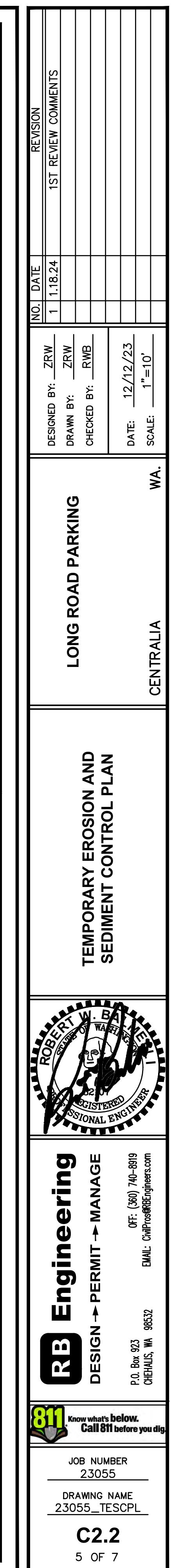
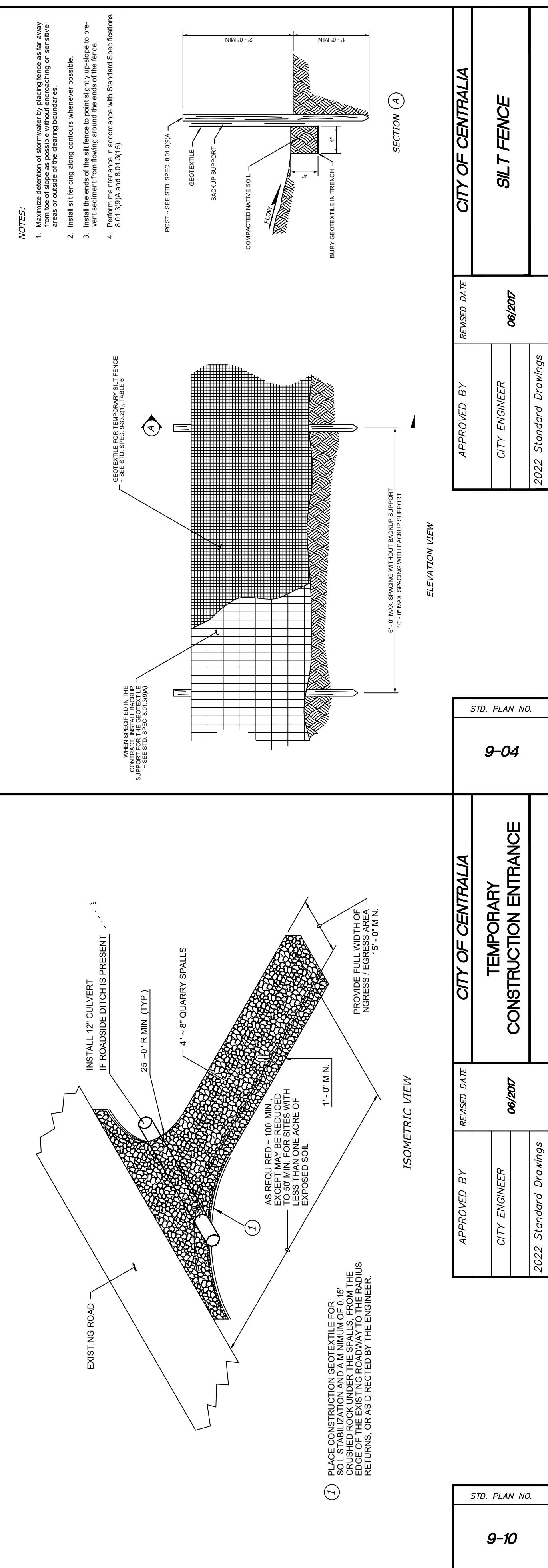
DRAWING NAME
23055_GDPL

C2.1

4 OF 7

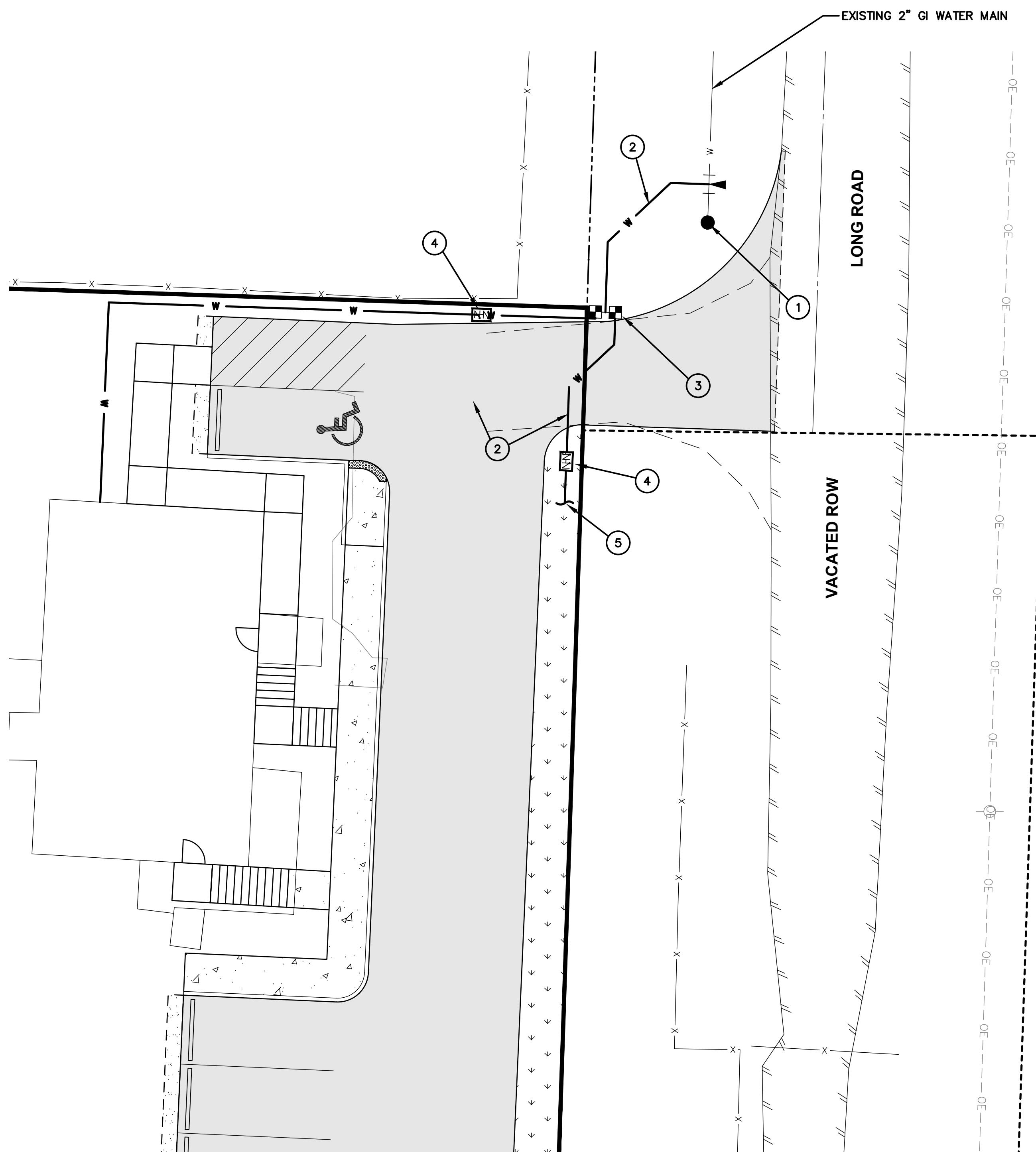


APPROVED FOR CONSTRUCTION
BY: CITY ENGINEER DATE:
APPROVAL EXPIRES ONE YEAR FROM ABOVE DATE.





SCALE: 1"=10 FEET
0 5 10 15 20



WATER UTILITY NOTES:

- ① CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING WATER BLOWOFF VALVE.
- ② INSTALL NEW 1" WATER SERVICE PIPE PER PLAN. BACKFILL UTILITY TRENCH PER DETAIL ON SHEET C3.2.
- ③ INSTALL NEW DUAL METER SETTER PER DETAIL ON SHEET C3.2. ONE METER FOR HOUSE, THE OTHER FOR POSSIBLE FUTURE IRRIGATION.
- ④ INSTALL NEW DOUBLE CHECK VALVE ASSEMBLY PER DETAIL ON SHEET C3.2.
- ⑤ STUB WATER LINE FOR POSSIBLE FUTURE IRRIGATION.

WATER MAIN INSTALLATION GENERAL NOTES

1. All workmanship and material shall be in accordance with the City of Centralia standards and the most current copy of the State of Washington Specifications for Road, Bridge and Municipal Construction, Washington Department of Health regulations and American Water Works Association standards.
2. All water lines 12" and larger shall be made of ductile iron, thickness class 52 and a rated working pressure of 350 PSI conforming to AWWA C151. All pipe shall be cement mortar lined per AWWA C104 with push on joints conforming to AWWA C111. Water lines under 12" diameter may be P.V.C. C-900 DR14.
3. Fittings shall be class 250 cement mortar ductile iron with mechanical joint or ANSI flanges. All bolted fittings shall be dressed with Anti-Seize product for protection. All ductile iron fitting connection(s) shall be completed by the use of mega-lugs or a compression fitting. Existing inline water main, all connections will be made using a Ductile Iron (DI) sleeve, with mega-lugs, or Roman Alpha coupling except when connecting to a AC main where a Hymax coupler (or equal) will be used.
4. Gate valves shall be resilient wedge, NRS (Non-Rising Stem) with O-ring seals. Valve ends shall be mechanical joint or ANSI flanges. Valves shall conform to AWWA (latest) 509 std. Valves shall be Mueller, M & H, Clow, Waterous, Kennedy or American AVK. Existing valves shall be operated by City employees only.
5. All NIBCO Gate Valves must have brass handles.
6. A valve stem riser shall be installed on all valves where the depth from finish grade to the top of the valve exceeds 1.5'.
7. Fire hydrants shall be 3-port M & H Reliance Style 129, Mueller Centurion, 5 1/4" with steamer port thread of 498. The distance between operating nut and break away flange shall be 32 inches in vertical measurement. All hydrant stems shall be epoxy coated. Each hydrant shall be provided with a Storz coupler on the steamer port. All hydrants shall be bagged until system is approved.
8. Brass wedges shall be installed in all ductile iron joints for continuity, two (2) per section of pipe. P.V.C. pipe, C.I.S. HDPE sch. 200 pipe shall be installed with toning (tracer) wire. Toning wire shall be UL listed and shall be solid core, 18 gauge insulated copper and shall be spliced to the top of the pipe to prevent movement during backfilling. The wire shall be tied loosely enough to prevent stretching and damage. The wire shall be brought up and tied off at valve body or meter setting.
9. The contractor shall maintain a min. cover of 30 inches and a max. cover of 36 inches over the pipe at all times.
10. All water mains shall be staked for grade and alignment by the design engineer or a licensed land surveyor. All vertical control shall be established using the 1988 USGS Datum.
11. All new water mains shall be filled and chlorinated for a minimum of 24 hrs prior to flushing. Contractor shall coordinate with the City to have lines filled and flushed.
12. Bacteria sampling of potable water lines shall be performed by the City prior to hydrostatic pressure testing. Contractor shall provide an approved sampling bottle from the Lewis County Health Dept., 360 NW North St, Chehalis, WA 98532.
13. All pipe and appurtenances shall be hydrostatically tested at 225 PSI (min.) for 15 minutes and witnessed by the City. Fire line testing behind the metering vault shall be coordinated with Riverside Fire authority.
14. Service lines of 3/4" and 1" shall be type "K" copper or copper tubing size (C.I.S.) Blue HDPE Polyethylene, 200 psi pipe. Horizontal fittings shall not be used in construction of service lines. Notes: In sensitive areas services may be conducted in HDPE 2000psi. Toning (tracer) wire is required when using HDPE pipe water mains/services. Services larger than 1" may be Blue HDPE or brass.
15. For any water main tap to existing City mains where the contractor encounters a coupling or existing assemblies, the contractor shall provide a minimum of 18" of clearance from coupling or assemblies to edge of tapping sleeve and the tapping process shall be witnessed by the City with 2 days prior notice.

WATER MAIN INSTALLATION GENERAL NOTES

16. Where the water line crosses a sanitary sewer, the water line shall be above the sewer line whenever possible, with a separation of at least 18 inches between the invert of the water line and the crown of the sewer pipe. If this criteria can not be achieved the sewer pipe shall be cased within ductile iron pipe for a distance of 10 feet either side of the water line.
17. All "LONG SIDE SERVICES" shall be cased in 160 psi pipe.
18. Water services noted as "long side" shall require a schedule 160 PVC pipe as a casing to cross the R.O.W.
- 3/4" service - casing dia. 1.5" 1.5" service - casing dia. 3"
1" service - casing dia. 2" 2" service - casing dia. 3"
19. ALL ASBESTOS PIPE WORKMANSHIP MUST FOLLOW THE GUIDE LINES SET FORTH BY THESE AGENCIES: Southwest Washington Air Pollution Control Authority (SWAPCA) and Labor and Industries (L&I).
20. Call the Underground Location Center at 1-800-424-5555 or 811 at least 48 hours before any excavation.

APPROVED BY	REVISED DATE	CITY OF CENTRALIA		APPROVED BY	REVISED DATE	CITY OF CENTRALIA	
CITY ENGINEER	02/2020	WATER MAIN INSTALLATION GENERAL NOTES		CITY ENGINEER	02/2020	WATER MAIN INSTALLATION GENERAL NOTES	
2022 Standard Drawings		1 OF 2		2022 Standard Drawings		2 OF 2	

RB Engineering
DESIGN → PERMIT → MANAGE

OFF: (360) 740-1819
EMAIL: CentraliaEngines.com

811 Know what's below.
Call 811 before you dig

JOB NUMBER
23055

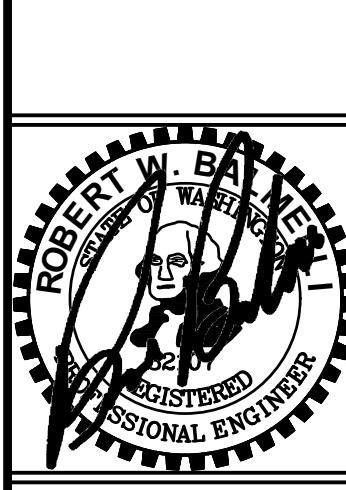
DRAWING NAME
23055_WTPL

C3.1

6 OF 7

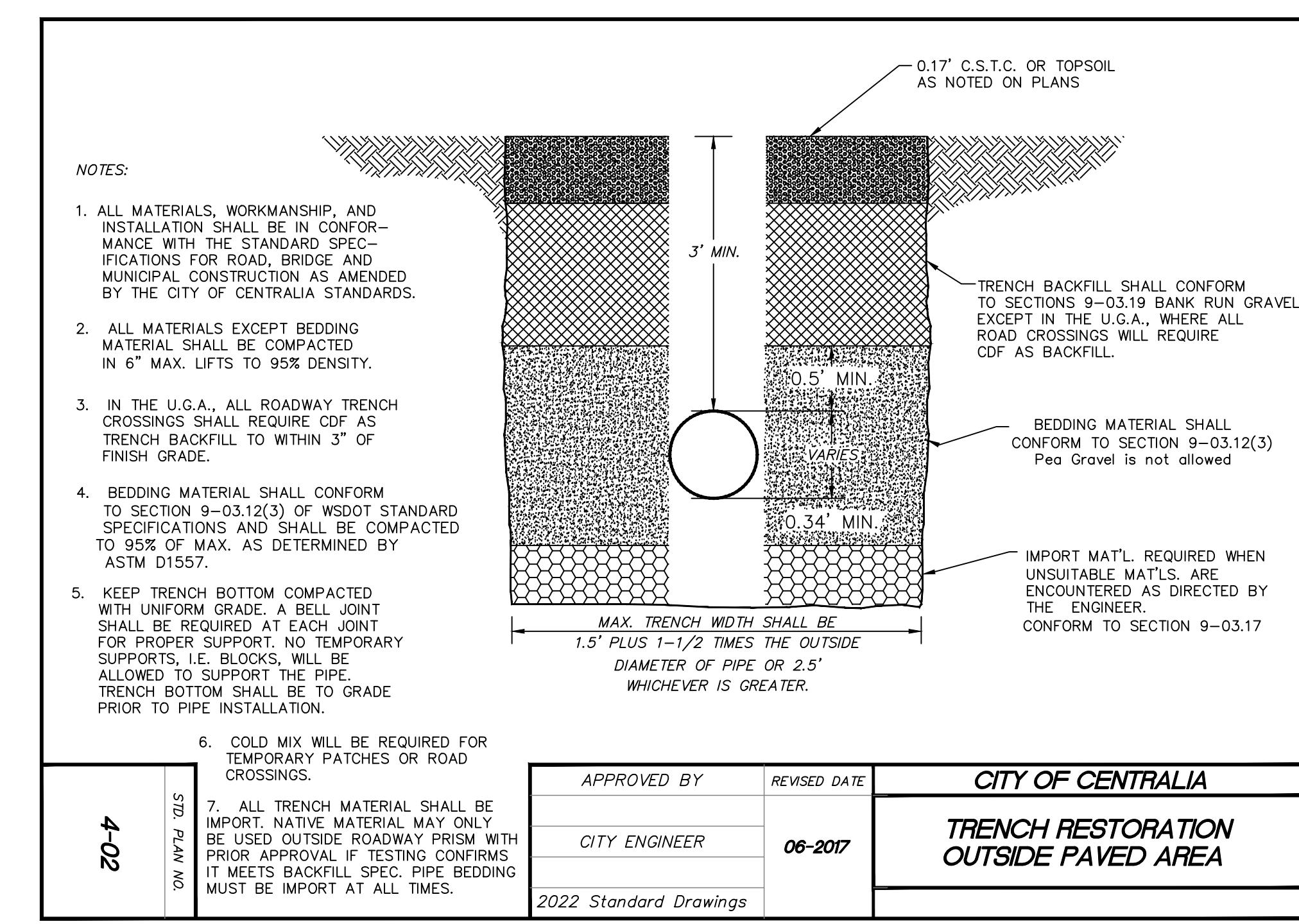
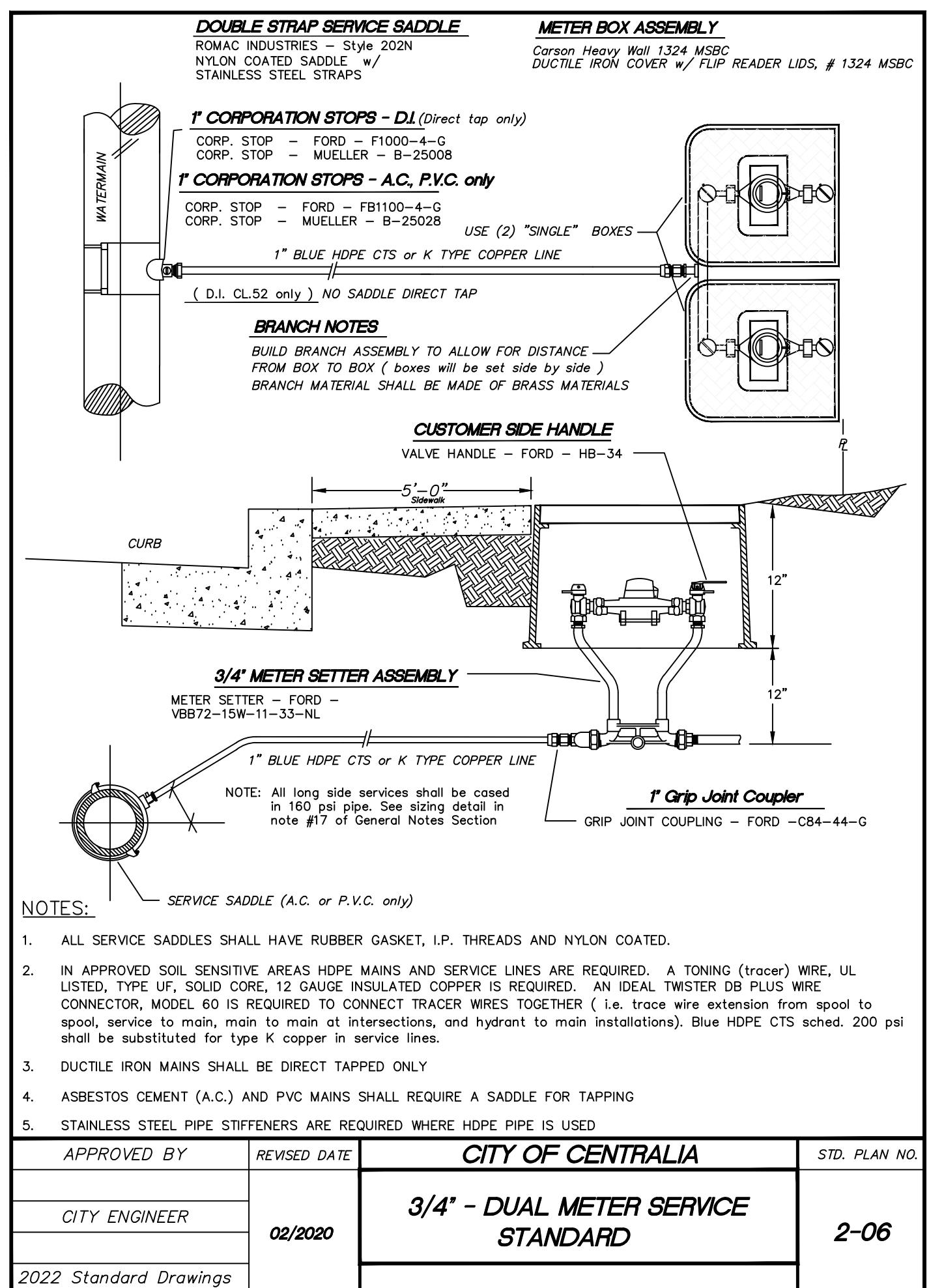
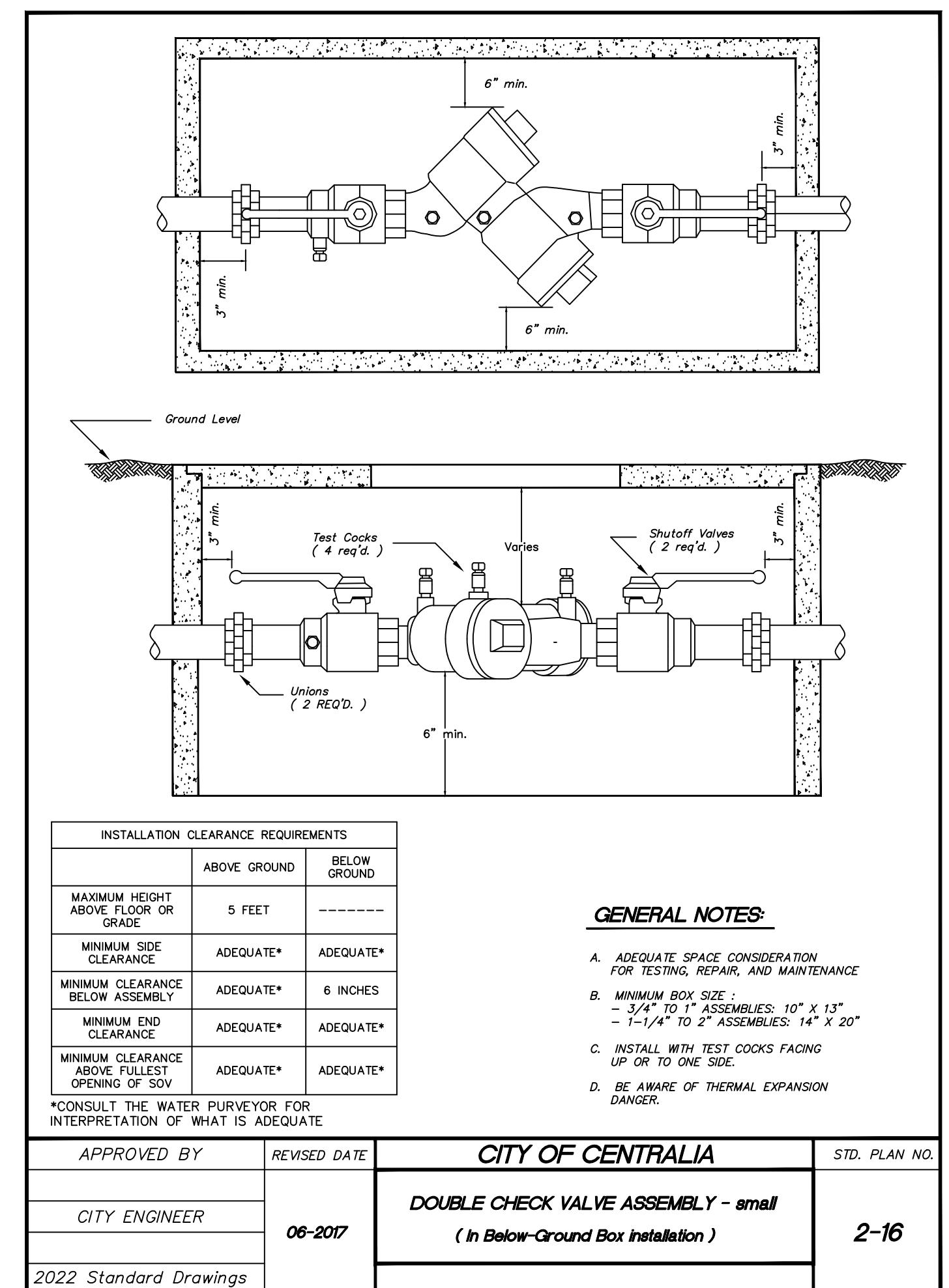
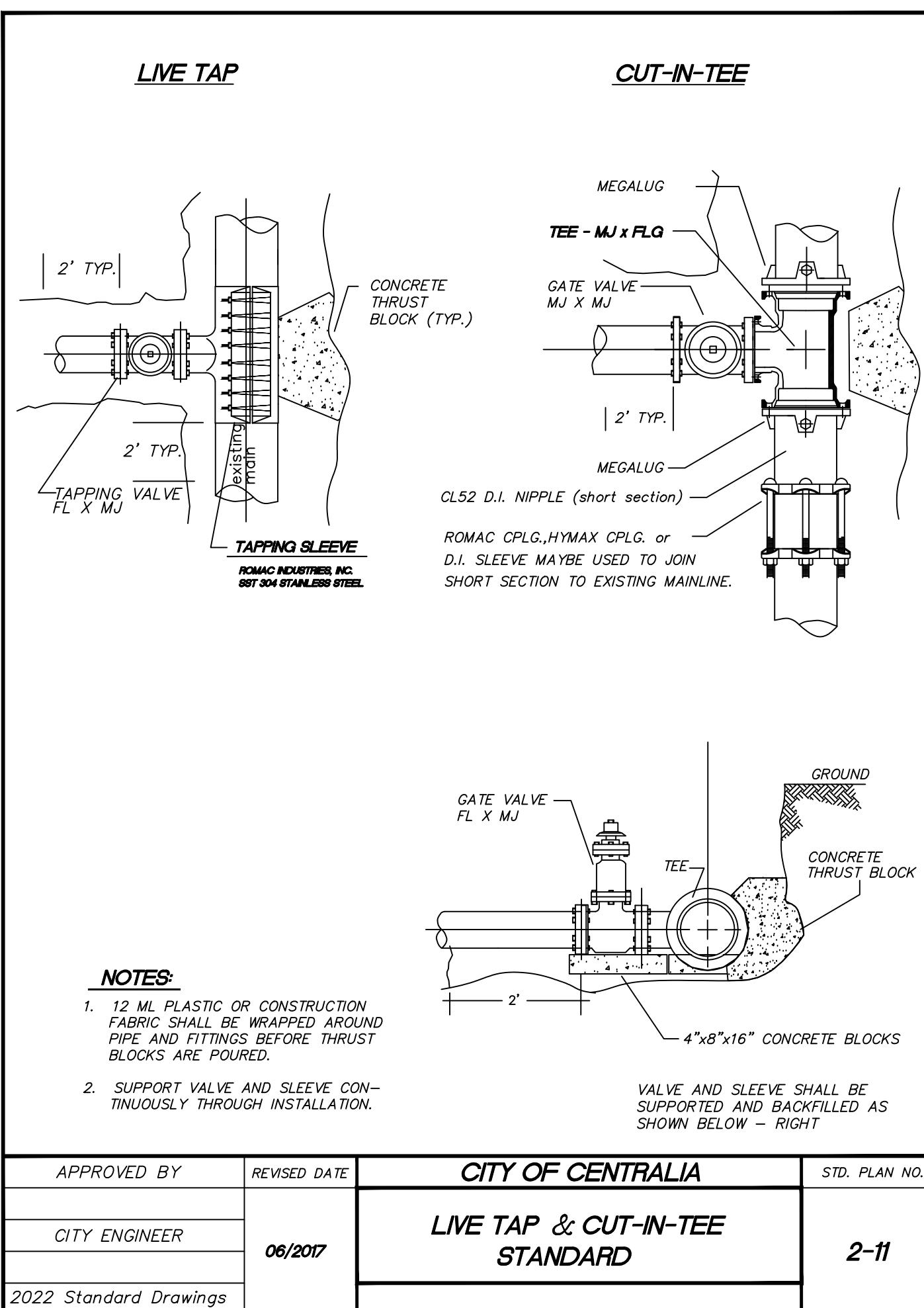
NO.	DATE	REVISION COMMENTS
1	1.18.24	1ST REVIEW COMMENTS
2	ZRW	DRAWN BY: ZRW
3	RWB	CHECKED BY: RWB

LONG ROAD PARKING
WATER UTILITY PLAN



DESIGNED BY: ZRW
DRAWN BY: ZRW
CHECKED BY: RWB
DATE: 12/12/23
SCALE: 1"-10'

WA.
CENTRALIA
CITY OF CENTRALIA
CITY OF CENTRALIA
APPROVED FOR CONSTRUCTION
BY: CITY ENGINEER DATE:
APPROVAL EXPIRES ONE YEAR FROM ABOVE DATE.



DESIGNED BY: ZRW	DRAWN BY: ZRW	REVIEW COMMENTS
NO. 1 DATE 1-18-24	1ST REVIEW COMMENTS	
CHECKED BY: RWB	DATE 12/12/23	SCALE: 1"-10'
WA.		
LONG ROAD PARKING		
WATER UTILITY DETAILS		
<p>RB Engineering DESIGN → PERMIT → MANAGE OFF: (360) 740-1819 EMAIL: Carrie@RBEngineering.com</p> <p>811 Know what's below. Call 811 before you dig</p> <p>JOB NUMBER 23055 DRAWING NAME 23055_WTD DATE: 06/2022 C3.2 7 OF 7</p>		



Contract and Agreement Checklist

Name of person(s) completing form: _____

Title(s) _____, Date: _____

Please check the document/agreement you are providing information for and complete all fields with (*):

- Agreement & Covenant for Ownership of the Fire Service Valve
- Bill of Sale
- Covenant For Future Annexation
- Easements (Right-of-Way & Utility)
- Utility Reimbursement Contract (Latecomer's Agreement)
- Real Estate Excise Tax Affidavit (**to accompany the Warranty Deed**)
- Stormwater Maintenance Agreement
- Warranty Deed
- Water Main Extension Agreement
- Sewer Main Extension Agreement

(*) In Addition to (*) please provide the:

- **Assessed value or value at time with documentation for Bill of Sale, Sewer and Water Latecomer's Agreement**
- **Abbreviated Legal description for Stormwater Maintenance Agreement, Agreement & Covenant for Ownership of the Fire Service Valve, and Covenant for Future Annexation.**
- **Name of Business or Representative with title, if signing on the behalf of an Individual or Business Entity.**

Note: Any missing, inaccurate, or unverifiable information may delay the completion and process with legal recording.

*Name of Property Owner(s) _____

*Name of Business _____

*Representative _____, Title _____

*Property Address _____

*City _____, State _____ Zip _____

*Property Owner Phone Number () _____

*Parcel # _____

*Abbreviated Legal Description _____

*Written Legal Description (-Exhibit A-) with map included

*Professional Surveyor Name _____

*Assessed Value \$ _____

*Value of System at time of construction \$ _____

This Section to be completed by Centralia Public Works Office Staff : _____
Date received _____

Document	Provided	Unverified	Verified	Missing	Additional information needed	Date Requested
Agreement & Covenant for Ownership of the Fire Service Valve						
Bill of Sale						
Covenant For Future Annexation						
Easement (Right-of-Way & Utility)						
Utility Reimbursement Contract						
Real Estate Excise Tax Affidavit (to accompany Warranty Deed)						
Stormwater Maintenance Agreement						
Warranty Deed						
Water Main Extension Agreement						
Sewer Main Extension Agreement						

EXHIBIT A
Legal Description

A PART OF GOVERNMENT LOT 3, IN SECTION 18, TOWNSHIP 14 NORTH, RANGE 2 WEST,
W.M., DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION 1,686 FEET SOUTH OF THE
NORTHEAST CORNER OF SAID SECTION 18; THENCE SOUTH ALONG THE SECTION LINE TO
THE INTERSECTION OF SAID SECTION LINE WITH THE EASTERLY RIGHT OF WAY LINE OF
PRIMARY STATE HIGHWAY NO. 1; THENCE NORTHWESTERLY ALONG SAID RIGHT OF WAY
LINE TO A POINT WEST OF THE POINT OF BEGINNING; THENCE EAST TO THE POINT OF
BEGINNING.

LEWIS COUNTY, WASHINGTON.

TOGETHER WITH ALL EASEMENTS, CONDITIONS, CONVENTIONS, RESTRICTIONS, AND
RESERVATIONS OF RECORD, IF ANY.

SEWER MAIN EXTENSION AGREEMENT

The undersigned, (hereafter termed the "Owner") is (are) the owner(s), of the following described property, situated in Lewis County, Washington, commonly known as _____ (address) and legally described as _____ (parcel number), to wit:

See Attached Exhibit A

and has requested water service from the City of Centralia to the property described above. The City agrees to provide such service, on the following terms and conditions:

1. The Owner may make use of an on-site septic system until such time as the City extends its sewer system by constructing a gravity sewer main along or adjacent to the property above described.

2. The Owner agrees to pay the standard service and connection fees for connecting to the City water system and to meet all other current requirements for water connections.

3. The Owner further agrees that when and/or if the City of Centralia improves, or allows to be improved, the City sewer system by constructing a gravity sewer main along or adjacent to the property described above, the Owner shall also pay a sum to the City of Centralia equal to the Owner's share of the total cost of the main extension, in accordance with the assessments levied on the several parties served by said sewer main extension.

4. The Owner further understands and agrees that this agreement will be recorded in the Lewis County Auditor's Office and constitutes a covenant running with the land, binding upon all future owners, successors or assigns of the real property described above.

5. The Owner further agrees that if the payments to the City of Centralia provided for above are not paid when due that sum shall become a lien upon the property above described and that said lien may be foreclosed pursuant to the laws of the State of Washington.

DATED this _____ day of _____, _____.

Property Owner (Signature)

STATE OF WASHINGTON

§

COUNTY OF LEWIS

I certify that I know or have satisfactory evidence that _____ is the person(s) who appeared before me; and said person(s) acknowledged that (he/she) signed this instrument and acknowledged it to be his/her free and voluntary act for the uses and purposes mentioned in the instrument.

Dated: _____

Signature
Notary Public, State of Washington

Printed Name

My Appointment Expires: _____

DATED this _____ day of _____, _____.

Property Owner (Signature)

STATE OF WASHINGTON
COUNTY OF LEWIS

I certify that I know or have satisfactory evidence that _____ is the person(s) who appeared before me; and said person(s) acknowledged that (he/she) signed this instrument and acknowledged it to be his/her free and voluntary act for the uses and purposes mentioned in the instrument.

Dated: _____

Signature
Notary Public, State of Washington

Printed Name

My Appointment Expires: _____

EXHIBIT A

Attachment To: **SEWER MAIN EXTENSION AGREEMENT**

Following is the complete and correct legal description for _____

_____ (address), located in Lewis
County, Washington.