

**Site Plan Review Committee**

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**City Attorney**  
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## **SITE PLAN REVIEW COMMITTEE**

### **Meeting Agenda**

*Monday, February 26, 2024*

*Join Zoom meeting:*

<https://us02web.zoom.us/j/85356833930?pwd=aFJUanFIRXFwWWM1d0xCQnBqQmxodz09>

*Meeting ID: 853 5683 3930*

*Passcode: 770823*

*Join by mobile: #1-253-215-8782*

**Applicants should be at the meeting and prepared to discuss their development.**

**The public is invited to participate in all Site Plan Review meetings.**

**9:00 AM      STAFF REVIEW TIME**

1. Weekly Permit List
2. Discuss Residential Development Regulations

**10:00 AM – Site Plan Review**

**Project Name:** **WinCo Foods**

Applicant/Owner: JSA Civil, LLC / WinCo Foods, LLC  
Property Address: 1005 S Yew Street  
Contact Phone: Brandon Johnson, JSA, 360-269-6346  
Email: [brandon.johnson@jsa-civil.com](mailto:brandon.johnson@jsa-civil.com)  
Zone: PMP, Port Master Plan  
Comp. Plan: GC, Commercial General District  
Parcel Information: 003487-007-001, 8.14 AC  
Request: Final civil plan approval and infrastructure for future grocery store.



01/16/2024 - 02/21/2024

Permit #	Permit Date	Building/Land Use	Permit Type	CONSTRUCTION SITE ADDRESS	Description of work being done under this permit	Applicant Name
20240108	2/21/2024	Land Use Application	Short Plat	1907 Johnson Road	2-Lot Short Plat	502 Centralia Property Holdings LLC
20240107	2/21/2024	Building Permit	Mechanical	928 K St, Centralia Wa 98531	replacing gas furnace for new like and kind	Elissa Carbajal
20240106	2/21/2024	Building Permit	Commercial - Remodel	2312 N Pearl Street	Building a deck with wheelchair ramp	Leo Martinez
20240105	2/20/2024	Building Permit	Manufactured Home (double wide) Placement	0 Delano Road	New manufactured home and garage	Dave Young
20240104	2/20/2024	Building Permit	Commercial - Remodel	502 S Tower Avenue	Reside old south portion of main building, cover up windows & old south door. Replace west door	Robb Stilnovich
20240103	2/20/2024	Building Permit	Commercial - Remodel	4002 Galvin Road	3 new modular offices	Ian Anderson
20240102	2/16/2024	Land Use Application	SEPA	City of Centralia and Centralia UGA	2024 comprehensive update of the City of Centralia Parks Plan	Amy Buckler
20240101	2/15/2024	Land Use Application	SEPA	700-A Pioneer Way	Turf infields of Wheeler Field and softball complex Field 2 at Borst Park	Amy Buckler, Deputy City Manager
20240100	2/14/2024	Building Permit	Single Family - Remodel	1309 Rose Street	Replace cover on front door area	Catherine Warner

20240099	2/14/2024	Building Permit	Demolition	827 Marsh Avenue	Remove wet sheetrock	Coval Homes
20240098	2/14/2024	Building Permit	Demolition	2126 Gallagher Road	Demolition	Erin Maloney
20240097	2/14/2024	Building Permit	Commercial - Remodel	827 Marsh Avenue	Update Kitchen, Bathroom and Flooring. Repair water damaged framing members.	Coval Homes
20240096	2/13/2024	Building Permit	Reroof	1002 W Main Street	Tear off Re-roof	Ken Slater
20240095	2/13/2024	Building Permit	Mechanical	516 W Pine Street	trane heat pump & coil	Chehalis Sheet Metal
20240094	2/13/2024	Building Permit	Mechanical	225 S Tower Avenue	Replace outdoor ductless unit like for like	Butch Moon
20240093	2/13/2024	Building Permit	Reroof	415 S Oak Street	Roof	Cheyenne Allen
20240092	2/12/2024	Building Permit	Reroof	2602 Eureka Avenue	tear off reroof	Briana
20240091	2/12/2024	Land Use Application	SEPA	0 Duffy Street	Administrative Appeal of SEPA MDNS 2023 0623	Rick and Lisa Mack
20240090	2/12/2024	Building Permit	Reroof	315 S Silver Street	Reroof single family residence	Andrew Bailey, DB Roof Co.
20240089	2/12/2024	Building Permit	Single Family Residence - New	1607 Salzer Creek	Buidling a new barndiminum home is 2000 sq ft wuth atached garage that is 1200 sq ft	Mike Ayers
20240088	2/12/2024	Building Permit	Accessory Building Remodel	1312 Windsor Avenue	Adding a full bathroom and accessory sink to accessory building on the property	Warren Robertson

20240087	2/11/2024	Building Permit	Single Family - Remodel	2501 KRISTINE CT CENTRALIA, WA 98531	1. BUILD A RAMP RISING 7". 2. PARTITION RMS TO INCR. 2 MORE BRS	WILLIAM ARAKA
20240086	2/9/2024	Building Permit	Reroof	308 Linda Ln	tear off re roof house and garage	Ken Slater
20240085	2/9/2024	Building Permit	Deck	616 S Gold Street	rebuild porch/deck and reroof	Benito Rodriguez
20240084	2/8/2024	Building Permit	Single Family - Addition	605 Scott Drive	Rebuilding a lean to on side of garage	Hunter Crook
20240083	2/8/2024	Building Permit	Commercial - Remodel	413 N Tower	Cafe remodel	Bethel Church
20240082	2/8/2024	Building Permit	Commercial - Remodel	514 W Main St	Exterior: remove and replace 4x8 sheets of 1/2" OSB, install 300 sf ft house wrap, Interior: remove and replace 10' of mud sill, replace 4 broken 2x6 studs (non structural), remove and replace 3 4x8 sheets of 1/2" OSB, remove and replace 3 4x8 sheets of drywall	Loren Voie
20240081	2/8/2024	Building Permit	Plumbing	1816 Beach St.	Inspection of gas lines	Donald Fosler
20240080	2/8/2024	Building Permit	Reroof	216 N ROCK STREET CENTRALIA WA 98531	REROOF	LORENA ROOFING CORP
20240079	2/7/2024	Building Permit	Plumbing	627 S Ash St, Centralia WA 98531	Replace existing water heater with new like and kind.	Elissa Carbajal

20240078	2/7/2024	Building Permit	Mechanical	1215 W Main St, Centralia WA 98531	replacing existing gas furnace for new like and kind	Elissa Carbajal
20240077	2/7/2024	Building Permit	Deck	1140 W Roanoke Street	Replaced previous deck	Steven Speer
20240076	2/7/2024	Building Permit	Plumbing	604 S Tower Avenue	6 hand washing sinks, 1 toilet, 1 clothing washer (water and drain), 1 grease trap (kitchen sink) will be added	Chris Shumway
20240075	2/6/2024	Building Permit	Reroof	210 S Berry Street	Reroof	OTR
20240074	2/6/2024	Land Use Application	Conditional Use	0 Roosevelt Avenue	Wanting to build a SFR in a C-1 zone	Conner Wasson
20240073	2/6/2024	Building Permit	Solar Panels	205 N Oak St, Centralia, WA 98531	7.60kW PV Roof Mount - Solar - solar tied in at (N)30A breaker	Leann Malloy
20240072	2/6/2024	Building Permit	Single Family Residence - New	1511 Farview Lane	Construction of new one story home with an unfinished ADU and Lakebar	Logan Moody
20240071	2/5/2024	Building Permit	Sign	1003 Eckerson Rd	Installation of 1 set of channel letters, remove existing set	Seth Taylor
20240070	2/5/2024	Building Permit	Demolition	1049 Eckerson Road	Demo of Units/Drywall and scrape ceilings	Christian Lindemann
20240069	2/2/2024	Building Permit	Sign	1215 S Tower Avenue	sign installation	Katharina Knopf-Carter
20240068	2/1/2024	Building Permit	Solar Panels	2812 Colonial Drive	SOLAR PV INSTALLATION ON ROOF OF RESIDENCE	PROSTAT ELECTRIC-- DALE KRUEGER

20240067	2/1/2024	Land Use Application	Mechanical	302 N Tower Avenue	Add a ductless heat pump	Tami Perman
20240066	2/1/2024	Building Permit	Solar Panels	1023 Woodland Ave, Centralia, WA 98531	18.40kW PV Roof Mount - Solar and Load Center - solar tied in at (N)lineside tap, (N)100A load center with 2 new breakers	Leann Malloy
20240065	2/1/2024	Building Permit	Solar Panels	198 River Heights Rd	Installation of solar Array	Rosie Rumsey
20240064	2/1/2024	Building Permit	Single Family - Remodel	610 E Summa Street	See description in file	Guillermo Puente
20240063	2/1/2024	Building Permit	Reroof	509 W Cherry Street	Tear off and Re-Roof	Ryan Gonzales
20240062	1/31/2024	Building Permit	Accesory Building	732 S Silver Street	Building a 20x20 pole barn	Jose Triana
20240061	1/30/2024	Building Permit	Reroof	319 S Diamond St	Tear off re roof front of garage	Ken Slater
20240060	1/29/2024	Building Permit	Single Family - Remodel		Foundation/floor repair	Mike Aumiller
20240059	1/29/2024	Building Permit	Single Family - Remodel	206 N Cedar Street	Refresh bathroom, remove claw foot tub. Replace with 4 piece shower pan & surround. Remove non load bearing wall in closet for more space	Bryce Vanderkolk
20240058	1/29/2024	Building Permit	Reroof	2201 N TOWER	REROOF	CHRISTIANS ROOFING
20240057	1/26/2024	Building Permit	Commercial - Addition	2198 Blair Rd.	Eligible Facilities Request - Minor Modification	Sarah Baird, Crown Castle, on behalf of T-Mobile
20240056	1/26/2024	Building Permit	Reroof	922 N Pearl St	tear off re roof	Ken Slater
20240055	1/24/2024	Building Permit	Mechanical	426 Byrd St	replace heat pump system	Americool heating and cooling
20240054	1/19/2024	Building Permit	Temporary Use Permit	1248 Long Road	Medical Hardship RV Placement: renewal of permit no. 2022 0470	Jesse Cummins

20240053	1/24/2024	Building Permit	Mechanical	919 Marion Street	Retro - ductless heat pump system add	Mills Northwest Heating & Cooling
20240052	1/23/2024	Building Permit	Solar Panels	1418 Belmont Ave, Centralia, WA 98531	12.40kW PV Roof Mount - Solar - solar tied in at (N)lineside tap, combiner box of breakers (4)	Leann Malloy
20240051	1/23/2024	Building Permit	Single Family - Remodel	1001 N Tower Avenue	Add 6ft to NW sunroom/porch, out to previously permitted foundation and change it into a bedroom. Reroof room & SW entryway	Victor Crowston
20240050	1/23/2024	Building Permit	Commercial - Remodel	1326 Harrison Avenue	Found old windows burried in old siding had to remove and frame in for new siding	Huff Landscaping
20240049	1/22/2024	Building Permit	Plumbing	1001 S Gold Street, Centralia, WA, 98631	Installation of Kitchen Hood Fire Suppression System.	Bob Ward
20240048	1/22/2024	Building Permit	Single Family - Remodel	507 South Street, Centralia WA	remove failing fireplace, reframe, drywall and sideing	Andrea Hall
20240047	1/19/2024	Building Permit	Commercial - Remodel	1613 Grand Avenue	Walls for plumbing and dividing	Derek Dodd
20240046	1/19/2024	Building Permit	Reroof	520 N ROCK STREET	TEAR OFF APPLY NEW MATERIAL	FAUSTINO REYES SANCHEZ
20240045	1/19/2024	Building Permit	Commercial - New Build	1900 Cooks Hill Road	Placement of temporary mobile office while water damage repairs are completed.	Washington Orthopedic
20240044	1/18/2024	Building Permit	Mechanical	519 Harrison Ave	Add (2) split systems & (1) exhaust fan	Brett Roebuck (ASEI)

20240043	1/18/2024	Building Permit	Demolition	1315 View Avenue	Demo of garage that caught fire	Greg Watson
20240042	1/17/2024	Building Permit	Commercial - New Build	2600 W Reynolds Avenue	Temporary/emergency mobile office placement during building repairs	Kim Ashmore, Centralia Public Works
20240041	1/17/2024	Building Permit	Demolition	2600 W Reynolds Avenue	Demo damage from broken water pipe	Kim Ashmore, Centralia Public Works
20240040	1/17/2024	Building Permit	Duplex - Remodel	401 S Rock Street	Remove old brick fireplace/relocate downstairs bathroom/ washer dryer/ raise garage floor height/ add 2 rooms/ add heat pump/ remove old floor registers	Mario Pescatore
20240039	1/17/2024	Building Permit	Demolition	133 Sunnyside Drive	Demo of wall and drop down ceiling in kitchen	Liz Mohrbacher
20240038	1/17/2024	Building Permit	Single Family - Remodel	319 N Diamond Street	Remodeling bathroom. floor, framing, insulation and drywall	Derek Blair
20240037	1/17/2024	Building Permit	Reroof	914 W 2Nd Street	tear off re roof front half	Ken Slater
20240036	1/16/2024	Building Permit	Accesory Building	1406 Crescent Ave	Construct a 24x24x9 detached garage with 4" concrete floor; Non-heated	Tim Jahner
20240035	1/16/2024	Building Permit	Plumbing	1613 Grand Avenue	Replacing plumbing up to code	Derek Dodd
20240034	1/16/2024	Building Permit	Plumbing	1013 N Washington Ave	NG Water Heater	Jessica Blye
20240033	1/16/2024	Building Permit	Mechanical	1107 Johnson Rd	trane gas pack	Chehalis Sheet Metal



JSA CIVIL GENERAL CONSTRUCTION NOTES

1. ALL WORK, WORKMANSHIP AND MATERIALS FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE FOLLOWING MANUALS AND DOCUMENTS:
    22. CITY OF CENTRALIA DESIGN & DEVELOPMENT GUIDELINES  
<https://www.cityofcentralia.com/234/DESIGN-DEVELOPMENT-GUIDELINES>
    23. CITY OF CENTRALIA STANDARD DRAWINGS  
<https://www.cityofcentralia.com/239/STANDARD-DRAWINGS>
  - WS107 STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION  
<https://www.ws107.org/standards-and-standards/manuals/standards-specifications-road-bridge-and-municipal-construction>
  - GEOTECHNICAL REPORT FINALIZED BY TERRACON CONSULTANTS, INC. ON JULY 19, 2019
  2. ALL GOVERNMENTAL SAFETY REGULATIONS SHALL BE STRICTLY ADHERED TO INCLUDING OSHA.
  3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DAILY NOTIFY THE CITY OF CENTRALIA IN ADVANCE OF THE COMMENCEMENT OF ANY AUTHORIZED WORK AND TO SCHEDULE REQUIRED INSPECTIONS. ANY REQUIRED INSPECTION WILL BE PERFORMED AT THE CONTRACTOR'S EXPENSE.
  4. THE APPROVAL OF THESE PLANS BY THE CITY OF CENTRALIA DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS OF OTHER GOVERNING AGENCIES.
  - CAUTION – NOTICE TO CONTRACTOR:  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE DRAWINGS IS THE PROJECT SURVEY AND OTHER RECORDS OF UTILITIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL FOR UTILITY LOCATES 48 HOURS PRIOR TO PLANNED EXCAVATIONS.
  6. THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SET ARE BASED UPON COMPLETED SURVEY DATA. THE CONTRACTOR IS RESPONSIBLE FOR VERIFIED FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED WORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE.
  7. EXISTING UTILITIES ARE SHOWN FOR INFORMATION ONLY. THE CONTRACTOR SHALL VERIFY EXACT LOCATION, DIAMETER, LENGTH, AND DIRECTION OF EXISTING VERTICAL AND HORIZONTAL ALIGNMENT OF THE EXISTING UTILITIES AND OF THE PROPOSED POINTS OF CONNECTION PRIOR TO CONNECTION AND REPORT ANY DISPARITIES TO ENGINEER PRIOR TO INSTALLATION OF THE PROPOSED UTILITIES.
  8. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL, STATE, AND FEDERAL APPROVALS AND PERMITS.
  9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE A COPY OF THE APPROVED PLANS, SPECIFICATIONS, CONSTRUCTION SWPPP, AND CONTRACT DOCUMENTS AT THE CONSTRUCTION SITE AT ALL TIMES.
  10. CONSTRUCTION SIGNING AND TRAFFIC CONTROL SHALL BE PER THE CURRENT COPY OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (UMTD). THE CONTRACTOR SHALL PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF CENTRALIA AND OBTAIN APPROVAL PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.
  11. ALL VEHICLES AND EQUIPMENT SHALL BE KEPT WITHIN THE WORK AREAS ESTABLISHED FOR THAT SHIFT UNLESS TRAVELING TO OR FROM THE SITE. UNDER NO CIRCUMSTANCES SHALL VEHICLES BE PARKED OR EQUIPMENT BE STORED OUTSIDE OF THESE AREAS.
  12. OTHER CONSTRUCTION PROJECTS MAY OCCUR NEAR THE PROJECT SITE AND MAY BE IN PROGRESS CONCURRENT WITH THE PROJECT. THE CONTRACTOR SHALL COOPERATE AS NECESSARY AND NOT INTERFERE OR HINDER THE PROGRESS OR COMPLETION OF WORK BEING PERFORMED BY OTHER CONTRACTORS.
  13. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING ALL MATERIALS, LABOR, AND EQUIPMENT NECESSARY TO COMPLETE THE WORK SHOWN ON THESE DRAWINGS AND TO OBTAIN ACCEPTANCE BY THE CITY OF CENTRALIA AND THE PROJECT OWNER.
  14. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL "PRE CONSTRUCTION" STATE OR BETTER.
  15. DRIVEWAY ACCESS AND UTILITY SERVICE TO EXISTING HOMES AND BUSINESSES SHALL BE MAINTAINED AT ALL TIMES.
  16. THE CONTRACTOR SHALL ASSUME THAT A PORTION OF THE SOILS WILL NOT PROVIDE SUFFICIENT STABILITY TO STAND UP IN VERTICAL TRENCHES THIS WILL RESULT IN WIDER TRENCHES, GREATER EARTHWORK VOLUMES, AND MORE SURFACE DISTURBANCE. THE CONTRACTOR SHALL NOT EXCAVATE TRENCHES DEEPER THAN 12 INCHES OR DEEPER THAN 12 FEET. COBBLES WHICH ARE GREATER THAN 24 INCHES IN DIAMETER WHICH WILL SLOW DOWN THE CONTRACTOR'S PROCESS. THIS WILL RESULT IN WIDER TRENCHES, GREATER EARTHWORK VOLUMES, MORE SURFACE DISTURBANCE, AND MORE SURFACE RESTORATION WHAT IS SHOWN ON THE DRAWINGS.
  17. THE REMOVAL, ACTIVITIES, AND HAULING OF EXCESS MATERIALS AS A RESULT OF DEMOLITION, TRENCHING, AND EXCAVATION ACTIVITIES SHALL BE DISPOSED OF AT A CONTRACTOR-PROVIDED WASTE SITE AT NO ADDITIONAL COST TO THE OWNER.
  18. THE EXISTING CONDITIONS SHOWN ON THESE DRAWINGS ARE BASED ON A ALTA/NSPS LAND TITLE SURVEY FROM 2018. THE CONTRACTOR SHALL VERIFY THE DESIGN FILES FOR THE EXISTING IMPROVEMENTS ALONG ALDER STREET AND NEW STREET. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO DUG AND ALERT THE ENGINEER IF ANY DISPARITIES ARE FOUND.

Feb 14, 2024 10:06:40am - User registered  
N:\2 - PROJECTS\123 TANT & ASSOCIATES, INC\123.001 WNC CENTRAL, WA\ACAD\123.001 GN-01.DWG

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

Approved For Construction	
City Engineer	Date
Approval expires 1 year from above date	



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Approved For Construction

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**City Engineer** \_\_\_\_\_ **Date** \_\_\_\_\_

Approval expires 1 year from above date

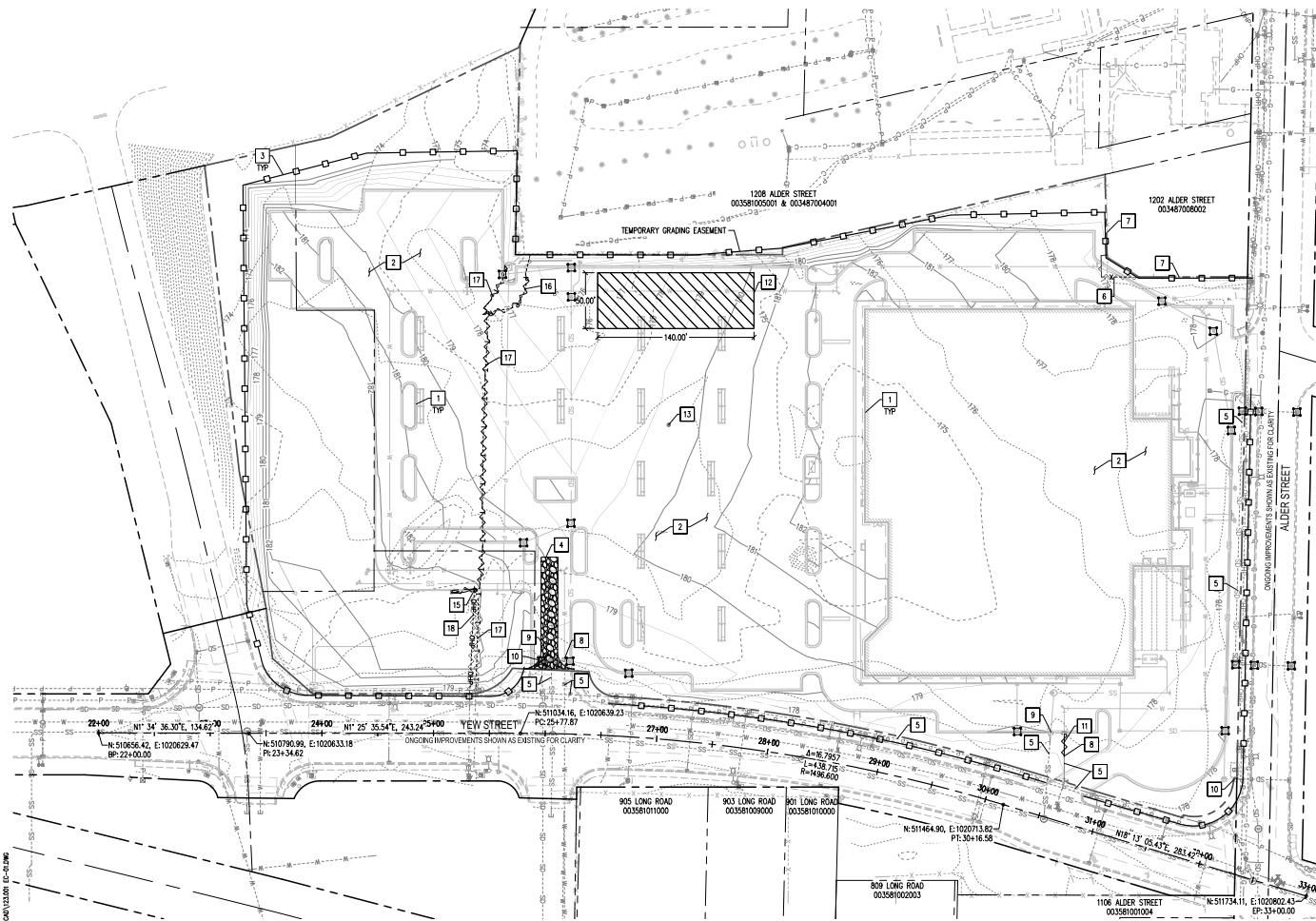
## ABBREVIATION

	AND	KWH	KILOWATT HOURS
+	ANGLE	L	LENGTH
+	AT	LB(S)	POUNDS(1)
+	CENTERLINE	LF	LINEAR FEET
+	DEGREE	LP	LOW POINT ELEVATION
+	EQUALS	LT	LEFT
+	FOOT		
>	GREATER THAN		
INCH			
+	NUMBER	MAX	MAXIMUM
+	PERCENT	MFR	MANUFACTURER
		MH	MANHOLE
		MIN	MINIMUM, MINUTE
		MISC	MISCELLANEOUS
		MON	MANUFACTURER IN CASE
AC	ASPHALTIC CONCRETE		
ADD1	ADDITIONAL	N	NEAREST
ADJT	ADJACENT	NA	NOT APPLICABLE
AFT	AFTER	NE	NORTHEAST
	ANGLE POINT	NEA	NATIONAL ELECTRICAL
APPROX	APPROXIMATE	NEMA	MANUFACTURER
ARCH	ARCHITECT	NO	NO CONTRACT
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NO	NUMBER
ATB	ASPHALT TREATED BASE COURSE	NTS	NOT TO SCALE
AV	AVENUE	NW	NORTHWEST
		OC, OC	ON CENTER
BCR	BEG CURB RETURN	OD	OUTSIDE DIAMETER
BFV	BUTTERFLY VALVE	OSHA	Occupational SAFETY & HEALTH ADMINISTRATION
BGS	BOTTOM GROUND SURFACE	P	POWER, ENERGY, VAULT
BULK	BULK	PC	POINT OF CURVATURE
BLDG	BUILDING	PCC	POINT OF COMPOUND CURVE
BENCHMARK		PCD	POINT OF LANDMARK CONCRETE
BGC	BEG VERTICAL CURB	PED	POINT OF END
C	CONDUIT	PI	POINT OF INTERSECTION
CG	CATENARY	POC	POINT OF CONNECTION
CF	CUBIC FEET	PP	POINT OF PIVOT
CR/C	CIRCUIT, CIRCUA(T, R, TION)	PRC	POINT OF REVERSE CURVATURE
CP/MON	CENTER, CENTER-PLACE	PROP	PROPERTY
CRH	CENTER-HIGH	PSI	POUND PER SQUARE INCH
CJ	CENTER JOINT	PT	POINT OF TANGENCY
C	CENTER LINE	PVC	POINT OF VERTICAL CURVE
CLD	CLOSED	PVI	POINT OF VERTICAL INTERSECTION
CLR	CLEAR	PWT	POINT OF VERTICAL TAVENENT
COMM	COMMUNICATION	PWR	PAVEMENT
COMPCT	COMPACTED	QTY	POWER
CONC	CONCRETE	QTY	QUANTITY
CONST	CONSTRUCT	R	RADIUS
CONT	CONTINUOUS, ED, OUS, ATION)	RD	ROAD, ROADWAY
COORD	COORDINATE	REF	REFERENCE
CSBC	CRUSHED SURFACING, BASE COURSE	REFINE	REFINE, (ARCH, ED, ING, MENT)
CSFC	CRUSHED SURFACING TOP COURSE	REQD	REQUIRED
CU/LV	CUVETTE	REV	REVISION
CU YD	CUBIC YARD	RIM	STRUCTURE, RIM ELEVATION
D/W	DRIVEWAY	RT	RIGHT TURN
DEF	DEFLECTION	R/W, ROW	RIGHT OF WAY
DEG	DEGREE	S	SOUTH OR SLOPE
DEMOL	DEMOLITION / DEMOLITION	SCHED	SCHEDULE
DIA	DIAETER	SD, SDM	STORM DRAIN, STORM DRAIN MANHOLE
DIM	DIMENSION(S)	SE	SE
DIP	DUICLE IRON PIPE	SECT	SECTION(S)
DRW	DRIVEWAY	SHT	SHEET
DWG(S)	DRAWINGS	SPR	SPRINKLER
E	EAST OR ELECTRICAL	SS	SPRING
EA	EACH	SQ FT	SQUARE FEET
ECR	END CURB RETURN	SQ IN	SQUARE INCH
EL	EMERGENCY, EMERGENCY HANDRAKE	SS	SEWER
ELEV	ELEVATION	SSMH	SANITARY SEWER MANHOLE
ELEC	ELECTRICAL	ST	STREET
ENGR	ENGINEER	STA	STATION
ESP	ESP, OF PAVEMENT	STD	STANDARD
EQ	EQUAL(Y)	STRUCT	STRUCTURE, AL)
EQMT	EQUIPMENT	SW	SOUTHWEST
EV	EVACUATION	SYS	SYSTEM
EX, EXIST	END VERTICAL CURVE	T	TELEPHONE OR TELEPHONE VAULT
	EXISTING EXP EXPANSION	TBD	TEMPORARY
		TBM	TEMPORARY BENCH MARK
FDR	FIRE DEFLECTION	TC	TOP OF CURB ELEVATION
FDN	FOUNDATION	TEMP	TEMPORARY
FIN	FINISH ELEVATION	TP, T/P	TOP OF PIPE
FG	FINISH GRADE ELEVATION	TIM	TOP OF WALL ELEVATION
FH	FIRE HYDRANT	UDG	UNDERGROUND
FL	FLAME	VAP	VERTICAL ANGLE POINT
FL	FLAME, FIRE, FLANGE	VC	VERTICAL CURVE
FT	FOOT/FEET	VERT	VERTICAL
		VOL	VOLUME
G	GAS	W	WEST, NORTH, WIDE OR WATER
GALV	GALVANIZED	W/	WITH
GRND	GROUN	W/O	WITHOUT
GV	GROUND	WA	WATER MANH OR WILLAMETTE MERRIDIAN
HH	HANDLEPIPE	WV	WATER VALVE
HAT	HAT, HAT, ASPHALT		
HT	HEIGHT		
IE	INVERT ELEVATION	XFMR	TRANSFORMER
IN	INCH		
J-B-BOX	JUNCTION BOX		
JT	JUNCTION TRENCH		

## DRAFTING SYMBOLS

<input checked="" type="checkbox"/>	CONSTRUCTION NOTE NUMBER	XX-A	SECTION NUMBER
<input checked="" type="checkbox"/>		XX-01	SHEET NUMBER SECTION IS LOCATED
<input type="checkbox"/>			

REVISIONS	
PROJECT TWO	123.001
DESIGNER	C. DAWH
DATE	1/16/2024
OWNER	W. ZOMAP
EFFECTIVE DATES	
01/16/2024	
01/31/2024	
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#### LEGEND

- PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING CHANNELIZATION
- EXISTING POWER LINE
- EXISTING GAS LINE
- EXISTING STORM LINE
- EXISTING SEWER LINE
- EXISTING WATER LINE
- EXISTING CATCH BASIN
- EXISTING STORM MANHOLE
- EXISTING GATE VALVE
- EXISTING JUNCTION BOX
- EXISTING LIGHT POLE
- HIGH VISIBILITY SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED WATER LINE
- PROPOSED SEWER LINE
- PROPOSED STORM LINE
- PROPOSED CATCH BASIN
- PROPOSED MANHOLE
- INLET PROTECTION: SEE EC-02
- TEMPORARY SEDIMENT TRAP

#### CONSTRUCTION NOTES

- PROPOSED SITE IMPROVEMENTS SHOWN FOR REFERENCE ONLY
- CLEAR, GRUB, AND EXCAVATE AS NECESSARY FOR SITE IMPROVEMENTS (TYP). EXCESS MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY, STATE, AND FEDERAL LAWS AND REGULATIONS AT A CONTRACTOR PROVIDED WASTE SITE
- HIGH VISIBILITY SILT FENCE: SEE EC-02
- STABILIZED CONSTRUCTION ENTRANCE: SEE EC-02
- PROTECT EXISTING UTILITY LINE IN-PLACE: REPLACE IN-KIND IF DAMAGED
- REMOVE PORTION OF EXISTING FENCE. SEE SP-01 FOR REPLACEMENT
- PROTECT EXISTING FENCE IN-PLACE. REPLACE IN-KIND IF DAMAGED
- PROPOSED WATER CONNECTION: SEE WT-01
- PROPOSED SEWER CONNECTION: SEE SS-01
- PROPOSED STORMWATER CONNECTION: SEE SD-01
- REMOVE PORTION OF EXISTING 8" WATER LINE. SEE WT-01 FOR ADDITIONAL INFORMATION
- TEMPORARY SEDIMENT TRAP, AS NECESSARY, PER CENTRALIA STD. DWD 9-11: SEE EC-02
- DECOMMISSION EXISTING MONITORING WELL PER DOE STANDARDS AND SPECIFICATIONS
- NOT USED
- REMOVE & DISPOSE OF EXISTING PHONE PEDESTAL. REMOVAL OF OVERHEAD POWER NOT PERMITTED UNTIL UNDERGROUND POWER IS IN PLACE FOR CHANGE OVER
- REMOVE & DISPOSE OF EXISTING POWER LINE
- REMOVE & DISPOSE OF EXISTING PHONE LINE
- REMOVE & DISPOSE OF EXISTING OVERHEAD POWER LINE. COORDINATE WITH UTILITY PURVUEUR. REMOVAL OF OVERHEAD POWER NOT PERMITTED UNTIL UNDERGROUND POWER IS IN PLACE FOR CHANGE OVER

#### REQUIRED EROSION CONTROL MEASURES

CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES FOR ALL SLOPES DURING AND AFTER CONSTRUCTION PER THE TABLE BELOW

SLOPE  
4:1-2:1 (25%-50%)  
2:1-1:1 (50%-100%)

TENSAR ROLLMAX SC150B  
TENSAR ROLLMAX C125B

#### GENERAL NOTES

- CONTRACTOR SHALL SECURE ALL STORAGE AREAS
- CONTRACTOR SHALL PROVIDE ALL EROSION CONTROL MEASURES FOR STORAGE AND STOCKPILE AREAS
- ALL MATERIALS STORED ON-SITE SHALL HAVE PROPER ENCLOSURES AND/OR COVERINGS
- SEE LANDSCAPE PLANS FOR SEEDING AND PLANTING REQUIREMENTS
- CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO COMMENCING WITH ANY SITE DISTURBING ACTIVITIES
- SIDEWALK, DRIVEWAYS, AND CURBING THAT ARE TO BE REMOVED SHALL BE SAWCUT AND REMOVED TO THE NEAREST FULL DEPTH EXPANSION JOINT REGARDLESS OF THE DEMOLITION LIMITS THAT ARE SHOWN ON THE PLANS. SAWCUTTING BETWEEN JOINTS SHALL NOT BE ALLOWED

CALL BEFORE YOU DIG  
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND IDENTIFICATION OF UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

Approved For Construction

City Engineer \_\_\_\_\_ Date \_\_\_\_\_



Approval expires 1 year from above date

0060\_WMC\_174\_EC-01\_EROSION CONTROL & DEMOLITION PLAN

REVISIONS

123.001  
DRAWN  
C. DAWH  
CHECKED  
W. DUNLAP  
SUBMITTED DATE  
02/14/2024

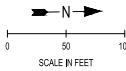
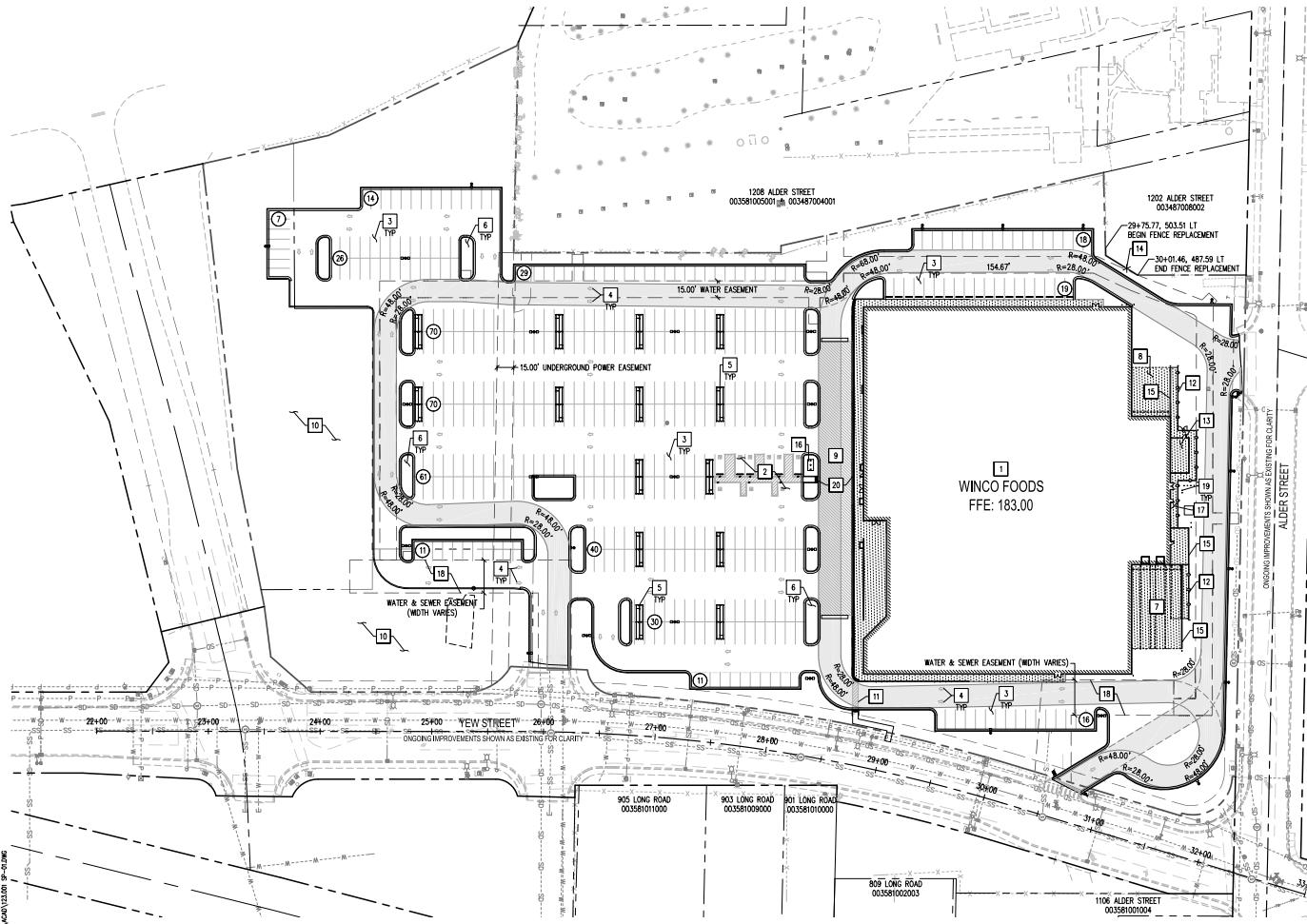
**JSA CIVIL**  
Engineering (Bogard) Management  
111 TUWATER RD SE, SUITE 220  
TUWATER, WA 98512

02/14/2024

WINCO FOODS STORE NO. 174  
1005 SYEV ST.  
CENTRALIA, WA  
SEC 7 TOWN 14 N R02W

**WinCo Foods**  
SHEET TITLE  
EROSION CONTROL & DEMOLITION PLAN  
SHEET  
EC-01





#### LEGEND

CONSTRUCTION NOTES

1. PROPOSED BUILDING: SEE BUILDING PLANS
  2. ACCESSIBLE PARKING STALLS: SEE SP-04
  3. TYPICAL PARKING STALL: SEE SP-04
  4. DIRECTIONAL ARROW: SEE SP-04
  5. CART CORRALS: PROVIDED BY OWNER, INSTALLED BY CONTRACTOR
  6. LANDSCAPE ISLAND: SEE LANDSCAPE AND IRRIGATION PLANS
  7. LOADING DOORS: SEE BUILDING PLANS
  8. DRY AND WET COMPACTORS: SEE BUILDING PLANS
  9. 4" WIDE DIAGONAL STRIPPING AT 24" O.C.  
2 COATS OF WHITE PAINT (MIN)  
W/ 1/2 ML DFT PER COAT
  10. AREA RESERVATION FOR FUTURE BUILDING
  11. 5' WIDE PEDESTRIAN PATH: SEE SP-04
  12. PROPOSED GUARDRAIL: SEE BUILDING PLANS
  13. GENERATOR PAD: SEE BUILDING PLANS
  14. REPLACE EXISTING FENCE, MATCH EXISTING FENCE STYLE
  15. SCREEN WALL: SEE BUILDING PLANS
  16. 35' FLAG POLE, APPROVED BY WNCO: SEE BUILDING PLANS
  17. RAISED CONCRETE SIDEWALK AT GRADE WITH BUILDING FEE: SEE CG-04
  18. PROPOSED UTILITY EASEMENT
  19. PROTECTIVE BOLLARD (PIPE BUMPER): SEE ARCHITECTURAL PLANS
  20. DEFACTORATE WARNING SURFACE

## REVISIONS

PROJECT NO.
<b>123.001</b>
DRAWN
<b>C. DAHM</b>
CHECKED
<b>W. DUNLAP</b>
SUBMITAL DATES

**DSACIVIL**  
1919 WATER BLVD SE, SUITE C210  
Seattle, WA 98112  
www.dsacivil.com

A circular stamp with the text "BRANDON L. JOHNSON" at the top and "PROFESSIONAL ENGINEER" at the bottom. In the center, it says "STATE OF WASHINGTON" above "PRACTICING ENGINEER". The date "02/14/2024" is stamped at the bottom. The stamp is partially obscured by a large, dark, circular mark.

WINCO FOODS STORE NO. 174  
1005 S YEW ST.  
CENTRALIA, WA  
SEC 7 TOWN 14 R02W

**WinCo  
Foods**

SHEET TITLE

SHEET  
SP-01

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

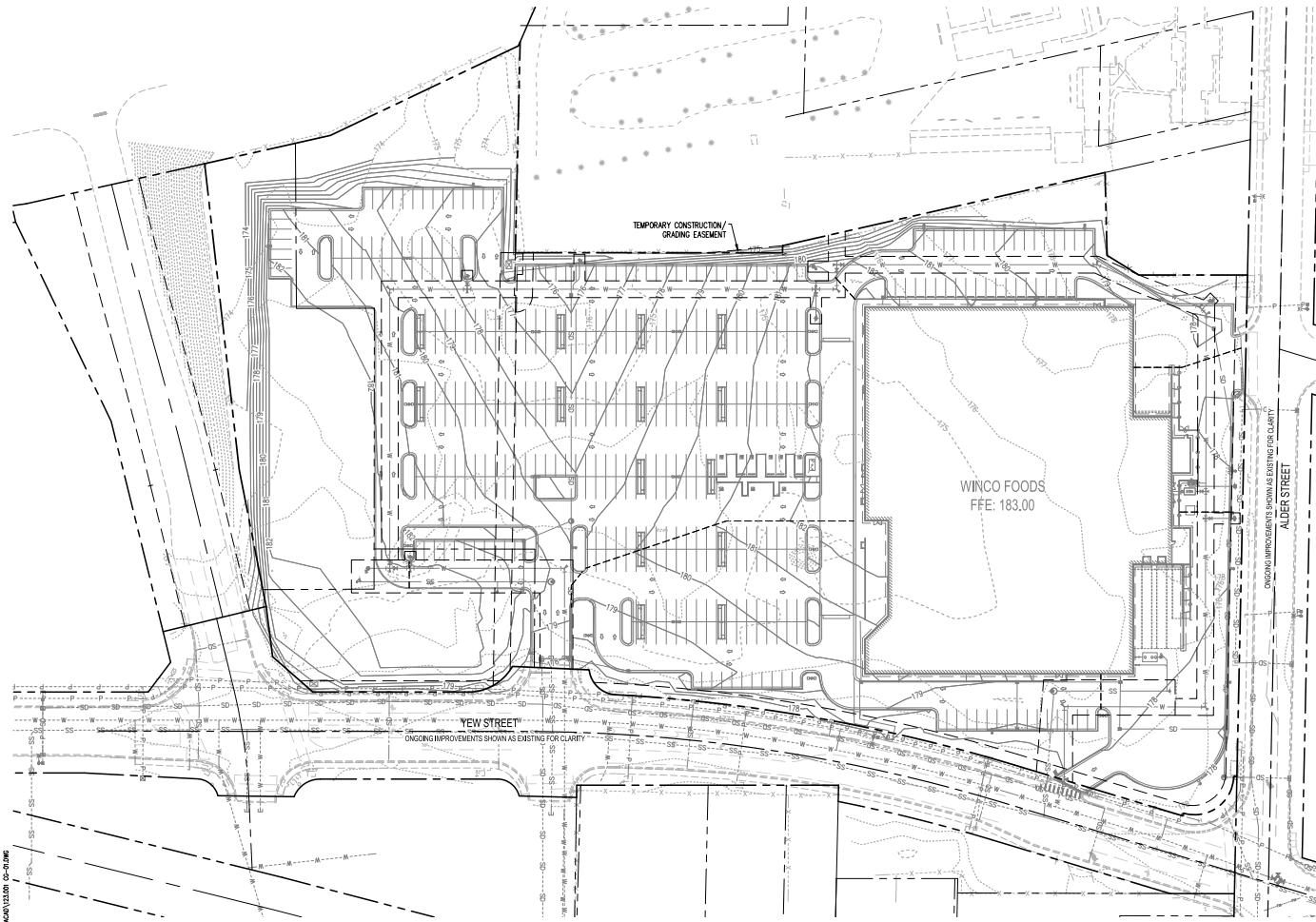
Approved For Construction

---

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

A circular logo with a horizontal line through the center. The top half is black and the bottom half is white. The text "VERTICAL DATUM" is at the top and "NAVD 88" is at the bottom.

S1080\_WNC\_174\_SP-01\_SITE PLAN



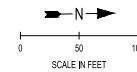
CALL BEFORE YOU DIG  
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND IDENTIFICATION OF UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

S1130\_WNC\_174\_CC-01\_OVERALL GRADING PLAN

Approved For Construction

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

Approval expires 1 year from above date



#### LEGEND

- PROPERTY LINE
- PROPOSED EASEMENT
- EXISTING CONTOURS
- PROPOSED CONTOURS
- GRADE BREAK
- EXISTING STORM LINE
- EXISTING CATCH BASIN
- EXISTING BUILDING
- CEMENT CONCRETE CURB & GUTTER
- STORM LINE
- CATCH BASIN

#### GENERAL NOTES

1. 100YR FLOOD ELEVATION PER 2017 WEST CONSULTANTS, INC HYDRAULIC IMPACT ANALYSIS: 178.00 (NAVD88)
2. 500YR FLOOD ELEVATION PER 2017 WEST CONSULTANTS, INC HYDRAULIC IMPACT ANALYSIS: 181.54 (NAVD88)
3. 2007 FLOOD ELEVATION PER LEWIS INTERACTIVE MAPS #182.00 (NAVD88).

#### GRADING NOTES

1. SEE "SD" SHEETS FOR STORMWATER DESIGN.
2. CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE AWAY FROM BUILDING AT ALL TIMES.
3. EXISTING CONTOURS ARE BASED ON TOPOGRAPHIC SURVEY BY MINZCOAST, LLC.
4. ALL LANDSCAPE AREAS SHALL BE STABILIZED.
5. CONTRACTOR TO ENSURE ADA RAMP FORMS MEET MAXIMUM SLOPE, LANDSCAPE AND RAMP REQUIREMENTS PRIOR TO PLACEMENT OF CONCRETE. CITY INSPECTOR TO INSPECT FORMS FOR ADA COMPLIANCE PRIOR TO CONCRETE POUR.

REVISIONS

PROJ. NO. 123.001  
DRAWN C. DAWH  
CHECKED C. DAWH  
SUBMITTED BY W. DUNLAP  
VERIFIED -  
REVIEWED -

**JSA CIVIL**  
Engineering | Landscaping | Management  
111 TUMWATER BLDG SE, SUITE 220  
TUMWATER, WA 98512

02/14/2024

WINGO FOODS STORE NO. 174  
1005 S YEW ST.  
CENTRALIA, WA  
SEC 7 TOWN 14 N R02W

**WinCo Foods**

SHEET TITLE  
OVERALL GRADING PLAN

SHEET NUMBER  
CG-01

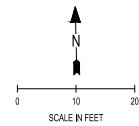
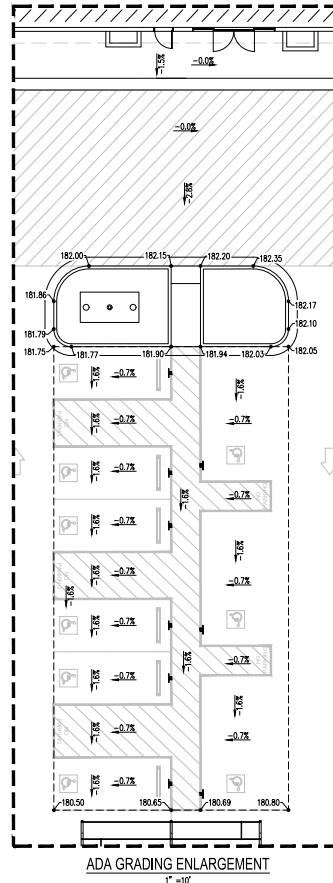
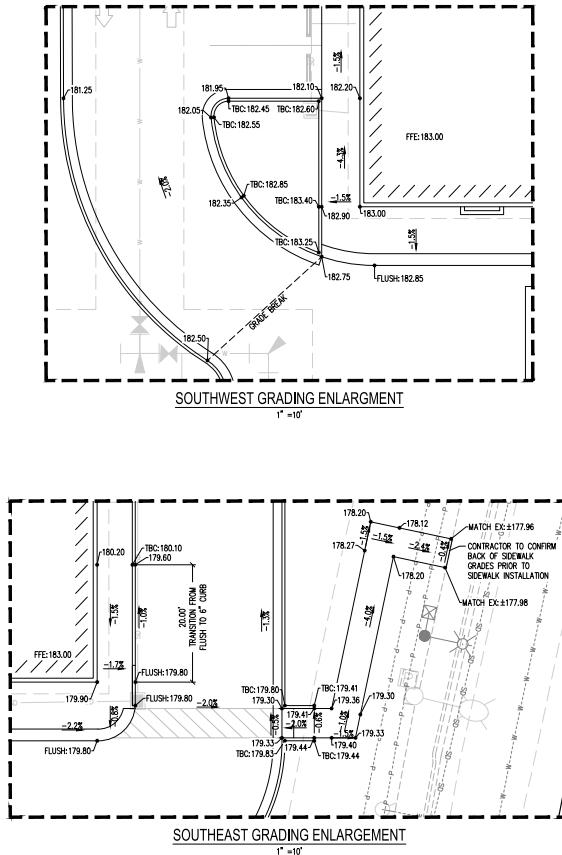
Feb 14, 2024 10:08:20am - User: ihes@tran  
N\12 - PROJECT\123\TAT & ASSOCIATES, INC\123.001 WNC CENTRAL\123.001 05-04.DNG

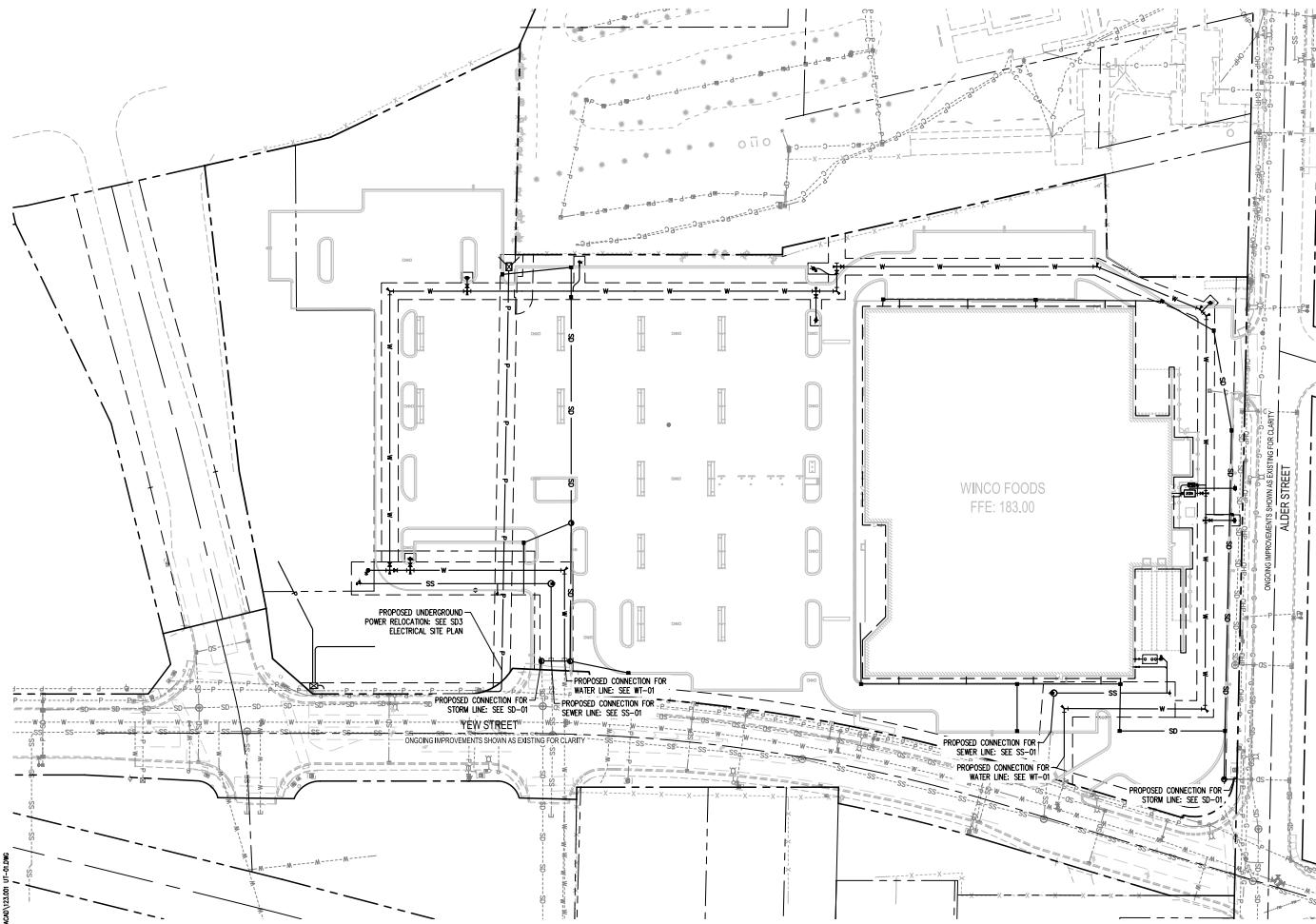
CALL BEFORE YOU DIG

**THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.**

S1170\_WNC\_174(CG-05)\_GRADING ENLARGEMENTS

Approved For Construction	
City Engineer _____	Date _____
Approval expires 1 year from above date	





N  
0 50 100  
SCALE IN FEET

LEGEND

- PROPERTY LINE
- - - PROPOSED EASEMENT
- - - P EXISTING POWER LINE
- - - W EXISTING WATER LINE
- - - SS EXISTING SEWER LINE
- - - SD EXISTING STORM LINE
- - - T EXISTING PHONE LINE
- - - G EXISTING GAS LINE
- EXISTING SEWER MANHOLE
- EXISTING CATCH BASIN
- EXISTING FIRE HYDRANT
- H EXISTING WATER VALVE
- EXISTING LIGHT POLE
- EXISTING POWER JUNCTION BOX
- PROPOSED BUILDING
- CEMENT CONCRETE CURB & GUTTER
- STORM LINE
- FOOTING DRAIN LINE
- W WATER LINE
- WS WATER SERVICE LINE
- SS SEWER LINE
- P POWER LINE

NOTE

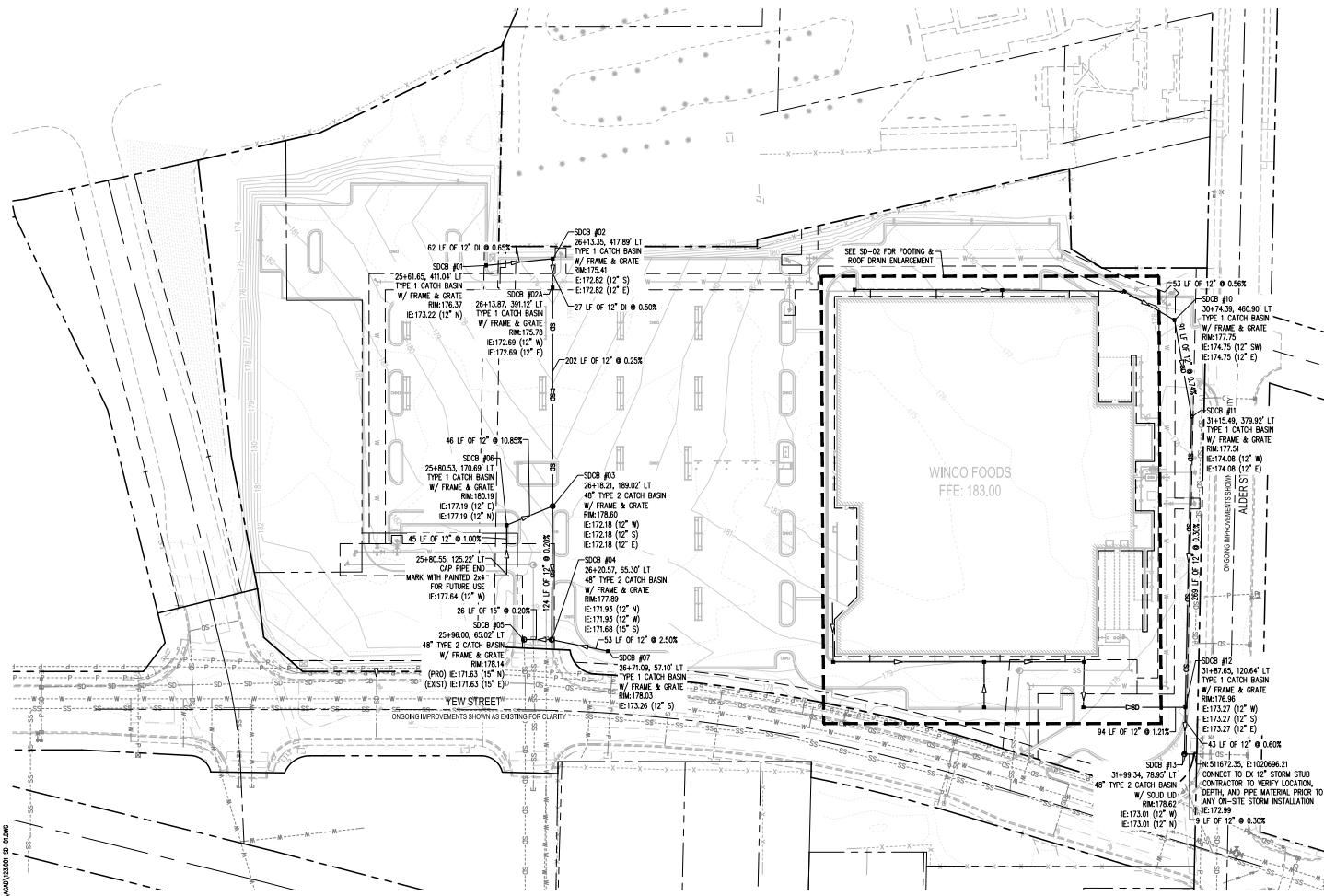
CONTRACTOR TO VERIFY SIZE, LOCATION, AND INVERT OF ALL EXISTING UTILITIES AT PROPOSED CONNECTION POINTS PRIOR TO ANY UTILITY INSTALLATION.

REVISIONS	
PROJ. NO. 123.001	DRAWN C. DAWH
DESIGNER W. DUNLAP	SUBMITTED DATE
JSA CIVIL	
Engineering (Bellingham) Management	
111 TUMWATER BLDG SE, SUITE 220	
TUMWATER, WA 98512	
	
02/14/2024	
WinCo Foods	
SHEET TITLE	
OVERALL UTILITY PLAN	
SHEET	
UT-01	

CALL BEFORE YOU DIG  
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND IDENTIFICATION OF UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

Approved For Construction
City Engineer _____ Date _____
Approval expires 1 year from above date





0 50 100  
SCALE IN FEET

LEGEND

- PROPERTY LINE
- PROPOSED EASEMENT
- EXISTING CONTOURS
- PROPOSED CONTOURS
- SDC - SD
- EXISTING STORM LINE
- WATER LINE
- WATER SERVICE LINE
- SEWER LINE
- SD
- ADS N-12 UNLESS OTHERWISE NOTED
- 6" ADS N-12 PERFORATED FOOTING DRAIN
- CATCH BASIN TYPE 1 PER CITY OF CENTRALIA STD. PLAN 9-01 SEE SD-05
- CATCH BASIN TYPE 2 PER CITY OF CENTRALIA STD. PLAN 9-03 SEE SD-05

REVISIONS	
123.001	C. DAHM
W. DUNLAP	SUBMITTED BY
DRAWN BY	
JSA CIVIL	
Engineering (Bogard) Management	
111 TUMWATER BLDG SE, SUITE 220	
TUMWATER, WA 98512	
02/14/2024	
	
STORMWATER PLAN	
SHEET TITLE	
SD-01	
WinCo Foods	
1005 SYEW ST.	
CENTRALIA, WA	
SEC 7 TOWN 14 N R02 W	

CALL BEFORE YOU DIG  
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND DETERMINATION OF EXISTING LINES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

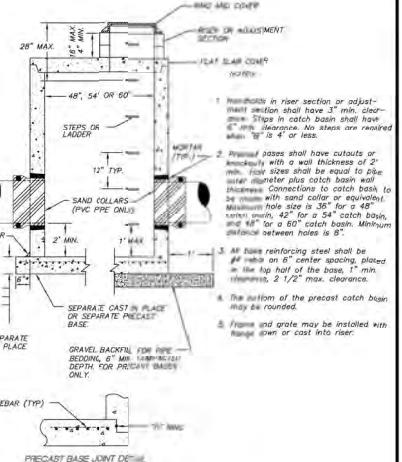
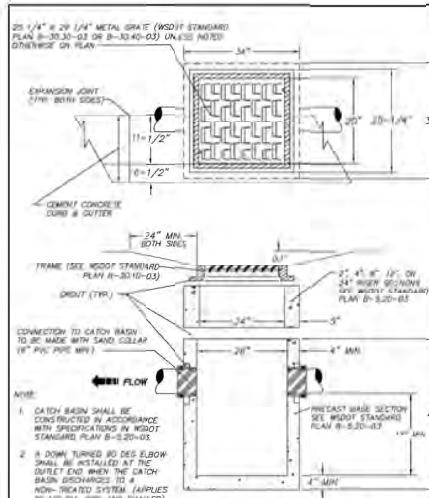
SI190\_WNC\_174\_SD-01\_STORMWATER.PLAN

Approved For Construction  
City Engineer \_\_\_\_\_ Date \_\_\_\_\_

Vertical Datum NAVD 88

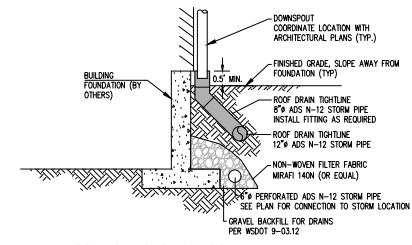
Approval expires 1 year from above date





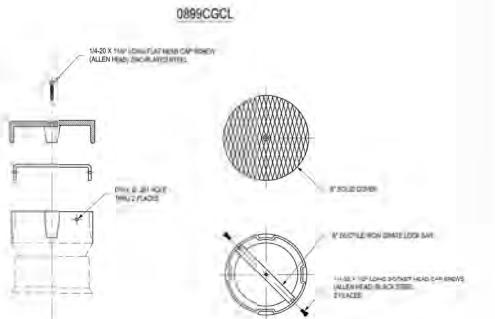
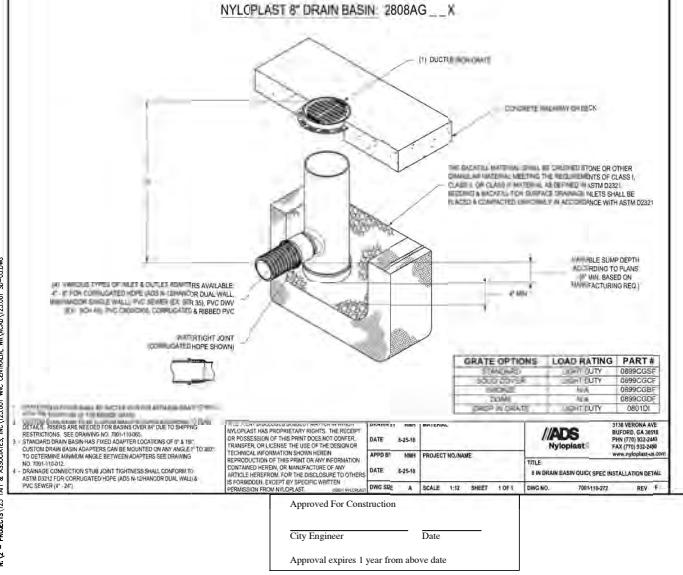
**STORM DRAINAGE INSTALLATION  
GENERAL NOTE!!**

1. All stormwater and wastewater shall be in accordance with City of Centereach Sewerage and Water Board's WSDC-1000 Standards for collection for fire, Bridge and Municipal Control.
  2. Temporary erosion/sediment measures shall be required for the duration of fire.
  3. The contractor must comply with all permits and other requirements of the City of Centereach or other governing authority.
  4. A preconstruction meeting shall be held with the City of Centereach prior to the start of staking.
  5. All storm sewer main, appurtenances and interceptors/distribution areas shall be staked for grade and alignment by an engineer or surveyor. Any deviation from the staking shall be approved by the City of Centereach prior to the fire. The fire VSDS Design Staking shall be inspected by the City prior to the start of construction and shall be maintained, throughout construction.
  6. The contractor shall meet the following requirements (use those where applicable):
    - A. Plain concrete pipe conforming to M.A. B.C. 6000-2.
    - B. reinforced concrete pipe conforming to ASCE 21-10.
    - C. PVC pipe conforming to D 3034 25, 35, 45, 55, 65, 75 or ASTM F 139.
    - D. Ductile iron pipe conforming to AWWA C 151. Increases class as shown in AWWA C 151.
  7. Special structures, off-site wastewater and nutrient control shall be installed per plans and manufacturers recommendations.
  8. Provide traffic control plans as required in accordance with WSDC.
  9. Call the Underground Location Center at 1-800-442-4505, a minimum of 48 hours prior to any excavation.
  10. Where connections require "dead" endifications, connection points will be required by the City of Centereach to be flushed for 48 hours prior to sealing connections.
  11. All Storm lines will be high velocity cleaned and pressure tested in accordance with Section 7 of the WSDC Standard Specification prior to sealing in conformance with the WSDC Standard Specification. (See Note 7 for information on hydrant flushing of these lines prior to sealing connections).
  12. The testing of the Storm main will include hydrostatic testing at the major or minor head of the line. The hydrostatic test will be conducted in accordance with the WSDC Standard Specification. The hydrostatic test pressure rating has been reviewed and approved by the Inspector. A water test of all recesses, manholes and access points will take place after all construction details are reviewed and the contractor has been given the go-ahead to proceed.
  13. The contractor will be responsible for the removal and disposal of all materials and debris generated during the construction of the project.



ROOF DOWNSPOUT & FOOT DRAIN DETAIL

APPROVED BY	REVISED DATE	CITY OF CENTRALIA	STO. PLAN NO.	APPROVED BY	REVISED DATE	CITY OF CENTRALIA	STO. PLAN NO.	APPROVED BY	REVISED DATE	CITY OF CENTRALIA
CITY ENGINEER	11/2020	CATCH BASIN TYPE 1 IN PAVEMENT AREA	9-01	CITY ENGINEER	11/2020	CATCH BASIN TYPE 2	9-03	CITY ENGINEER	06/2017	STORM DRAINAGE INSTALLATION GENERAL NOTES
2022 Standard Drawings			2022 Standard Drawings				2022 Standard Drawings			1 of 1



THIS FORM IS PROPRIETARY PROPERTY OWNED BY NYLOPLAST INC. (REIGHT NYLOPLAST HAS PROPRIETARY RIGHTS IN THE DESIGN, MANUFACTURE, AND/OR SALE OF NYLOPLAST POLYPROPYLENE PLATES, TRANSFERS, OR LICENSES THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REIGHT NYLOPLAST RESERVES THE RIGHT TO REVOKE THE INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREIN, IF IT IS DISCLOSED TO OTHERS BY THE REIGHTEN EXCEPT BY SPECIFIC AGREEMENT.	
UNQUOTE #	1000
DATE	7-5-06
REVIEWED BY	EBC
PROJECT NO./NAME	
DATE	2-25-10
TITLE	
"E" SOLID LOCKET COVER ASSEMBLY	

**Approved For Construction**

---

City Engineer \_\_\_\_\_ Date \_\_\_\_\_

Approval expires 1 year from above date

PROJECT NO. <b>123.001</b>	
C. DRAFT	
M. DRAFT	
REVISIONS	
DRAWING TITLE	
CROSS-REFS	
DRAWN BY	
CHECKED BY	
APPROVED BY	
DATE	
1/1/2024	
JSA CIVIL	
Engineering, Planning, Management	
1111 TUMWATER BLVD, SUITE C210	
TUMWATER, WA 98512	
FAX: 360-752-1111	
E-MAIL: info@jsa-civil.com	
INTERNATIONAL BIM	
02/14/2024	

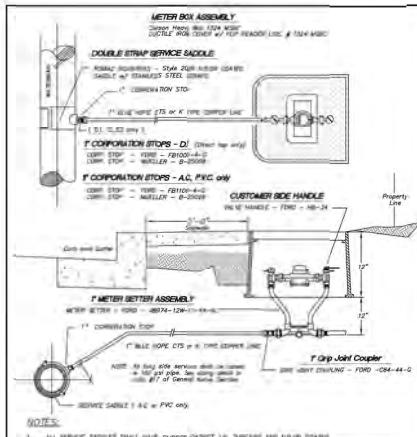
WINCO FOODS STORE NO. 174  
1005 S YEW ST.  
CENTRALIA, WA  
SEC 7 TOWN 14 N R02W

**WinCo  
Foods**

SHEET TITLE  
STORMWATER  
DETAILS

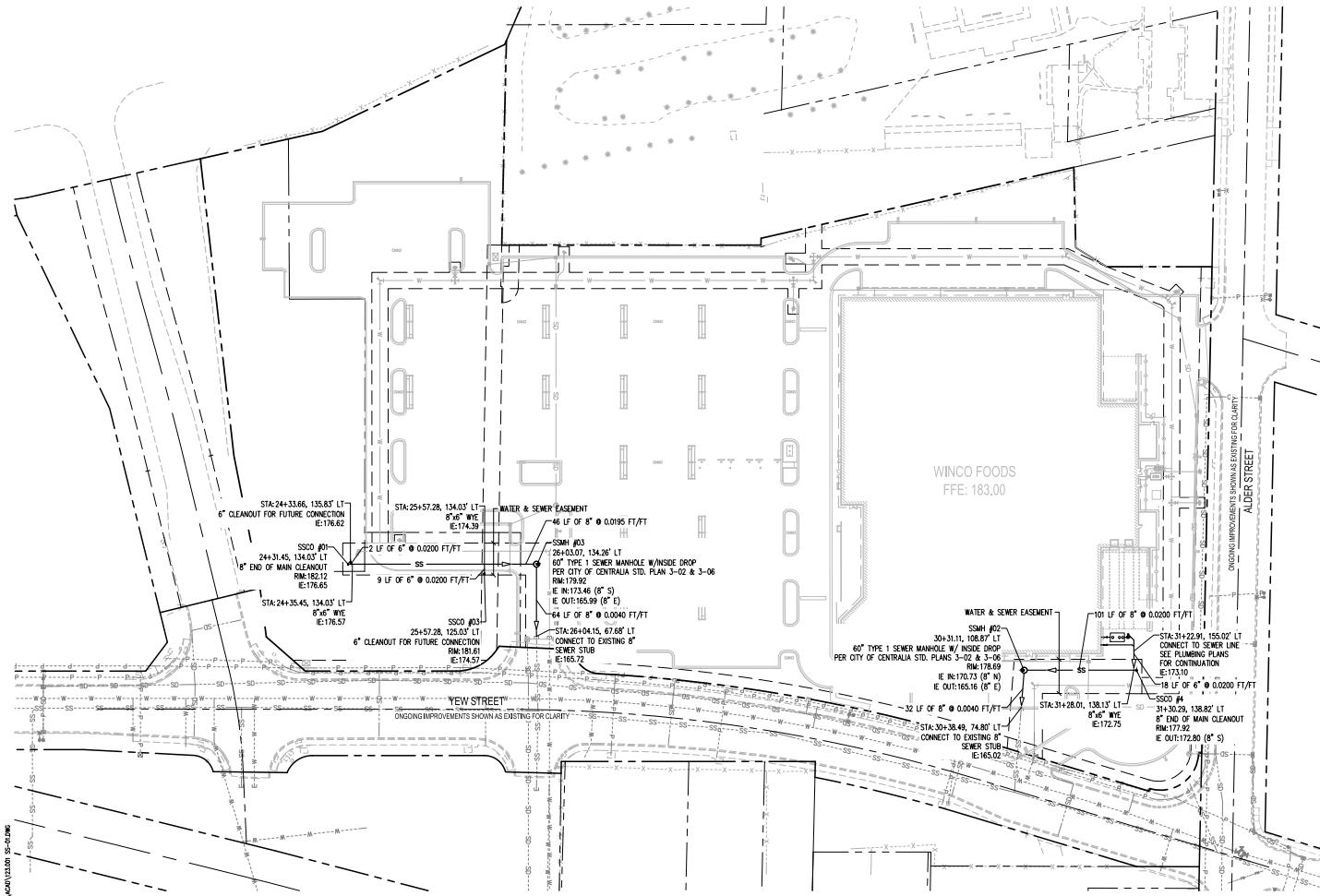
SHEET  
SD-05





REVISIONS	
PRODUCT NO.	123,001
NAME	C. DAHM
COMPANY	W. DUNLAP
ADDRESS	111 TUMWATER BLVD SE, SUITE C210 TUMWATER, WA 98512
OPEN DATE	1-1-2024
EXPIRE DATE	
NAME	D. D. DUNLAP, JR.
POSITION	GENERAL MANAGER
PHONE	(360) 592-1234
EMAIL	DDUNLAP@WWDUNLAP.COM
DATE	02/14/2024

A vertical rectangular sign for WinCo Foods. The top half contains the store number and address in a standard black font. The bottom half features the "WinCo Foods" logo in a large, stylized, bold font. Below the logo, there are four lines of smaller text: "SHEET TITLE", "WATER DETAILS", "SHEET", and "WT-05".



0 50 100  
SCALE IN FEET

LEGEND

- PROPERTY LINE
- - - PROPOSED EASEMENT
- SS- Existing sewer line
- SD Storm line
- W Water line
- WS Water service line
- SS ASTM 3034 SDR 35 PVC SEWER LINE UNLESS OTHERWISE NOTED
- SEWER MANHOLE PER CITY OF CENTRALIA STD. PLAN 3-02 SEE SS-03
- SEWER CLEANOUT PER CITY OF CENTRALIA STD. PLAN 3-04 SEE SS-03
- G G REINFORCED SEWER LINE AS SHOWN FOR CLARITY
- G G ONGOING IMPROVEMENTS SHOWN AS EXISTING FOR CLARITY
- G G GREASE INTERCEPTOR SEE BUILDING PLANS

REVISIONS	
PLANNING	123.001
DRAWN	C. DAHM
BY	W. DUNLAP
SUBMITTED BY	
HUBERHORN	
JSA CIVIL	
Engineering   Design   Management	
111 TUMWATER BLDG SE, SUITE 220	
TUMWATER, WA 98512	
 02/14/2024	
WINCO FOODS STORE NO. 174	
1005 S YEW ST.	
CENTRALIA, WA	
SEC 7 TOWN 14 N R02W	
WinCo Foods	
SHEET TITLE	
SEWER PLAN	
SHEET	
SS-01	

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND LOCATION VERIFICATION OF UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

Approved for Construction
City Engineer _____ Date _____
Approval expires 1 year from above date



REVISIONS							
123.001	C. DAWH	W. DUNAP	SUBMITTED BY				
1	1	1	1	DRAWING			
111 TUMWATER BVD SE, SUITE C210	111 TUMWATER BVD SE, SUITE C210	111 TUMWATER BVD SE, SUITE C210	111 TUMWATER BVD SE, SUITE C210	100' X 100' (200' X 200')			
02/14/2024	02/14/2024	02/14/2024	02/14/2024	02/14/2024			
<img alt="Architectural drawings for a sewer main installation project, including Type 1 and Type 3 manholes, manholes in asphalt, manholes outside asphalt, and a drop connection system							

IRRIGATION SCHEDULE		PSI	DETAIL
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION		
○	HUNTER MP CORNER PROS-12-PR540-CV SHUB ROTATOR, 12IN POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE, 1" T-TRIANGLE ADJ ARC 45-105 ON PR540 BODY.	40	10/IR-07
◆◆◆ LST 360°	HUNTER MP STRIP PROS-12-PR540-CV SHUB ROTATOR, 12IN POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE, LST-VRV LEFT STRIP, SST-BROWN SIDE STRIP, SST-BROWN. LST-VRV STRIP. ON PR540 BODY.	40	10/IR-07
●●●	HUNTER MP 180° PROS-12-PR540-CV SHUB ROTATOR, 12IN POP-UP WITH CHECK VALVE. PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE. ARC-180° ADJ. 90-210. GREEN/WHITE 210 TO 270 ARC. O-HLINE 360 ARC ON PR540 BODY.	40	10/IR-07
■■■	HUNTER MP2000 PROS-12-PR540-CV SHUB ROTATOR, 12IN POP-UP WITH CHECK VALVE PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE. K-BLACK ADJ. 90-210, G-GREEN ADJ. ARC 210-270, R-RED 360 ON PR540 BODY.	40	10/IR-07
◆◆◆	HUNTER MP3000 PROS-12-PR540-CV SHUB ROTATOR, 12IN POP-UP WITH CHECK VALVE PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE. B-BLUE ADJ. 90-210, Y-YELLOW ADJ. ARC 210-270, A-ARMOR ADJ. 90-210. ON PR540 BODY.	40	10/IR-07
●●●	HUNTER MP3000 PROS-12-PR540-CV SHUB ROTATOR, 12IN POP-UP WITH FACTORY INSTALLED CHECK VALVE. PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE, BRIGHT BROWN, ADJUSTABLE ARC, 90-210. ON PR540 BODY.	40	10/IR-07
■■■ BKA	HUNTER MP8080 PROS-12-PR540-CV SHUB ROTATOR, 12IN POP-UP WITH CHECK VALVE PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PR540 BODY. ADJ-ORANGE AND GRAY (ARC 90-210), 360-LIME GREEN AND GRAY (ARC 360).	40	10/IR-07
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION		DETAIL
□	HUNTER ICZ-10-14 DRIP IRIGATION LINE 1" IN. ICZ GLOBE VALVE WITH 1IN. HYD FILTER SYSTEM. PRESSURE REGULATION: 0PSI. FLOW RATE: 2 GPM TO 20 GPM. 15W MESH STAINLESS STEEL FILTER. 10' ICZ LINE.		5/LS-07
○	PIPE TRANSITION POINT PIPE TRANSITION POINT FROM PVC LATERAL TO DRIP TUBING.		5/IR-07
●	HUNTER PLD-PLV PLD-PLV ALLOWS FOR AIR TO ESCAPE A RESIDENTIAL DRIP IRRIGATION SYSTEM TO PREVENT BLOCKAGE AND WATER HAMMERING. 1/2IN. MPT CONNECTION WITH 80 PSI MAXIMUM RATING.		11/IR-07
◎	HUNTER ECO-12-12 ECO-12/12 12 FT FPT CONNECTION WITH 15 PSI - 100 PSI OPERATING PRESSURE. SPECIFY WITH HUNTER SJ SWING JOINT.		8/IR-07
●	AREA TO RECEIVE DRIPLINE HDL-06-18-CV: HUNTER DRIPLINE W/ 0.6 GPM EMMITTERS AT 18" D.C. CHECK VALVE, DARK BROWN TUBING WITH GRAY STRIPING. DRIPLINE LATERALS SPACED AT 18' APART, WITH EMITTERS SPACED AT 12" APART. 100' FT. LENGTH. INSTALL WITH HUNTER PLD BARBED OR PLD-LOC FITTINGS.		9/IR-07
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION		DETAIL
○	HUNTER ICV-G IN. 1/2IN. 3/4IN. 1IN. 1 1/4IN. 1 1/2IN. 2IN. 2 1/2IN. 3IN. PLASTIC ELECTRIC REMOTE CONTROL VALVE. GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USES.		3/IR-07
■	HUNTER HD-39C QUICK COUPLER VALVE, YELLOW RUBBER COVER, RED BRASS AND STAINLESS STEEL, WITH 3/4" NPT INLET, 1-PIECE BODY.		4/IR-07
■	SHUT OFF VALVE B&K (107-900 SERIES) BRASS BALL VALVE WITH BRASS UNIONS (MATCH LINE SIZE)		2/IR-07
●	HUNTER ICV-G-1-1/2 1-1/2IN. 2IN. ELECTRONIC MASTER VALVE, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.		6/LS-07
●	WILKINS #200 ANGLE VALVE FOR MANUAL DRAIN VALVE W/KEY EXTENSION VALVE (MATCH LINE SIZE)		6/IR-07
○	FEBCO 850 1-1/2" DOOR VALVE. BACKFLOW PREVENTION, 1/2IN. TO 2IN.		7/IR-07
■	HUNTER PCC-600 LIGHT COMMERCIAL & RESIDENTIAL CONTROLLER, 6-STATION FIXED CONTROLLER, 120 VAC, OUTDOOR MODEL WATER METERED. NO CIRCUIT BREAKER (SEE CIVIL PLANS) FIELD VERIFY EXACT LOCATION. STATIC PRESSURE IS 80-100 PSI PER CIVIL ENGINEER		
—	IRRIGATION LATERAL LINE: PVC CLASS 200 SDR 21		
—	IRRIGATION MAINLINE: PVC SCHEDULE 40		
=====	PIPE SLEEVE: PVC CLASS 200 SDR 21		

Approved For Construction  
\_\_\_\_\_  
City Engineer \_\_\_\_\_ Date \_\_\_\_\_  
Approval expires 1 year from above date

## IRRIGATION SHEET NOTES

1. SEE DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
  2. PLAN IS DIAGRAMMATIC. ALL PIPING, LATERALS, AND WIRE TO BE LOCATED IN BED OR LAWN AREAS WHERE APPROPRIATE.
  3. PIPE SIZES ARE TO REMAIN CONSTANT BETWEEN PIPE SIZE CALL-OUTS. PIPES ARE LABELED TO SMALLEST PIPE SIZE ONLY (1/2").
  4. ALL IRRIGATION HEADS LOCATED IN LAWN AREAS SHALL BE 4" POP-UPS AND HEADS IN SHRUB AREAS SHALL BE 12" POP-UPS.
  5. ALL Drip TUBING SHALL BE INSTALLED BELOW THE FINISH SOIL GRADE UNLESS NOTED OTHERWISE. INSTALL TUBING AT A CONSISTENT DEPTH OF 2" BELOW TOP OF TOPSOIL.
  6. PROPOSED TREES SHOWN FOR CONTRACTOR'S INFORMATION, AVOID PLACING MAINLINE, LATERALS, AND EQUIPMENT WITHIN THE DRIPLINES OF PROPOSED OR EXISTING TREES WHEN POSSIBLE TO AVOID FUTURE CONFLICTS.
  7. ALL PIPES AND SLEEVES UNDER PAVED AREAS SHALL BE 24" DEEP. ALL MAINLINE SHALL BE 18" DEEP IN ALL UNPAVED AREAS. 24" IN PAVED AREAS. ALL LATERALS SHALL BE 12" DEEP IN ALL UNPAVED AREAS AND 24" DEEP IN PAVED AREAS.
  8. LOCATE ALL MAINLINES WITHIN THE PROJECT LIMITS. INSTALL #14-AWG DIRECT BURIAL LOW VOLTAGE WIRE ALONG MAINLINE; TAPE AND BUNDLE WIRE EVER 20' FT. PROVIDE RED COLOR WIRE FOR SIGNAL AND WHITE COLOR WIRE FOR COMMON. PROVIDE A MINIMUM OF ONE SPARE WIRE FOR EVERY 10 VALVES FOR A MAXIMUM OF FIVE SPARE WIRES.
  9. ALL WORK SHALL BE PERFORMED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT/OWNER.

## VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	PSI	PSI @ 6000
1	HUNTER ICV-G	1"	SHRUB ROTARY	19.89	45.1	57.8
2	HUNTER ICV-G	1"	SHRUB ROTARY	18.54	43.4	59.8
3	HUNTER ICV-G	1"	SHRUB ROTARY	18.05	42.4	61.0
4	HUNTER ICV-G	1"	SHRUB ROTARY	17.36	40.7	66.6
5	HUNTER ICV-G	1"	SHRUB ROTARY	15.76	44.6	66.5
6	HUNTER ICZ-101-40	1"	AREA FOR DRIPLINE	14.83	45.0	66.9
7	HUNTER ICV-G	1-1/2"	SHRUB ROTARY	20.91	47.2	70.3
8	HUNTER ICV-G	1-1/2"	SHRUB ROTARY	20.2	44.1	72.1
9	HUNTER ICV-G	1-1/2"	SHRUB ROTARY	20.74	44.9	73.8
10	HUNTER ICV-G	1"	SHRUB ROTARY	18.32	45.9	70.0
11	HUNTER ICV-G	1"	SHRUB ROTARY	16.51	44.1	63.2
12	HUNTER ICV-G	1"	SHRUB ROTARY	19.42	45.3	63.0
13	HUNTER ICV-G	1"	SHRUB ROTARY	18.2	43.1	64.4
14	HUNTER ICV-G	1"	SHRUB ROTARY	17.34	43.5	62.7
15	HUNTER ICV-G	1-1/2"	SHRUB ROTARY	20.16	45.8	69.0
16	HUNTER ICZ-101-40	1"	AREA FOR DRIPLINE	10.57	40.5	51.9
17	HUNTER ICZ-101-40	1"	AREA FOR DRIPLINE	10.57	38.5	49.0
18	HUNTER ICZ-101-40	1"	AREA FOR DRIPLINE	15.72	45.7	59.0
19	HUNTER ICV-G	1"	SHRUB ROTARY	18.04	44.3	59.6
20	HUNTER ICV-G	1"	SHRUB ROTARY	18.48	44.2	58.3
21	HUNTER ICV-G	1"	SHRUB ROTARY	11.29	44.9	54.1

