



Site Plan Review Committee
COMMUNITY DEVELOPMENT DEPT.
360-330-7662

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SITE PLAN REVIEW COMMITTEE
Meeting Agenda

Monday, March 25, 2024

Join Zoom meeting:

<https://us02web.zoom.us/j/85356833930?pwd=aFJUanFIRXFwWWM1d0xCQnBqQmxodz09>

Meeting ID: 853 5683 3930

Passcode: 770823

Join by mobile: #1-253-215-8782

Applicants should be at the meeting and prepared to discuss their development.
The public is invited to participate in all Site Plan Review meetings.

9:00 AM STAFF REVIEW TIME
1. Weekly Permit List

10:00 AM – Site Plan Review

Project Name:	Long Road Parking Lot
Applicant/Owner:	Stefan Mitu
Property Address:	1257 S Yew Street
Contact Phone:	360-888-7759
Email:	stefanmitu13@gmail.com
Zone:	GCD, Gateway Commercial District
Comp. Plan:	GCD, Gateway Commercial District
Parcel Information:	021599-000-000, 0.67 AC
Request:	Final civil plan approval for parking lot construction and remodel of existing



03/07/2024 - 03/21/2024

Permit #	Permit Date	Building /Land Use	Permit Type	CONSTRUCTION SITE ADDRESS	Description of work being done under this permit	Applicant Name
20240188	3/21/2024	Building Permit	Commercial - Remodel	105 N Tower Ave	Constructing 2 new exam rooms, office, lab room and med room in existing suite.	Josh Cole
20240187	3/21/2024	Building Permit	Single Family - Remodel	702 SCOTT DR. CENTRALIA, WA 98531	PARTITION (E) DINING ROOM TO CREATE BEDROOM D. REMODEL BEDROOM C AND ITS CLOSET TO CREATE (2) BEDROOMS. REMODEL BATHROOM A & B AS PER PLANS. REMODEL MASTER BEDROOM TO CREATE BEDROOM E, OFFICE AND STORAGE. CONSTRUCT CONCRETE RAMP. RAMP IS LESS THAN 30" ABOVE GROUND.. REMODEL SF IS 340SF. INSTALL 2 BATHROOMS	GEORGE NGANGA
20240186	3/21/2024	Building Permit	Plumbing	1026 J Street	Moving a hot water heater and demoing a wall in the garage	Harold Kaski
20240185	3/20/2024	Building Permit	Reroof	Centralia little League Batting Cage	Re-Roof. This job is a donation for the non-profit organization. We only charge for the material and employees pay day. No profit for the company. They going to used the same metal, we only going to replaced under it.	Umberto Venegas

20240184	3/19/2024	Building Permit	Commercial - Remodel	1506 S Gold Street	Installing engineered trusses to existing structure as per conversation w/bldg official to bring to code	Alfredo Luque
20240183	3/19/2024	Building Permit	Commercial - Remodel	1506 S Gold Street	Walk-In Closet	Alfredo Luque
20240182	3/19/2024	Building Permit	Single Family - Remodel	1506 S Gold Street	Man Cave	Alfredo Luque
20240181	3/18/2024	Building Permit	Demolition	405 N Tower Avenue	Removing falling plaster for new drywall	Samuel Cots
20240180	3/18/2024	Building Permit	Reroof	610 W Pine Street	Tear off existing composition roof and install 30yr architectural shingles	Rosalio Martinez
20240179	3/18/2024	Building Permit	Reroof	2210 Sirkka Avenue	Re roof	Christians Roofing
20240178	3/18/2024	Building Permit	Mechanical	600 Centralia College Blvd, Centralia, WA 98531	Demo and remove existing boiler. Install new flat plate heat exchanger. Replace existing boiler circulation pump.	Sunset Air
20240177	3/14/2024	Building Permit	Multi-family-New Build	3005 Russell Road	Construction of a duplex	Brett Bates (Bella Rose Townhouses LLC)
20240176	3/14/2024	Building Permit	Multi-family-New Build	3005 Russell Road	Construction of a triplex	Brett Bates (Bella Rose Townhouses LLC)

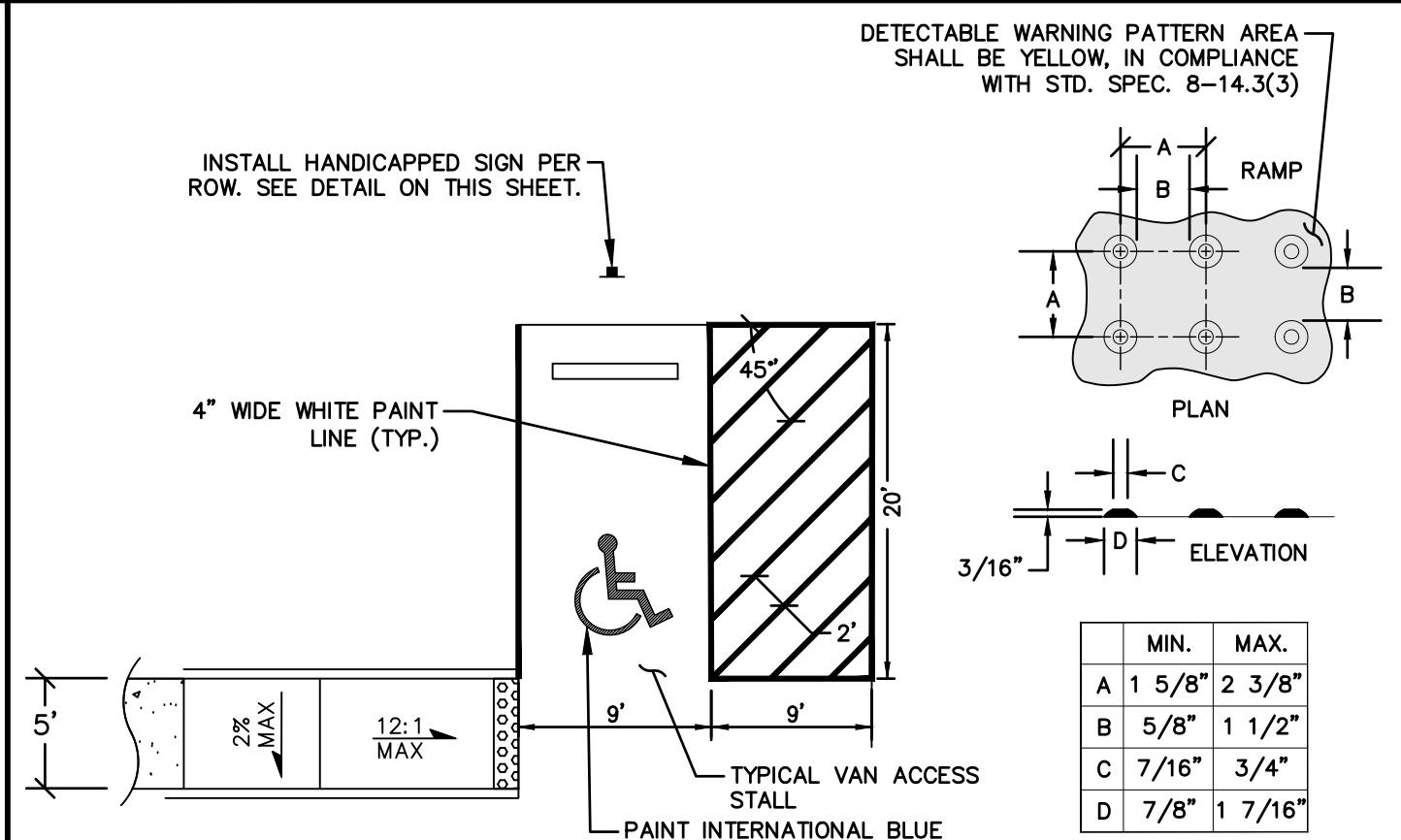
20240175	3/14/2024	Building Permit	Commercial - Remodel	3510 STEELHAMMER DR, CENTRALIA, WA 98531	COVERT STAFF AREA OF EXISTING RTF INTO 23-HR CRISIS RELIEF CENTER FOR EVALUATION OF PERSONS PRIOR TO LONGER-TERM PLACEMENT. PROJECT ALSO INCLUDES CONVERSION OF WARMING KITCHEN INTO COMMERCIAL KITCHEN TO SERVE EXISTING AND NEW FACILITIES.	RON WRIGHT & ASSOCIATES/ ARCHITECTS
20240174	3/14/2024	Building Permit	Reroof	2455 Borst Avenue	Repair	Ken Slater
20240173	3/14/2024	Building Permit	Single Family - Remodel	608 W Pine Street	Replace foundation posts on south and east walls.	Michael Morgan
20240172	3/14/2024	Building Permit	Single Family - Remodel	823 H Street	Sunroom window replacement	CARETEK, LLC
20240171	3/14/2024	Building Permit	Commercial - Remodel	1100 N Tower Avenue	Replacing exterior windows, 2x6 wall, ceiling tiles and wood rot	Kim Ashmore
20240170	3/14/2024	Building Permit	Commercial - Addition	2312 N Pearl Street	Build a 91x36 storage building with bathroom	Miguel Orozco
20240169	3/13/2024	Building Permit	Mechanical	702 F St	install new single zone ductless heat pump	Elissa Carbajal
20240168	3/12/2024	Building Permit	Single Family Residence - New	119 Davis View Drive	Build one SFR and connect to the existing septic and well	CBW Construction
20240167	3/12/2024	Building Permit	Mechanical	144 River Heights Road	Install a gas insert and liner	Olympia Fireplace & Spa
20240166	3/12/2024	Building Permit	Mechanical	739 S Silver Street	Replace electric water heater	Red Swan
20240165	3/12/2024	Land Use Application	SEPA	215 N Pearl	SEPA for civil work and future construction of 2 - 16-unit each apartment buildings	Austin Groves, RJ Development

20240164	3/12/2024	Building Permit	Duplex - New	0 1st Street	Building a duplex	Brad & Ryan Clark
20240163	3/12/2024	Building Permit	Multi-family-New Build	0 1st Street	Building a 4-plex	Brad & Ryan Clark
20240162	3/12/2024	Building Permit	Multi-family-New Build	0 1st Street	Building a 4-plex	Brad & Ryan Clark
20240161	3/12/2024	Building Permit	Multi-family-New Build	0 1st Street	Building a 4-plex	Brad & Ryan Clark
20240160	3/12/2024	Building Permit	Multi-family Remodel	0 1st Street	Building a 4-plex	Brad & Ryan Clark
20240159	3/12/2024	Building Permit	Multi-family-New Build	0 1st Street	Building a 4-plex	Brad & Ryan Clark
20240158	3/12/2024	Building Permit	Multi-family-New Build	0 1st Street	Building a 4-plex	Brad & Ryan Clark
20240157	3/12/2024	Building Permit	Accessory Dwelling Unit	615 Warsaw Street	Adding a 3 car garage with adu upstairs	Blanca Dado
20240156	3/12/2024	Building Permit	Commercial - Remodel	609 Harrison Avenue	Addition to existing gas station for store uses	Harhit Walia (Harry)
20240155	3/12/2024	Building Permit	Multi-family-New Build	2213 Harrison Avenue	10 units of multi-family housing (2 & 3 bedroom units) for familes at risk of expierencing homelessness	Erin Hiller
20240154	3/12/2024	Building Permit	Single Family - Remodel	2020 Taylor Street	Remodel existing structure to single family residence and existing apartment to remain	Michelle Hulbert
20240153	3/11/2024	Building Permit	Mechanical	1712 Hillview Rd	Install Trane gas furnace	Chehalis Sheet Metal
20240152	3/11/2024	Building Permit	Mechanical	2402 Ham Hill Rd	Install trane heat pump system.	Chehalis Sheet Metal
20240151	3/11/2024		Reroof	926 G Street	Tear-off existing roof layer, installation of new asphalt shingle roof	Lorenzo Merino
20240150	3/8/2024	Building Permit	Demolition	1900 Cooks Hill Road	Removal of wet drywall, insulation and flooring	Heritage Restoration
20240149	3/8/2024	Building Permit	Mechanical	3411 Russell Road	Ductless Heat Pump Installation	Eric Conrad
20240148	3/8/2024	Building Permit	Single Family - Remodel	1222 St Helens	Adding a ramp, removing the bath tub and tiling the floor. Will be needing a WABO inspection, convert to AFH	Fatou Silameh Kassama

20240147	3/7/2024	Building Permit	Mechanical	1309 Windsor Ave	Replacing existing single ductless heat pump for new like and kind	Elissa Carbajal
20240145	3/7/2024	Building Permit	Special Inspection	215 North Rock Street	CONDUCT A PRESSURE TEST ON THE EXISTING GAS SUPPLY LINES SO PUGET SOUND ENERGY WILL HOOK UP A GAS METER	C.D.W. CONSTRUCTION LLC
20240144	3/7/2024	Building Permit	Mechanical	1607 Military Road	Replacing outdoor unit	Brian Elliott
20240143	3/7/2024	Building Permit	Commercial - Remodel	105 North Tower Ave	Rebuilding a staircase & adding support beams	Josh Cole
20240142	3/7/2024	Building Permit	Commercial - Remodel	328 N Tower Avenue	Painting small space and adding small bar & bar stools	Laura Duthie

Total Records: 47

3/21/2024



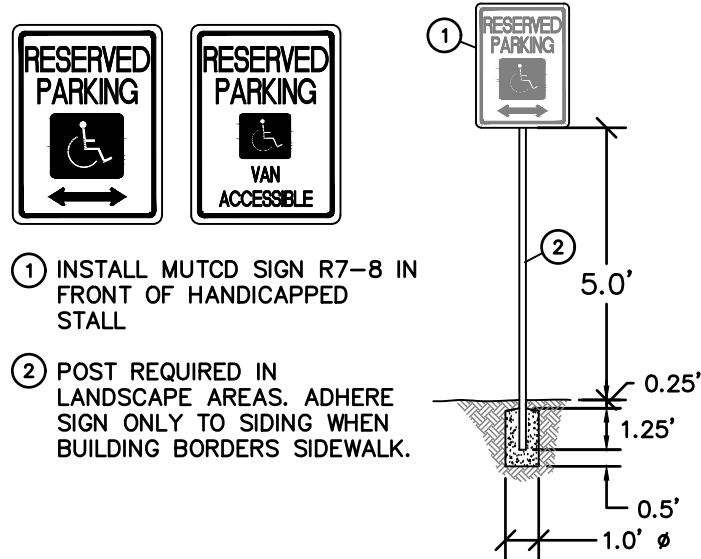
NOTES:

DETECTABLE WARNING SURFACE

- THE DETECTABLE WARNING SURFACE (DWS) SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP (EXCLUSIVE OF FLARES) OR THE LANDING.
- THE DETECTABLE WARNING SURFACE SHALL BE PLACED AT THE BACK OF CURB, AND NEED NOT FOLLOW THE RADIUS.
- THE ROWS OF TRUNCATED DOMES SHALL BE ALIGNED TO BE PERPENDICULAR TO GRADE BREAK AT THE BACK OF CURB.
- THE ROWS OF TRUNCATED DOMES SHALL BE ALIGNED TO BE PARALLEL TO THE DIRECTION OF TRAVEL.
- IF CURB AND GUTTER ARE NOT PRESENT, SUCH AS A SHARED-USE PATH CONNECTION, THE DETECTABLE WARNING SURFACE SHALL BE PLACED AT THE PAVEMENT EDGE.

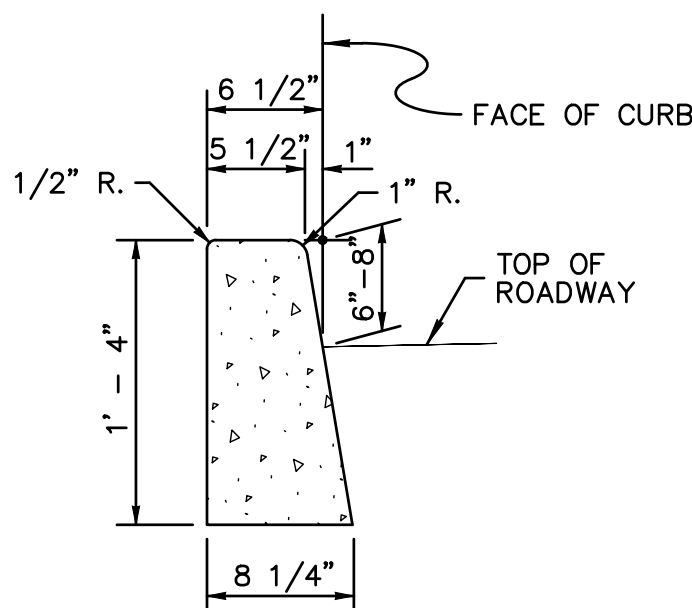
SIDEWALK AND CURB RAMP

- SEE STANDARD PLANS FOR SIDEWALK AND CURB RAMP DETAILS.
- IF A CURB RAMP IS REQUIRED, THE LOCATION OF THE DETECTABLE WARNING SURFACE MUST BE AT THE BOTTOM OF THE RAMP AND WITHIN THE REQUIRED DISTANCE FORM THE RAIL.
- WHEN THE GRADE BREAK BETWEEN THE CURB RAMP AND THE LANDING IS LESS THAN OR EQUAL TO 5 FT. FROM THE BACK OF CURB AT ALL POINTS, PLACE THE DETECTABLE WARNING SURFACE ON THE BOTTOM OF THE CURB RAMP.



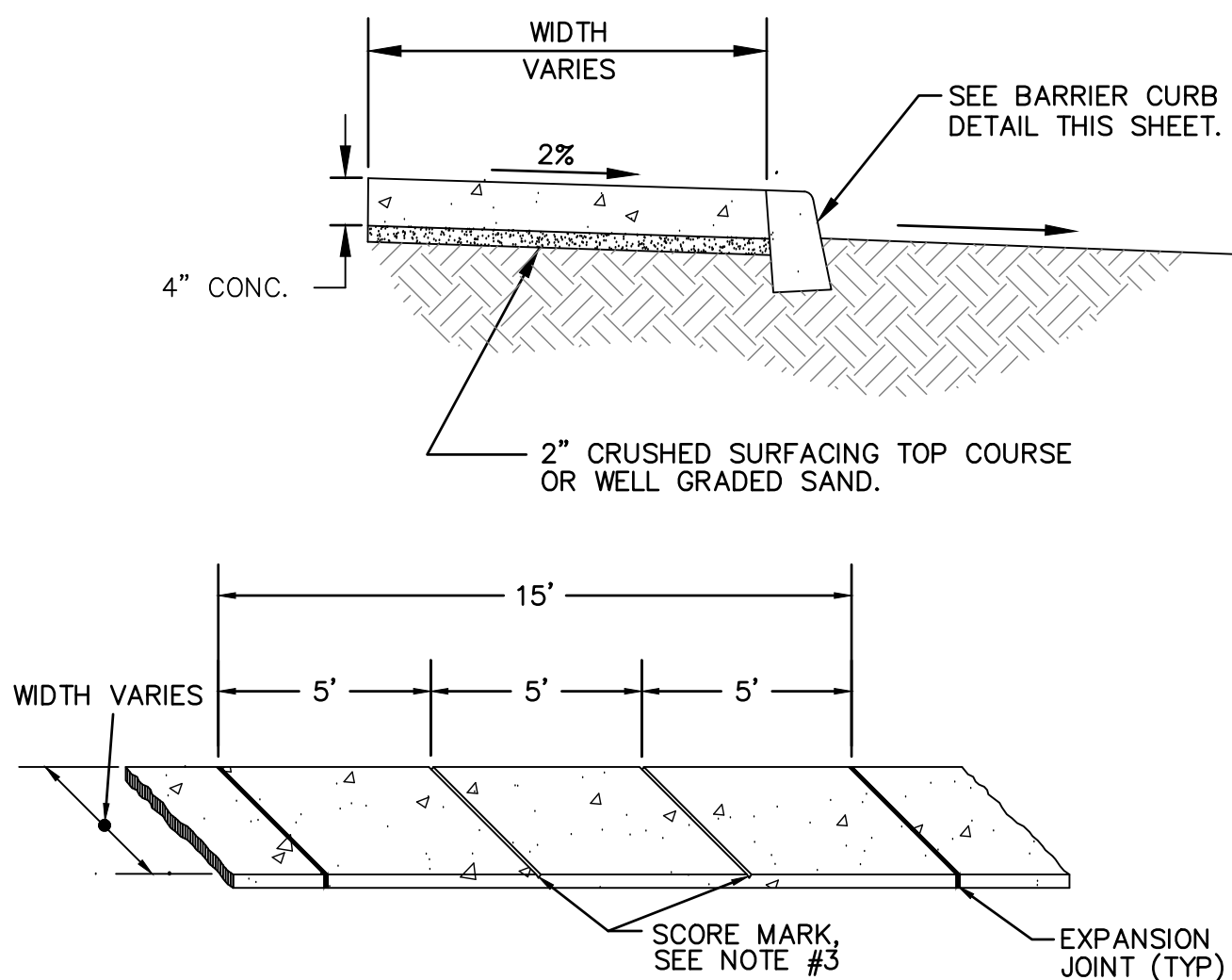
ADA STALL AND ACCESSIBILITY
N.T.S. SIGN DETAIL

RB ENGINEERING
ADD_SIGN&STALL.dwg



BARRIER CURB
N.T.S.

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BARRIER_CURB.dwg

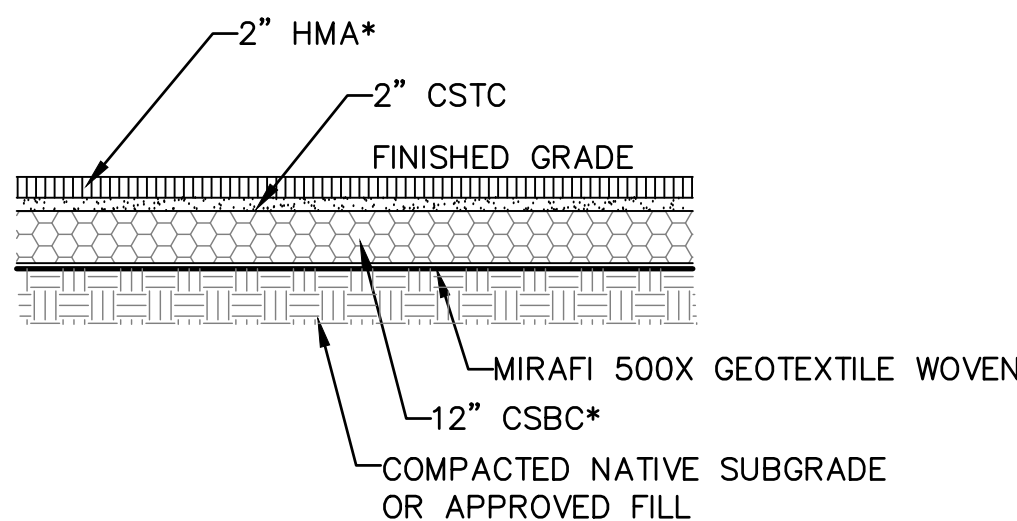


GENERAL NOTES:

- EXPANSION JOINT MATERIAL TO BE 3/8" THICK PREMOLDED JOINT FILLER FULL THICKNESS OF CONCRETE.
- FORM AND SUBGRADE INSPECTION REQUIRED BEFORE POURING CONCRETE.
- SCORE MARKS SHALL BE ±1/8" WIDE BY ±1/4" DEEP. FOR SIDEWALKS OVER 8' IN WIDTH, A LONGITUDINAL SCORE MARK SHALL BE MADE ALONG CENTER OF WALK.
- EXPANSION JOINTS SHALL BE INSTALLED IN CURB AND GUTTER AND IN SIDEWALK AT PC AND PT AT ALL CURB RETURNS. EXPANSION JOINTS SHALL BE PLACED IN SIDEWALK AT SAME LOCATIONS AS THOSE IN CURB AND GUTTER WHEN SIDEWALK IS ADJACENT TO CURB AND GUTTER, UNLESS OTHERWISE DIRECTED BY ENGINEER.

ONSITE SIDEWALK DETAIL
N.T.S.

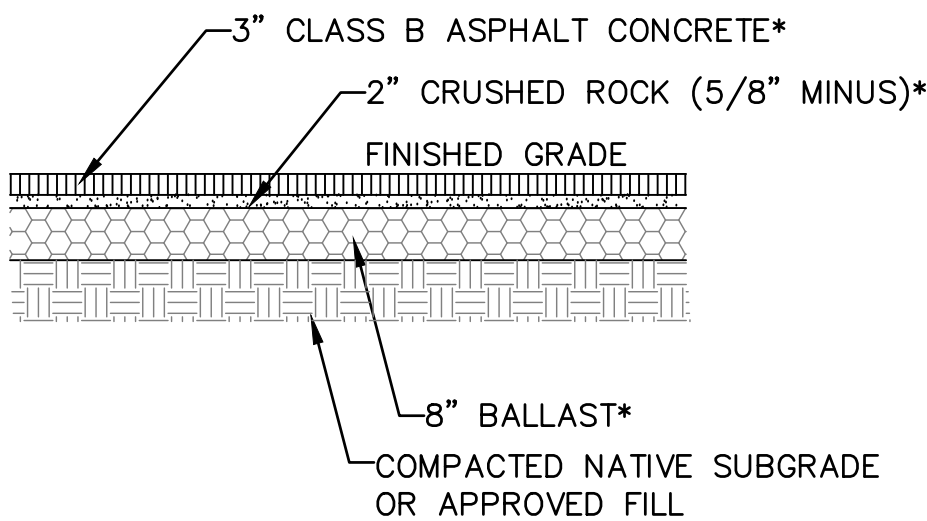
RB ENGINEERING
ONSITE_SIDEWALK.dwg



* ALL THICKNESSES ARE COMPACTED DEPTHS.

TYPICAL STRUCTURAL PAVING SECTION
N.T.S.

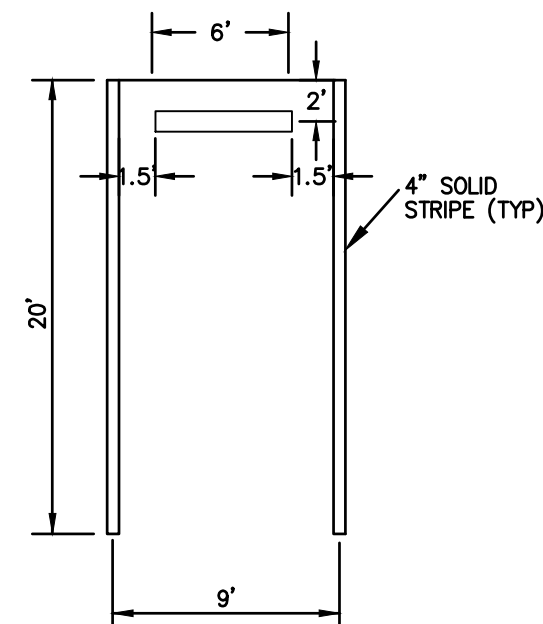
RB ENGINEERING
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* ALL THICKNESSES ARE COMPACTED DEPTHS.

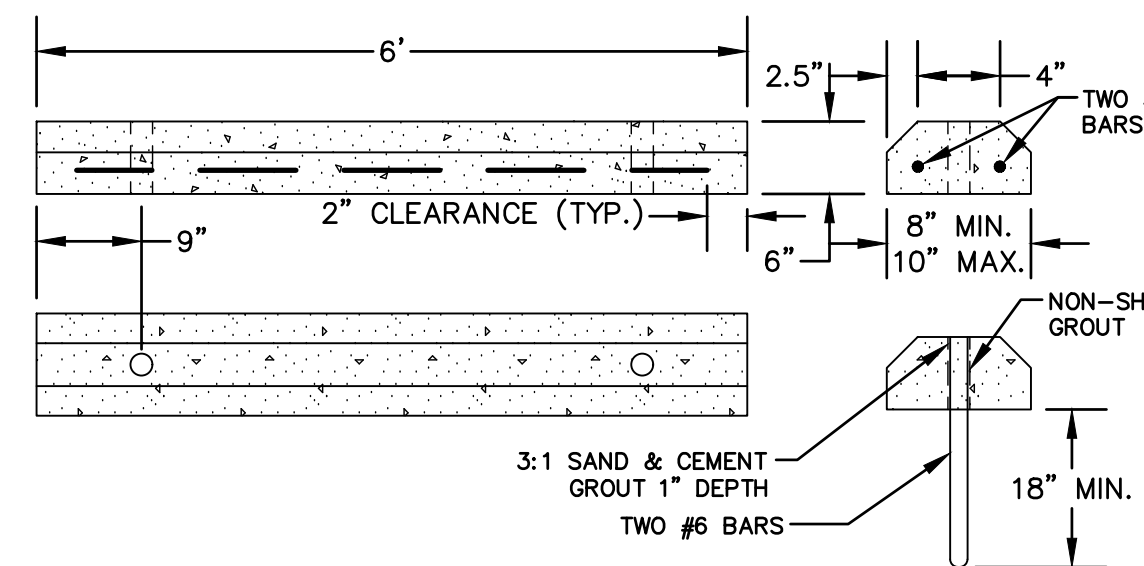
RIGHT-OF-WAY PAVING SECTION
N.T.S.

RB ENGINEERING
PAVING_SECTION.dwg



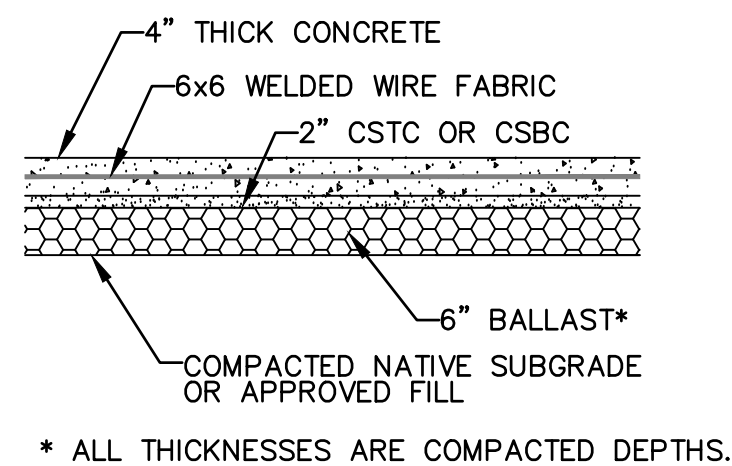
WHEEL STOP/PARKING STALL INSTALLATION
N.T.S. DETAIL

RB ENGINEERING
PARKING_STALL_W-WHEEL_STOP.dwg



PRECAST CEMENT CONCRETE WHEELSTOP
N.T.S.

RB ENGINEERING
WHEELSTOP.dwg



TYPICAL CONCRETE SECTION
N.T.S.

RB ENGINEERING
CONC_XSEC.dwg

APPROVED FOR CONSTRUCTION

BY: _____ DATE: _____

CITY ENGINEER

APPROVAL EXPIRES ONE YEAR FROM ABOVE DATE.

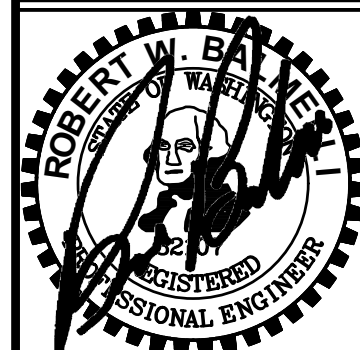
NO.	DATE	REVISION
1	1.18.24	1ST REVIEW COMMENTS
DESIGNED BY:	ZRW	
DRAWN BY:	ZRW	
CHECKED BY:	RWB	
DATE:	12/12/23	
SCALE:		

LONG ROAD PARKING

CENTRALIA

WA.


HORIZONTAL CONTROL
AND NOTES



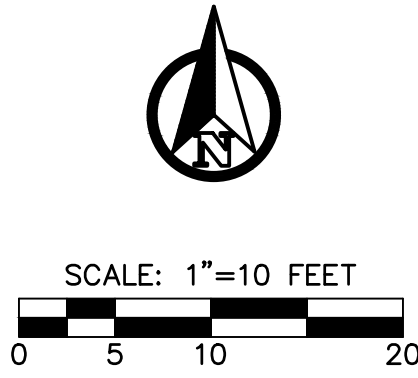
RB Engineering
DESIGN → PERMIT → MANAGE
P.O. Box 423
CHEHALIS, WA 98532
OFF: (360) 740-8919
EMAIL: info@rbengineering.com

811 Know what's below. Call 811 before you dig.

JOB NUMBER
23055
DRAWING NAME
23055_HCDT
C1.2
3 OF 7

RB Engineering	DESIGN → PERMIT → MANAGE	P.O. Box 923 CHEHALIS, WA 98532	OFF: (360) 746-8819 EMAIL: Call@roadRBE.com		GRADING AND DRAINAGE PLAN	LONG ROAD PARKING	WA. CENTRALIA
				NO. DATE 1 1.18.24			
				DESIGNED BY: ZRW DRAWN BY: ZRW CHECKED BY: RWB			
				DATE: 12/12/23 SCALE: 1"=10'			

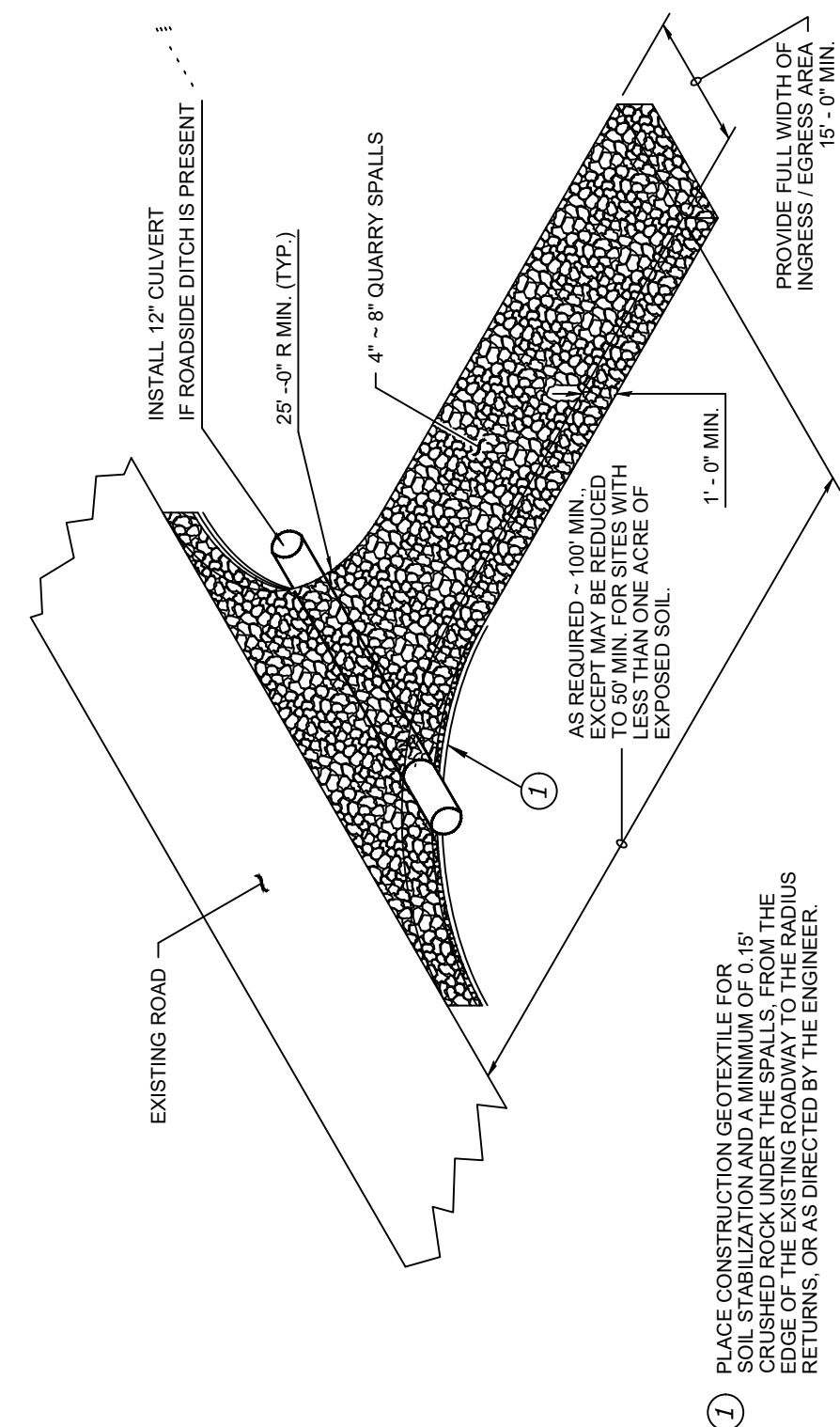
CE	STABILIZED CONSTRUCTION ENTRANCE-EXIT – BMP C105
TPS	TEMPORARY AND PERMANENT SEEDING – BMP C120
SF	SILT FENCE – BMP C233



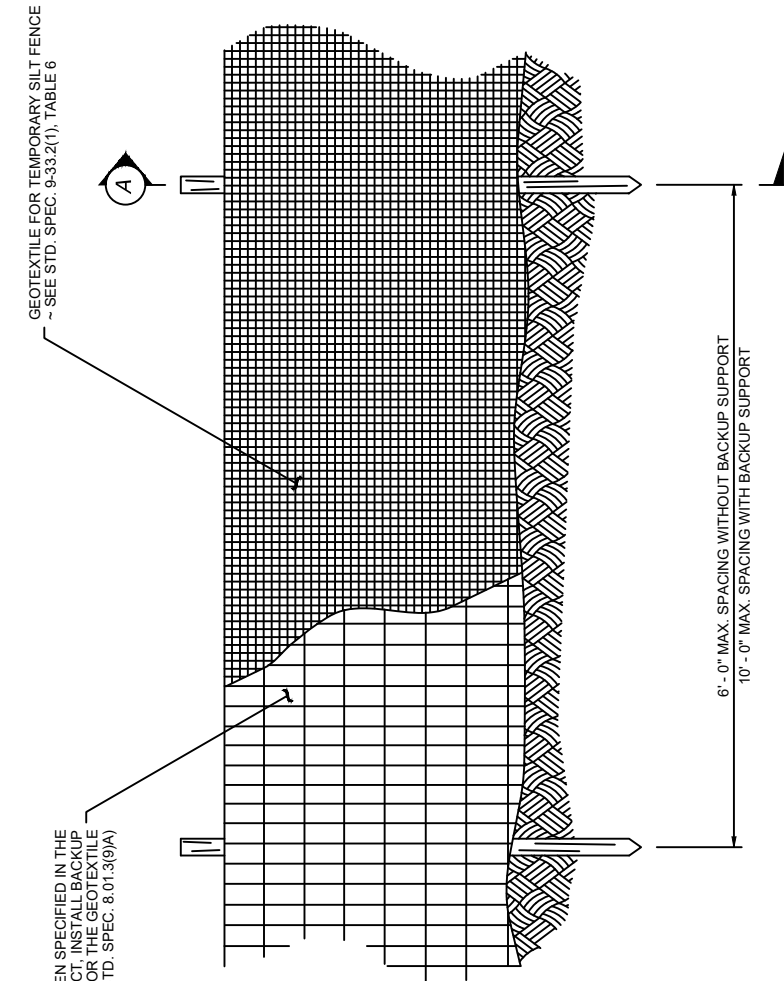
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BY: _____ DATE: _____
CITY ENGINEER

APPROVAL EXPIRES ONE YEAR FROM ABOVE DATE.



ISOMETRIC VIEW



ELEVATION VIEW

SECTION A

NOTES:

1. Maximize deflection of stormwater by placing fence as far away from slope as possible without encroaching on sensitive areas or outside of the clearing boundaries.
2. Install silt fencing along contours whenever possible.
3. Perform maintenance in accordance with Standard Specifications 801.3(9)(A) and 801.3(15).

APPROVED BY	REVISED DATE	CITY OF CENTRALIA
CITY ENGINEER	08/2017	
2022 Standard Drawings		

CITY OF CENTRALIA		TEMPORARY CONSTRUCTION ENTRANCE	REVISED DATE 06/2017	APPROVED BY	2022 Standard Drawings
				CITY ENGINEER	
		9-04		STD. PLAN NO.	

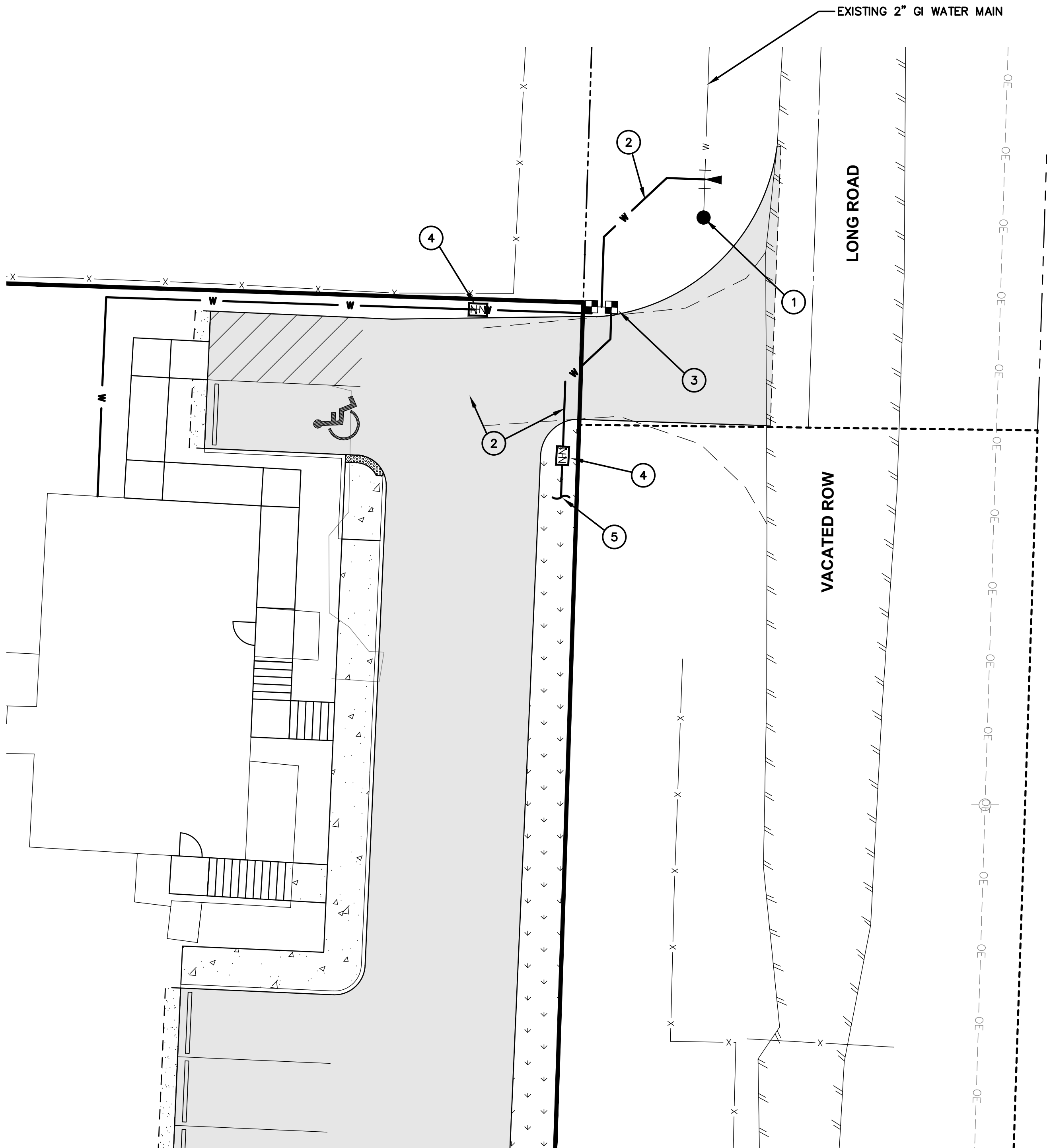
STD. PLAN NO.
9-10

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SCALE: 1"=10 FEET

0 5 10 20



WATER UTILITY NOTES:

- 1 CONTRACTOR TO FIELD VERIFY LOCATION OF EXISTING WATER BLOWOFF VALVE.
- 2 INSTALL NEW 1" WATER SERVICE PIPE PER PLAN. BACKFILL UTILITY TRENCH PER DETAIL ON SHEET C3.2..
- 3 INSTALL NEW DUAL METER SETTER PER DETAIL ON SHEET C3.2. ONE METER FOR HOUSE, THE OTHER FOR POSSIBLE FUTURE IRRIGATION.
- 4 INSTALL NEW DOUBLE CHECK VALVE ASSEMBLY PER DETAIL ON SHEET C3.2.
- 5 STUB WATER LINE FOR POSSIBLE FUTURE IRRIGATION.

**WATER MAIN INSTALLATION
GENERAL NOTES**

1. All workmanship and material shall be in accordance with the City of Centralia standards and the most current copy of the State of Washington Specifications for Road, Bridge and Municipal Construction, Washington Department of Health regulations and American Water Works Association standards.
2. All water lines 12" and larger shall be made of ductile iron, thickness class 52 and a rated working pressure of 350 PSI conforming to AWWA C151. All pipe shall be cement mortar lined per AWWA C104 with push on joints conforming to AWWA C111. Water lines under 12" diameter may be P.V.C. C-900 DR14.
3. Fittings shall be class 250 cement mortar lined ductile iron with mechanical joint or ANSI flanges. All bolted fittings shall be dressed with Anika-Seize product for protection. All ductile iron fitting connection(s) shall be completed by the use of mega-lugs. When connecting to an existing inline water main, all connections will be made using a Ductile Iron (DI) sleeve, with mega-lugs, or Romac Alpha coupling except when connecting to a AC main where a Hymax coupler (or equal) will be used.
4. Gate valves shall be resilient wedge, NRS (Non-Rising Stem) with O-ring seals. Valve ends shall be mechanical joint or ANSI flanges. Valves shall conform to AWWA (latest) 509 std. Valves shall be Mueller, M & H, Clow, Watrous, Kennedy or American AVK. Existing valves shall be operated by City employees only.
5. All NIBCO Gate Valves must have brass handles.
6. A valve stem riser shall be installed on all valves where the depth from finish grade to the top of the valve exceeds 1.5'.
7. Fire hydrants shall be 3-port M & H Reliant Style 129, Mueller Centurion, 5 1/4" with steamer port thread of 498. The distance between operating nut and break away flange shall be 32 inches in vertical measurement. All hydrant shoes shall be epoxy coated. Each hydrant shall be provided with a Storz coupler on the steamer port. All hydrants shall be bagged until system is approved.
8. Brass wedges shall be installed in all ductile iron joints for continuity, two (2) per section of pipe. P.V.C. pipe, C.T.S. HDPE sch. 200 psi pipe shall be installed with a toning (tracer) wire. Toning wire shall be UL listed, type UF, solid core, 12 gauge insulated copper and shall be taped to the top of the pipe to prevent movement during backfilling. The wire shall be laid loosely enough to prevent stretching and damage. The wire shall be brought up and tied off at valve body or meter setting.
9. The contractor shall maintain a min. cover of 30 inches and a max. cover of 36 inches over the pipe at all times.
10. All water mains shall be staked for grade and alignment by the design engineer or a licensed land surveyor. All vertical control shall be established using the 1988 USGS Datum.
11. All new water mains shall be filled and chlorinated for a minimum of 24 hrs prior to flushing. Contractor shall coordinate with the City to have lines filled and flushed.
12. Bacteria sampling of potable water lines shall be performed by the City prior to hydrostatic pressure testing. Contractor shall provide an approved sampling bottle from the Lewis County Health Dept., 360 NW North St, Chehalis, WA 98532
13. All pipe and appurtenances shall be hydrostatically tested at 225 PSI (min.) for 15 minutes and witnessed by the City. Fire line testing behind the metering vault shall be coordinated with Riverside Fire authority.
14. Service lines of 3/4" and 1" shall be type "K" copper or copper tubing size (C.T.S.) Blue HDPE Polyethylene, 200 psi pipe. Galvanized fittings shall not be used in construction of service lines.
Note: In soil sensitive areas, service lines may be constructed of HDPE-c1200psi. Toning (tracer) wire is required when using HDPE pipe water mains/services. Services larger than 1" may be Blue HDPE or brass.
15. For any water main tap to existing City mains where the contractor encounters a coupling or existing assemblies, the contractor shall provide a minimum of 18" of clearance from coupling or assemblies to edge of tapping sleeve and the tapping process shall be witnessed by the City with 2 days prior notice.

APPROVED BY	REVISED DATE	CITY OF CENTRALIA	
CITY ENGINEER	02/2020	WATER MAIN INSTALLATION GENERAL NOTES	1 OF 2
2022 Standard Drawings			

**WATER MAIN INSTALLATION
GENERAL NOTES**

16. Where the water line crosses a sanitary sewer, the water line shall be above the sewer line whenever possible, with a separation of at least 18 inches between the invert of the water line and the crown of the sewer pipe. If this criteria can not be achieved the sewer pipe shall be cased within ductile iron pipe for a distance of 10 feet either side of the water line.
17. All "LONG SIDE SERVICES" shall be cased in 160 psi pipe.

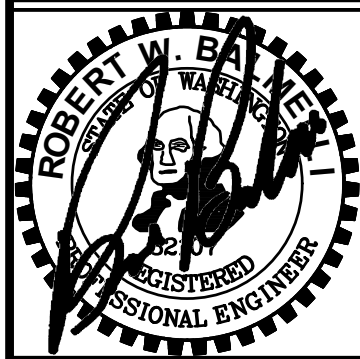


3/4" service - casing dia. 1.5" 1.5" service - casing dia. 3"
1" service - casing dia. 2" 2" service - casing dia. 3"
18. Water services noted as "long side" shall require a schedule 160 PVC pipe as a casing to cross the R.O.W.
19. ALL ASBESTOS PIPE WORKMANSHIP MUST FOLLOW THE GUIDE LINES SET FORTH BY THESE AGENCIES:
Southwest Washington Air Pollution Control Authority (SWAPCA) and Labor and Industries (L&I).
20. Call the Underground Location Center at 1-800-424-5555 or 811 at least 48 hours before any excavation.

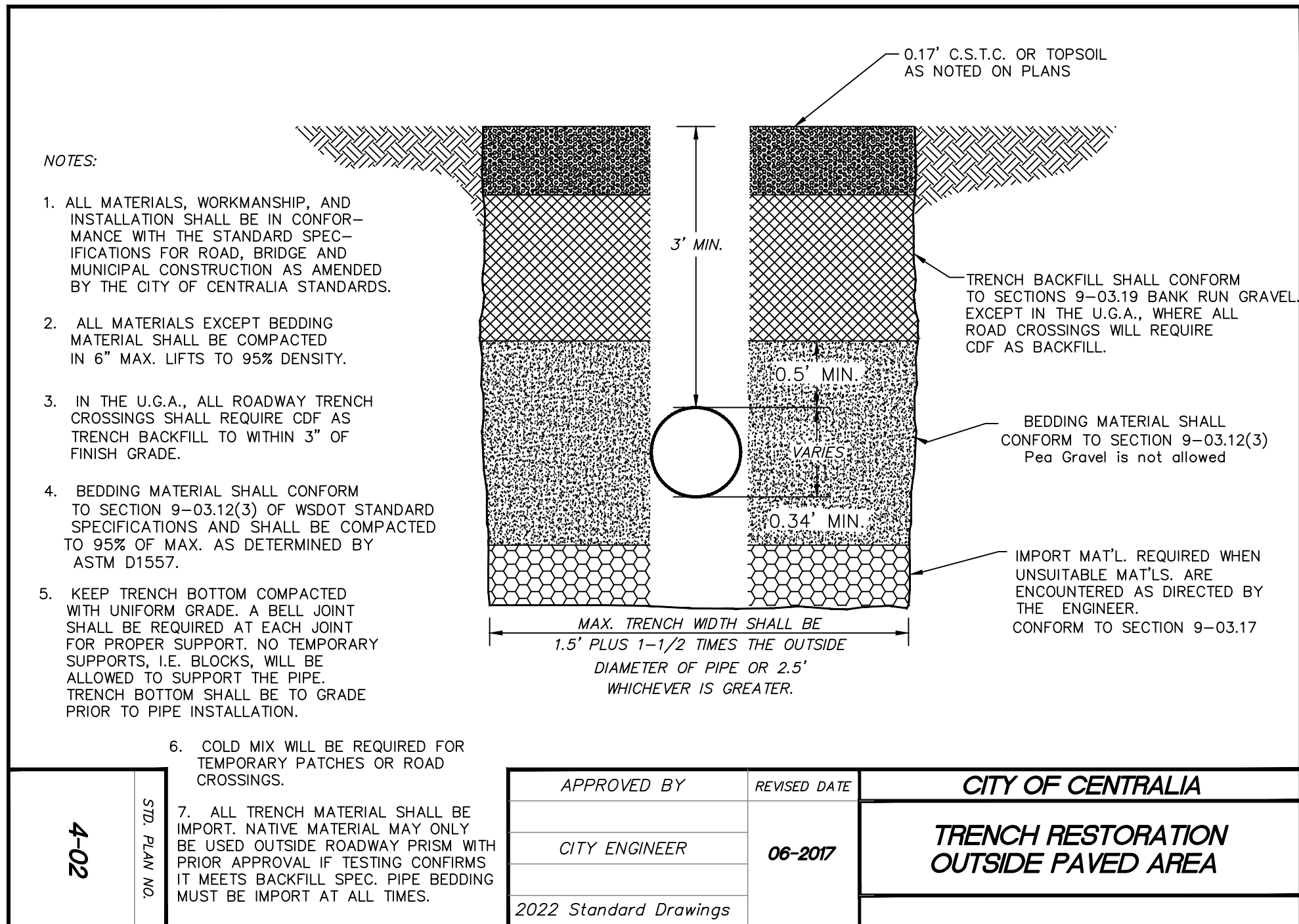
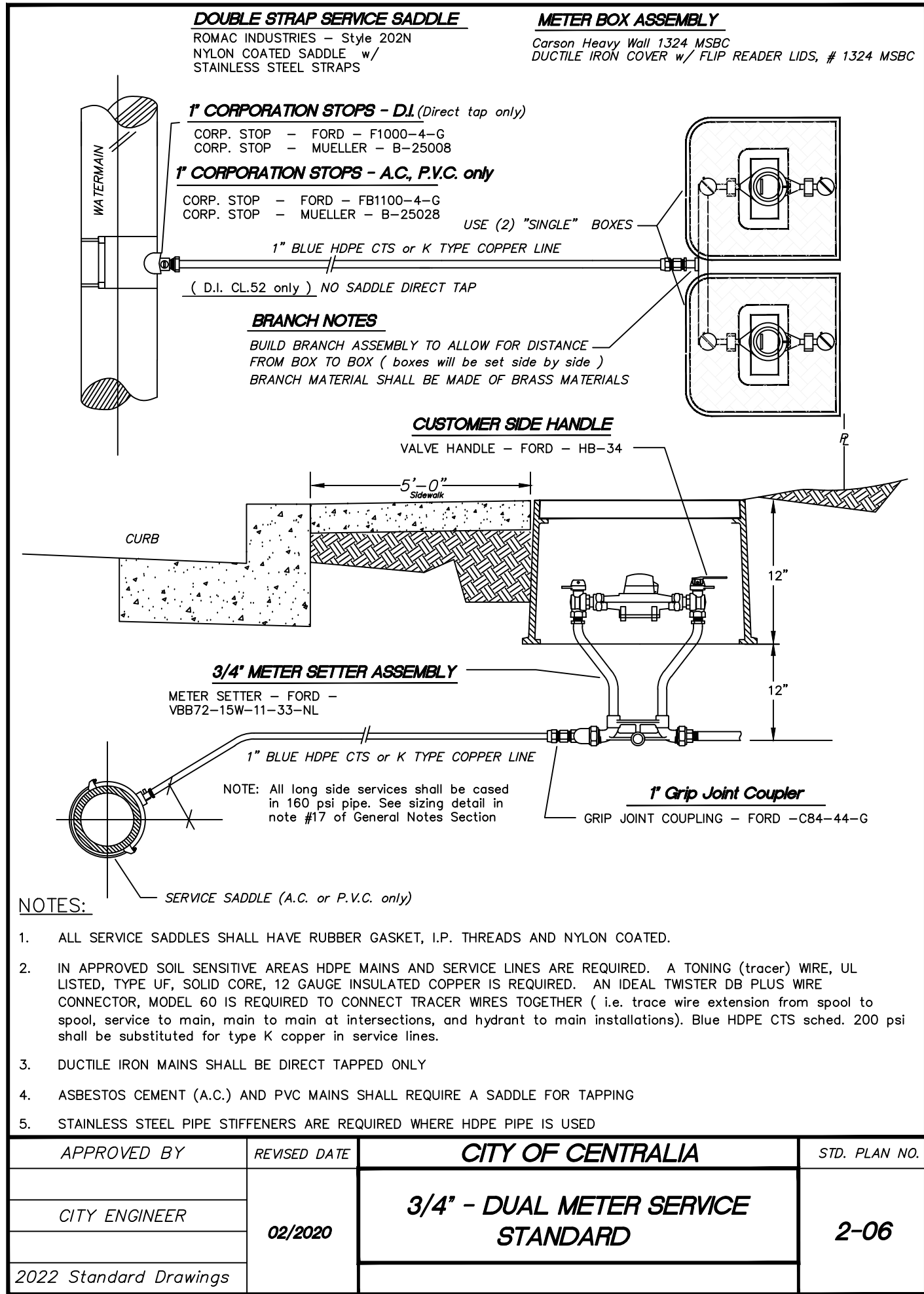
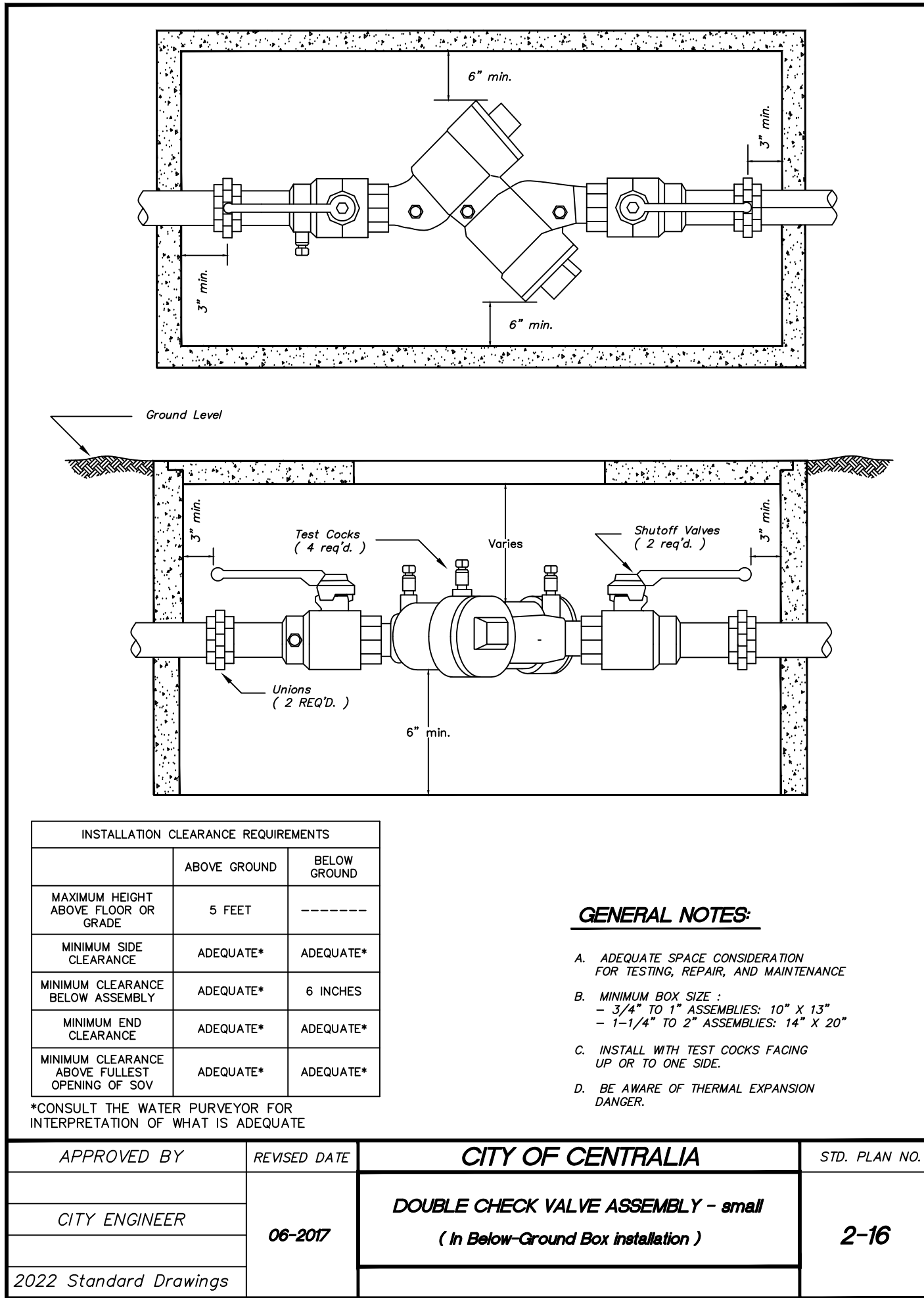
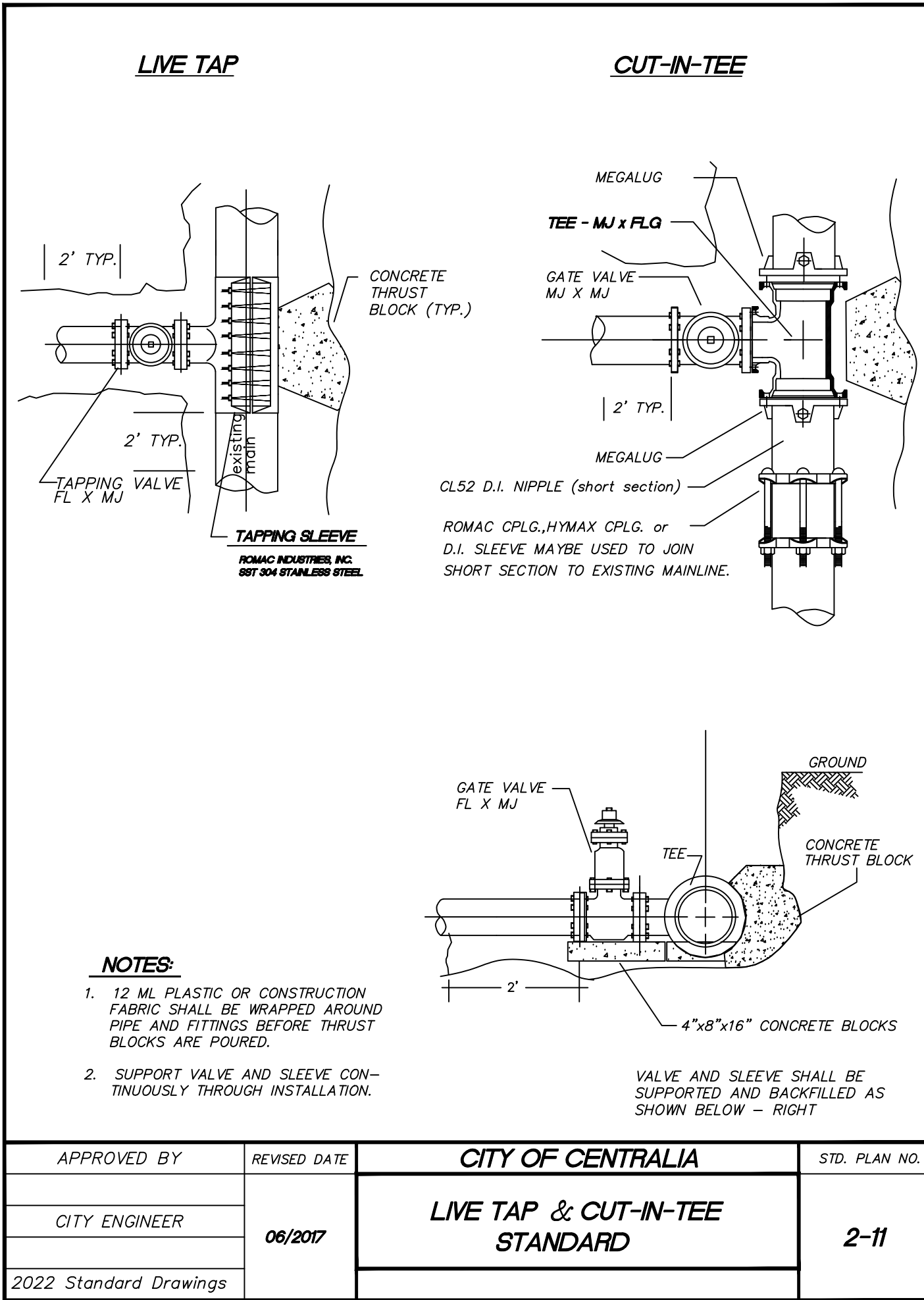
APPROVED BY	REVISED DATE	CITY OF CENTRALIA	
CITY ENGINEER	02/2020	WATER MAIN INSTALLATION GENERAL NOTES	2 OF 2
2022 Standard Drawings			

APPROVED FOR CONSTRUCTION

BY: _____ DATE: _____
CITY ENGINEER

APPROVAL EXPIRES ONE YEAR FROM ABOVE DATE.

DESIGNED BY: ZRW		DRAWN BY: ZRW		CHECKED BY: RWB		DATE: 12/12/23		SCALE: 1"=10'	
NO. 1		DATE 1.16.24		REVISION		1ST REVIEW COMMENTS			
LONG ROAD PARKING		CENTRALIA		WA.		WATER UTILITY PLAN			
				DESIGN -> PERMIT -> MANAGE		P.O. Box 923 CENTRALIA, WA 98532		OFF: (360) 740-8919 EMAIL: CntrPro@RBEngineers.com	
		JOB NUMBER 23055		DRAWING NAME 23055_WTPL		C3.1		6 OF 7	



APPROVED FOR CONSTRUCTION

BY: _____ DATE: _____

CITY ENGINEER

APPROVAL EXPIRES ONE YEAR FROM ABOVE DATE.

NO.	DATE	REVISION
1	1.16.24	1ST REVIEW COMMENTS

DESIGNED BY:	DRAWN BY:	CHECKED BY:	DATE:	SCALE:
ZRW	ZRW	RWB	12/12/23	1"=10'

LONG ROAD PARKING

WATER UTILITY DETAILS

CENTRALIA

WA.

RB Engineering

DESIGN → PERMIT → MANAGE

OFF: (360) 740-8919
P.O. Box 923
CHEWUS, WA 98532
EMAIL: info@rbengineers.com

811 know what's below.
Call 811 before you dig.

JOB NUMBER
23055

DRAWING NAME
23055_WTDT

C3.2

7 OF 7



Contract and Agreement Checklist

Name of person(s) completing form: _____, _____

Title(s) _____, _____ Date: _____

Please check the document/agreement you are providing information for and complete all fields with (*):

- ☐ Agreement & Covenant for Ownership of the Fire Service Valve
- ☐ Bill of Sale
- ☐ Covenant For Future Annexation
- ☐ Easements (Right-of-Way & Utility)
- ☐ Utility Reimbursement Contract (Latecomer's Agreement)
- ☐ Real Estate Excise Tax Affidavit (*to accompany the Warranty Deed*)
- ☐ Stormwater Maintenance Agreement
- ☐ Warranty Deed
- ☐ Water Main Extension Agreement
- ☐ Sewer Main Extension Agreement

(*) In Addition to (*) please provide the:

- **Assessed value** or **value at time with documentation for** *Bill of Sale, Sewer and Water Latecomer's Agreement*
- **Abbreviated Legal description for** *Stormwater Maintenance Agreement, Agreement & Covenant for Ownership of the Fire Service Value, and Covenant for Future Annexation.*
- **Name of Business or Representative with title, if signing on the behalf of an Individual or Business Entity.**

Note: Any missing, inaccurate, or unverifiable information may delay the completion and process with legal recording.

*Name of Property Owner(s) _____, _____

*Name of Business _____

*Representative _____, Title _____

*Property Address _____

*City _____, State _____ Zip _____

*Property Owner Phone Number () _____

*Parcel # _____

*Abbreviated Legal Description _____

*Written Legal Description (-Exhibit A-) with map included

*Professional Surveyor Name _____

*Assessed Value \$ _____

*Value of System at time of construction \$ _____

This Section to be completed by Centralia Public Works Office Staff : _____

Date received _____

Document	Provided	Unverified	Verified	Missing	Additional information needed	Date Requested
Agreement & Covenant for Ownership of the Fire Service Valve						
Bill of Sale						
Covenant For Future Annexation						
Easement (Right-of-Way & Utility)						
Utility Reimbursement Contract						
Real Estate Excise Tax Affidavit (to accompany Warranty Deed)						
Stormwater Maintenance Agreement						
Warranty Deed						
Water Main Extension Agreement						
Sewer Main Extension Agreement						

EXHIBIT A
Legal Description

A PART OF GOVERNMENT LOT 3, IN SECTION 18, TOWNSHIP 14 NORTH, RANGE 2 WEST, W.M., DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EAST LINE OF SAID SECTION 1,686 FEET SOUTH OF THE NORTHEAST CORNER OF SAID SECTION 18; THENCE SOUTH ALONG THE SECTION LINE TO THE INTERSECTION OF SAID SECTION LINE WITH THE EASTERLY RIGHT OF WAY LINE OF PRIMARY STATE HIGHWAY NO. 1; THENCE NORTHWESTERLY ALONG SAID RIGHT OF WAY LINE TO A POINT WEST OF THE POINT OF BEGINNING; THENCE EAST TO THE POINT OF BEGINNING.

LEWIS COUNTY, WASHINGTON.

TOGETHER WITH ALL EASEMENTS, CONDITIONS, CONVENANTS, RESTRICTIONS, AND RESERVATIONS OF RECORD, IF ANY.

SEWER MAIN EXTENSION AGREEMENT

The undersigned, (hereafter termed the "Owner") is (are) the owner(s), of the following described property, situated in Lewis County, Washington, commonly known as _____ (address) and legally described as _____ (parcel number), to wit:

See Attached Exhibit A

and has requested water service from the City of Centralia to the property described above. The City agrees to provide such service, on the following terms and conditions:

1. The Owner may make use of an on-site septic system until such time as the City extends its sewer system by constructing a gravity sewer main along or adjacent to the property above described.
2. The Owner agrees to pay the standard service and connection fees for connecting to the City water system and to meet all other current requirements for water connections.
3. The Owner further agrees that when and/or if the City of Centralia improves, or allows to be improved, the City sewer system by constructing a gravity sewer main along or adjacent to the property described above, the Owner shall also pay a sum to the City of Centralia equal to the Owner's share of the total cost of the main extension, in accordance with the assessments levied on the several parties served by said sewer main extension.
4. The Owner further understands and agrees that this agreement will be recorded in the Lewis County Auditor's Office and constitutes a covenant running with the land, binding upon all future owners, successors or assigns of the real property described above.
5. The Owner further agrees that if the payments to the City of Centralia provided for above are not paid when due that sum shall become a lien upon the property above described and that said lien may be foreclosed pursuant to the laws of the State of Washington.

DATED this _____ day of _____, _____.

Property Owner (Signature)

STATE OF WASHINGTON

§

COUNTY OF LEWIS

I certify that I know or have satisfactory evidence that _____
is the person(s) who appeared before me; and said person(s) acknowledged that (he/she) signed
this instrument and acknowledged it to be his/her free and voluntary act for the uses and purposes
mentioned in the instrument.

Dated: _____

Signature
Notary Public, State of Washington

Printed Name

My Appointment Expires: _____

DATED this _____ day of _____, _____.

Property Owner (Signature)

STATE OF WASHINGTON
COUNTY OF LEWIS

I certify that I know or have satisfactory evidence that _____
is the person(s) who appeared before me; and said person(s) acknowledged that (he/she) signed
this instrument and acknowledged it to be his/her free and voluntary act for the uses and purposes
mentioned in the instrument.

Dated: _____

Signature
Notary Public, State of Washington

Printed Name

My Appointment Expires:_____

EXHIBIT A

Attachment To: SEWER MAIN EXTENSION AGREEMENT

Following is the complete and correct legal description for _____

_____(address), located in Lewis
County, Washington.