



Site Plan Review Committee
COMMUNITY DEVELOPMENT DEPT.
360-330-7662

Emil Pierson, CD Director
epierson@cityofcentralia.com

Hillary Hoke, Asst. Director
hhoke@cityofcentralia.com

Mike Watilo, Building Official
mwatilo@cityofcentralia.com

PUBLIC WORKS DEPARTMENT
360-330-7512

Kim Ashmore, PW Director
kashmore@cityofcentralia.com

Andy Oien, Asst. Director
aoien@cityofcentralia.com

City Engineering
Patty Page, City Engineer
ppage@cityofcentralia.com

Waste Water Department
Holly Fuller, Wastewater Operations Mgr.
hfuller@cityofcentralia.com

Dee Russell, Pretreatment
drussell@cityofcentralia.com

Water Department
Chris Stone, Water Operations Manager
cstone@cityofcentralia.com

City Light
ML Norton, CCL General Manager
mlnorton@cityofcentralia.com

Dave Hayes, Electrical Engineering
dhayes@cityofcentralia.com

Administration
Kerissa Saucedo, Office Coordinator
ksauceda@cityofcentralia.com

RIVERSIDE FIRE AUTHORITY
360-330-9854

Kevin Anderson, Asst. Chief/Fire Marshal
kanderson@riversidefire.net

LEGAL DEPARTMENT
360-330-7675

City Attorney
Kyle Manley
kmanley@cityofcentralia.com

SITE PLAN REVIEW COMMITTEE
Meeting Agenda

Monday, February 26, 2024

Join Zoom meeting:

<https://us02web.zoom.us/j/85356833930?pwd=aFJUanFIRXFwWWM1d0xCQnBqQmxodz09>

Meeting ID: 853 5683 3930

Passcode: 770823

Join by mobile: #1-253-215-8782

Applicants should be at the meeting and prepared to discuss their development.
The public is invited to participate in all Site Plan Review meetings.

9:00 AM

STAFF REVIEW TIME

1. Weekly Permit List
2. Discuss Residential Development Regulations

10:00 AM – Site Plan Review

Project Name:	WinCo Foods
Applicant/Owner:	JSA Civil, LLC / WinCo Foods, LLC
Property Address:	1005 S Yew Street
Contact Phone:	Brandon Johnson, JSA, 360-269-6346
Email:	brandon.johnson@jsa-civil.com
Zone:	PMP, Port Master Plan
Comp. Plan:	GC, Commercial General District
Parcel Information:	003487-007-001, 8.14 AC
Request:	Final civil plan approval and infrastructure for future grocery store.



01/16/2024 - 02/21/2024

Permit #	Permit Date	Building/Land Use	Permit Type	CONSTRUCTION SITE ADDRESS	Description of work being done under this permit	Applicant Name
20240108	2/21/2024	Land Use Application	Short Plat	1907 Johnson Road	2-Lot Short Plat	502 Centralia Property Holdings LLC
20240107	2/21/2024	Building Permit	Mechanical	928 K St, Centralia Wa 98531	replacing gas furnace for new like and kind	Elissa Carbajal
20240106	2/21/2024	Building Permit	Commercial - Remodel	2312 N Pearl Street	Building a deck with wheelchair ramp	Leo Martinez
20240105	2/20/2024	Building Permit	Manufactured Home (double wide) Placement	0 Delano Road	New manufactured home and garage	Dave Young
20240104	2/20/2024	Building Permit	Commercial - Remodel	502 S Tower Avenue	Reside old south portion of main building, cover up windows & old south door. Replace west door	Robb Stilnovich
20240103	2/20/2024	Building Permit	Commercial - Remodel	4002 Galvin Road	3 new modular offices	Ian Anderson
20240102	2/16/2024	Land Use Application	SEPA	City of Centralia and Centralia UGA	2024 comprehensive update of the City of Centralia Parks Plan	Amy Buckler
20240101	2/15/2024	Land Use Application	SEPA	700-A Pioneer Way	Turf infields of Wheeler Field and softball complex Field 2 at Borst Park	Amy Buckler, Deputy City Manager
20240100	2/14/2024	Building Permit	Single Family - Remodel	1309 Rose Street	Replace cover on front door area	Catherine Warner

20240099	2/14/2024	Building Permit	Demolition	827 Marsh Avenue	Remove wet sheetrock	Coval Homes
20240098	2/14/2024	Building Permit	Demolition	2126 Gallagher Road	Demolition	Erin Maloney
20240097	2/14/2024	Building Permit	Commercial - Remodel	827 Marsh Avenue	Update Kitchen, Bathroom and Flooring. Repair water damaged framing members.	Coval Homes
20240096	2/13/2024	Building Permit	Reroof	1002 W Main Street	Tear off Re-roof	Ken Slater
20240095	2/13/2024	Building Permit	Mechanical	516 W Pine Street	trane heat pump & coil	Chehalis Sheet Metal
20240094	2/13/2024	Building Permit	Mechanical	225 S Tower Avenue	Replace outdoor ductless unit like for like	Butch Moon
20240093	2/13/2024	Building Permit	Reroof	415 S Oak Street	Roof	Cheyenne Allen
20240092	2/12/2024	Building Permit	Reroof	2602 Eureka Avenue	tear off reroof	Briana
20240091	2/12/2024	Land Use Application	SEPA	0 Duffy Street	Administrative Appeal of SEPA MDNS 2023 0623	Rick and Lisa Mack
20240090	2/12/2024	Building Permit	Reroof	315 S Silver Street	Reroof single family residence	Andrew Bailey, DB Roof Co.
20240089	2/12/2024	Building Permit	Single Family Residence - New	1607 Salzer Creek	Buidling a new barndiminum home is 2000 sq ft wuth atached garage that is 1200 sq ft	Mike Ayers
20240088	2/12/2024	Building Permit	Accessory Building Remodel	1312 Windsor Avenue	Adding a full bathroom and accessory sink to accessory building on the property	Warren Robertson

20240087	2/11/2024	Building Permit	Single Family - Remodel	2501 KRISTINE CT CENTRALIA, WA 98531	1. BUILD A RAMP RISING 7". 2. PARTITION RMS TO INCR. 2 MORE BRS	WILLIAM ARAKA
20240086	2/9/2024	Building Permit	Reroof	308 Linda Ln	tear off re roof house and garage	Ken Slater
20240085	2/9/2024	Building Permit	Deck	616 S Gold Street	rebuild porch/deck and reroof	Benito Rodriguez
20240084	2/8/2024	Building Permit	Single Family - Addition	605 Scott Drive	Rebuilding a lean to on side of garage	Hunter Crook
20240083	2/8/2024	Building Permit	Commercial - Remodel	413 N Tower	Cafe remodel	Bethel Church
20240082	2/8/2024	Building Permit	Commercial - Remodel	514 W Main St	Exterior: remove and replace 4x8 sheets of 1/2" OSB, install 300 sf ft house wrap, Interior: remove and replace 10' of mud sill, replace 4 broken 2x6 studs (non structural), remove and replace 3 4x8 sheets of 1/2" OSB, remove and replace 3 4x8 sheets of drywall	Loren Voie
20240081	2/8/2024	Building Permit	Plumbing	1816 Beach St.	Inspection of gas lines	Donald Fosler
20240080	2/8/2024	Building Permit	Reroof	216 N ROCK STREET CENTRALIA WA 98531	REROOF	LORENA ROOFING CORP
20240079	2/7/2024	Building Permit	Plumbing	627 S Ash St, Centralia WA 98531	Replace existing water heater with new like and kind.	Elissa Carbajal

Page: 3 of 7

20240078	2/7/2024	Building Permit	Mechanical	1215 W Main St, Centralia WA 98531	replacing existing gas furnace for new like and kind	Elissa Carbajal
20240077	2/7/2024	Building Permit	Deck	1140 W Roanoke Street	Replaced previous deck	Steven Speer
20240076	2/7/2024	Building Permit	Plumbing	604 S Tower Avenue	6 hand washing sinks, 1 toilet, 1 clothing washer (water and drain), 1 grease trap (kitchen sink) will be added	Chris Shumway
20240075	2/6/2024	Building Permit	Reroof	210 S Berry Street	Reroof	OTR
20240074	2/6/2024	Land Use Application	Conditional Use	0 Roosevelt Avenue	Wanting to build a SFR in a C-1 zone	Conner Wasson
20240073	2/6/2024	Building Permit	Solar Panels	205 N Oak St, Centralia, WA 98531	7.60kW PV Roof Mount - Solar - solar tied in at (N)30A breaker	Leann Malloy
20240072	2/6/2024	Building Permit	Single Family Residence - New	1511 Farview Lane	Construction of new one story home with an unfinished ADU and Lakebar	Logan Moody
20240071	2/5/2024	Building Permit	Sign	1003 Eckerson Rd	Installation of 1 set of channel letters, remove existing set	Seth Taylor
20240070	2/5/2024	Building Permit	Demolition	1049 Eckerson Road	Demo of Units/Drywall and scrape ceilings	Christian Lindemann
20240069	2/2/2024	Building Permit	Sign	1215 S Tower Avenue	sign installation	Katharina Knopf-Carter
20240068	2/1/2024	Building Permit	Solar Panels	2812 Colonial Drive	SOLAR PV INSTALLATION ON ROOF OF RESIDENCE	PROSTAT ELECTRIC-- DALE KRUEGER

20240067	2/1/2024	Land Use Application	Mechanical	302 N Tower Avenue	Add a ductless heat pump	Tami Perman
20240066	2/1/2024	Building Permit	Solar Panels	1023 Woodland Ave, Centralia, WA 98531	18.40kW PV Roof Mount - Solar and Load Center - solar tied in at (N)lineside tap, (N)100A load center with 2 new breakers	Leann Malloy
20240065	2/1/2024	Building Permit	Solar Panels	198 River Heights Rd	Installation of solar Array	Rosie Rumsey
20240064	2/1/2024	Building Permit	Single Family - Remodel	610 E Summa Street	See description in file	Guillermo Puente
20240063	2/1/2024	Building Permit	Reroof	509 W Cherry Street	Tear off and Re-Roof	Ryan Gonzales
20240062	1/31/2024	Building Permit	Accesory Building	732 S Silver Street	Building a 20x20 pole barn	Jose Triana
20240061	1/30/2024	Building Permit	Reroof	319 S Diamond St	Tear off re roof front of garage	Ken Slater
20240060	1/29/2024	Building Permit	Single Family - Remodel		Foundation/floor repair	Mike Aumiller
20240059	1/29/2024	Building Permit	Single Family - Remodel	206 N Cedar Street	Refresh bathroom, remove claw foot tub. Replace with 4 piece shower pan & surround. Remove non load bearing wall in closet for more space	Bryce Vanderkolk
20240058	1/29/2024	Building Permit	Reroof	2201 N TOWER	REROOF	CHRISTIANS ROOFING
20240057	1/26/2024	Building Permit	Commercial - Addition	2198 Blair Rd.	Eligible Facilities Request - Minor Modification	Sarah Baird, Crown Castle, on behalf of T-Mobile
20240056	1/26/2024	Building Permit	Reroof	922 N Pearl St	tear off re roof	Ken Slater
20240055	1/24/2024	Building Permit	Mechanical	426 Byrd St	replace heat pump system	Americool heating and cooling
20240054	1/19/2024	Building Permit	Temporary Use Permit	1248 Long Road	Medical Hardship RV Placement: renewal of permit no. 2022 0470	Jesse Cummins

20240053	1/24/2024	Building Permit	Mechanical	919 Marion Street	Retro - ductless heat pump system add	Mills Northwest Heating & Cooling
20240052	1/23/2024	Building Permit	Solar Panels	1418 Belmont Ave, Centralia, WA 98531	12.40kW PV Roof Mount - Solar - solar tied in at (N)lineside tap, combiner box of breakers (4)	Leann Malloy
20240051	1/23/2024	Building Permit	Single Family - Remodel	1001 N Tower Avenue	Add 6ft to NW sunroom/porch, out to previously permitted foundation and change it into a bedroom. Reroof room & SW entryway	Victor Crowston
20240050	1/23/2024	Building Permit	Commercial - Remodel	1326 Harrison Avenue	Found old windows burried in old siding had to remove and frame in for new siding	Huff Landscaping
20240049	1/22/2024	Building Permit	Plumbing	1001 S Gold Street, Centralia, WA, 98631	Installation of Kitchen Hood Fire Suppression System.	Bob Ward
20240048	1/22/2024	Building Permit	Single Family - Remodel	507 South Street, Centralia WA	remove failing fireplace, reframe, drywall and sideing	Andrea Hall
20240047	1/19/2024	Building Permit	Commercial - Remodel	1613 Grand Avenue	Walls for plumbing and dividing	Derek Dodd
20240046	1/19/2024	Building Permit	Reroof	520 N ROCK STREET	TEAR OFF APPLY NEW MATERIAL	FAUSTINO REYES SANCHEZ
20240045	1/19/2024	Building Permit	Commercial - New Build	1900 Cooks Hill Road	Placement of temporary mobile office while water damage repairs are completed.	Washington Orthopedic
20240044	1/18/2024	Building Permit	Mechanical	519 Harrison Ave	Add (2) split systems & (1) exhaust fan	Brett Roebuck (ASEI)
Page: 6 of 7						

20240043	1/18/2024	Building Permit	Demolition	1315 View Avenue	Demo of garage that caught fire	Greg Watson
20240042	1/17/2024	Building Permit	Commercial - New Build	2600 W Reynolds Avenue	Temporary/emergency mobile office placement during building repairs	Kim Ashmore, Centralia Public Works
20240041	1/17/2024	Building Permit	Demolition	2600 W Reynolds Avenue	Demo damage from broken water pipe	Kim Ashmore, Centralia Public Works
20240040	1/17/2024	Building Permit	Duplex - Remodel	401 S Rock Street	Remove old brick fireplace/relocate downstairs bathroom/ washer dryer/ raise garage floor height/ add 2 rooms/ add heat pump/ remove old floor registers	Mario Pescatore
20240039	1/17/2024	Building Permit	Demolition	133 Sunnyside Drive	Demo of wall and drop down ceiling in kitchen	Liz Mohrbacher
20240038	1/17/2024	Building Permit	Single Family - Remodel	319 N Diamond Street	Remodeling bathroom. floor, framing, insulation and drywall	Derek Blair
20240037	1/17/2024	Building Permit	Reroof	914 W 2Nd Street	tear off re roof front half	Ken Slater
20240036	1/16/2024	Building Permit	Accesory Building	1406 Crescent Ave	Construct a 24x24x9 detached garage with 4" concrete floor; Non-heated	Tim Jahner
20240035	1/16/2024	Building Permit	Plumbing	1613 Grand Avenue	Replacing plumbing up to code	Derek Dodd
20240034	1/16/2024	Building Permit	Plumbing	1013 N Washington Ave	NG Water Heater	Jessica Blye
20240033	1/16/2024	Building Permit	Mechanical	1107 Johnson Rd	trane gas pack	Chehalis Sheet Metal

JSA CIVIL GENERAL CONSTRUCTION NOTES

1. ALL WORK, WORKMANSHIP AND MATERIALS FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE FOLLOWING MANUAL(S) AND DOCUMENT(S):

2022 CITY OF CENTRALIA DESIGN & DEVELOPMENT GUIDELINES
HTTPS://WWW.CITYOFCENTRALIA.COM/234/DESIGN-DEVELOPMENT-GUIDELINES

CITY OF CENTRALIA STANDARD DRAWINGS
HTTPS://WWW.CITYOFCENTRALIA.COM/239/STANDARD-DRAWINGS

WSDOT STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MANOPAL CONSTRUCTION
HTTPS://WSDOT.WA.GOV/ENGINEERING-STANDARDS/ALL-MANUALS-AND-STANDARDS/MANUALS/STANDARD-SPECIFICATIONS-ROAD-BRIDGE-AND-MUNICIPAL-CONSTRUCTION

GEOTECHNICAL REPORT FINALIZED BY TERRACON CONSULTANTS, INC. ON JULY 19, 2019

2. ALL GOVERNMENTAL SAFETY REGULATIONS SHALL BE STRICTLY ADHERED TO INCLUDING OSHA.

3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DULY NOTIFY THE CITY OF CENTRALIA IN ADVANCE OF THE COMMENCEMENT OF ANY AUTHORIZED WORK AND TO SCHEDULE REQUIRED INSPECTIONS. ANY REQUIRED INSPECTION TEST WILL BE PERFORMED AT THE CONTRACTOR'S EXPENSE.

4. THE APPROVAL OF THESE PLANS BY THE CITY OF CENTRALIA DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO COMPLY WITH THE REQUIREMENTS OF OTHER GOVERNING AGENCIES.

CAUTION – NOTICE TO CONTRACTOR

5. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON THE PROJECT SURVEY AND OTHER RECORDS OF UTILITIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CALL FOR UTILITY LOCATES 48 HOURS PRIOR TO PLANNED EXCAVATIONS.

6. THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SET ARE BASED UPON COMPILED SURVEY DATA. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BEGINNING THE PROPOSED WORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE.

7. EXISTING UTILITIES ARE SHOWN FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY EXACT LOCATION, DIAMETER, LENGTH, CONDITION, PIPE TYPE, SLOPE AND VERTICAL AND HORIZONTAL ALIGNMENT OF THE EXISTING ALIGNMENT OF THE PROPOSED POINTS OF CONNECTION PRIOR TO CONNECTION AND REPORT ANY DISCREPANCIES TO ENGINEER PRIOR TO INSTALLATION OF THE PROPOSED UTILITIES.

8. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL, STATE, AND FEDERAL APPROVALS AND PERMITS.

9. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE A COPY OF THE APPROVED PLANS, SPECIFICATIONS, CONSTRUCTION SWPPP, AND CONTRACT DOCUMENTS AT THE CONSTRUCTION SITE AT ALL TIMES.

10. CONSTRUCTION SIGNING AND TRAFFIC CONTROL SHALL BE PER THE CURRENT COPY OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). THE CONTRACTOR SHALL PREPARE AND SUBMIT A TRAFFIC CONTROL PLAN TO THE CITY OF CENTRALIA AND OBTAIN APPROVAL PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES.

11. ALL VEHICLES AND EQUIPMENT SHALL BE KEPT WITHIN THE WORK AREAS ESTABLISHED FOR THAT WORK SHIFT UNLESS TRAVELING TO OR FROM THE SITE. UNDER NO CIRCUMSTANCES SHALL VEHICLES BE PARKED OR EQUIPMENT BE STORED OUTSIDE OF THESE AREAS.

12. OTHER CONSTRUCTION PROJECTS MAY OCCUR NEAR THE PROJECT SITE AND MAY BE IN PROGRESS CONCURRENT WITH THE PROJECT. THE CONTRACTOR SHALL COOPERATE AS NECESSARY AND NOT INTERFERE OR HINDER THE PROGRESS OR COMPLETION OF WORK BEING PERFORMED BY OTHER CONTRACTORS.

13. THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING AND INSTALLING ALL MATERIALS, LABOR, AND EQUIPMENT NECESSARY TO COMPLETE THE WORK SHOWN ON THESE DRAWINGS AND TO OBTAIN ACCEPTANCE BY THE CITY OF CENTRALIA AND THE PROJECT OWNER.

14. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL "PRE CONSTRUCTION" STATE OR BETTER.

15. DRIVEWAY ACCESS AND UTILITY SERVICE TO EXISTING HOMES AND BUSINESSES SHALL BE MAINTAINED AT ALL TIMES.

16. THE CONTRACTOR SHALL ASSUME THAT A PORTION OF THE SOILS WILL NOT PROVIDE SUFFICIENT STABILITY TO STAND UP IN VERTICAL TRENCH WALLS. THIS WILL RESULT IN WIDER TRENCHES, GREATER EARTHWORK VOLUMES, AND MORE SURFACE DISTURBANCE. THE CONTRACTOR SHALL ASSUME THAT A PORTION OF NATIVE SOILS WILL INCLUDE BOULDERS/CORBLES WHICH ARE GREATER THAN 24 INCHES IN DIAMETER WHICH WILL SLOW DOWN THE CONTRACTOR'S PROGRESS. THIS WILL RESULT IN WIDER TRENCHES, GREATER EARTHWORK VOLUMES, MORE SURFACE DISTURBANCE, AND MORE SURFACE RESTORATION THAN WHAT MAY BE SHOWN ON THE DRAWINGS.

17. THE REMOVAL, LOADING, AND HAULING OF EXCESS MATERIALS AS A RESULT OF DEMOLITION, TRENCHING, AND EXCAVATION ACTIVITIES SHALL BE DISPOSED OF AT A CONTRACTOR-PROVIDED WASTE SITE AT NO ADDITIONAL COST TO THE OWNER.

18. THE EXISTING CONDITIONS SHOWN ON THESE DRAWINGS ARE BASED ON A ALTA/NGPS LAND TITLE SURVEY FROM WINCOCAST, LLC, DATED JANUARY 1, 2024 AND THE DESIGN FILES FOR THE ONGOING IMPROVEMENTS ALONG ALDER STREET AND YEW STREET. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING AND ALERT THE ENGINEER IMMEDIATELY IF DISCREPANCIES ARE FOUND

ABBREVIATIONS

&	AND	KWH	KILOWATT HOURS
Ø	ANGLE	L	LENGTH
≈	APPROXIMATELY	LB(S)	POUNDS(S)
∠	AT	LF	LINEAR FEET
∠	CENTERLINE	LP	LOW POINT ELEVATION
°	DEGREE	LT	LEFT
=	EQUALS		
′	FOOT	MAX	MAXIMUM
>	GREATER THAN	MFR	MANUFACTURER
″	INCH	MH	MANHOLE
℅	NUMBER	MIN	MINIMUM
℅	PERCENT	MISC	MISCELLANEOUS
		MON	MONUMENT IN CASE
AC	ASPHALTIC CONCRETE		
ADD	ADDITIONAL	N	NORTH, NORTHING
ADJ	ADJACENT	N/A	NOT APPLICABLE
AFF	ABOVE FINISH FLOOR	NE	NORTHEAST
AP	ANGLE POINT	NEMA	NATIONAL ELECTRICAL MANUFACTURER ASSOCIATION
APPROX	APPROXIMATE	INC	NOT IN CONTRACT
ARCH	ARCHITECT	NO	NUMBER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	NOS	NOT TO SCALE
ATB	ASPHALT TREATED BASE COURSE	NW	NORTHWEST
AVE	AVENUE		
BCR	BEGIN CURB RETURN	OC, OC	ON CENTER
BFV	BUTTERFLY VALVE	OD	OUTSIDE DIAMETER
BGS	BELOW GROUND SURFACE	OSHA	OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION
BLK	BLOCK(S)	P	POINT OF CURVATURE
BLDG	BUILDING	PC	POWER, POWER VAULT
BM	BENCHMARK	PCC	POINT OF COMPOUND CURVE
BVC	BEGIN VERTICAL CURB		OR PORTLAND CEMENT CONCRETE
		PED	PEDESTAL
C	CONDUIT	PI	POINT OF INTERSECTION
CB	CATCH BASIN	P	PROPERTY LINE
CF	CUBIC FEET	PCC	POINT OF CONNECTION
CRC	CIRCUT, CIRCULAR, TION	P	POWER POLE
CP	CAST-IN-PLACE	PRC	POINT OF REVERSE CURVATURE
CP MON	CAST-IN-PLACE MONUMENT	PROP	PROPERTY
CJ	CENTER JOINT	PS	POUNDS PER SQUARE INCH
CL	CENTERLINE	PT	POINT OF TANGENCY
CLR	CLEAR	PVC	POINT OF VERTICAL CURVE
CLD	CLEANOUT	PVI	POINT OF VERTICAL INTERSECTION
COMM	COMMUNICATION	PMT	PAVEMENT
COMP	COMPACTED	PWR	POWER
CONE	CONCRETE		
CONST	CONSTRUCT	QTY	QUANTITY
CONT	CONTINUE, (ED, OUS, ATION)		
CORR	CORRECTION	R	RADIUS
CSBC	CRUSHED SURFACING BASE COURSE	RD	ROAD, ROADWAY
CSTC	CRUSHED SURFACING TOP COURSE	REF	REFERENCE
CULV	CULVERT	RENF	REINFORCED, (ED, ING, MENT)
CU YD	CUBIC YARD	REQ'D	REQUIRED
		REV	REVISION
D/W	DRIVEWAY	RW	STRUCTURE R/W ELEVATION
DEF	DEFLECTION	RT	RIGHT TURN
DEG	DEGREE	R/W, ROW	RIGHT OF WAY
DEMO	DEMOLISH/DEMOLITION		
DA	DAMETER	S	SOUTH OR SLOPE
DM	DIMENSIONS(S)	SCHED	SCHEDULE
DP	DUCTILE IRON PIPE	SD, SDMH	STORM DRAIN, STORM DRAIN MANHOLE
DR	DRIVE	SE	SOUTHEAST
DWG(S)	DRAWING(S)	SECT	SECTION(S)
		SHT	SHEET
E	EAST OR ELECTRICAL	SP	SPINNER
EA	EACH	SQ	SQUARE
EDR	END CURB RETURN	SO FT	SQUARE FEET
DH	ELECTRICAL HANDHOLE	SO IN	SQUARE INCH
EL, ELEV	ELEVATION	SS	SANITARY SEWER
ELEC	ELECTRICAL	SSMH	SANITARY SEWER MANHOLE
ENGR	ENGINEER	STA	STATION
EDP	EDGE OF PAVEMENT	STD	STANDARD
EQ	EQUAL(LY)	STRUCT	STRUCTURE, (AL)
EQUIP	EQUIPMENT	SW	SOUTHWEST
ESMT	EASEMENT	SYS	SYSTEM
EV	END VERTICAL CURVE		
EX, EXIST	EXISTING EXP EXPANSION		
EXP	EXPANSION	T	TELEPHONE OR TELEPHONE VAULT
		TBD	TO BE DETERMINED
FDC	FIRE DEPARTMENT CONNECTION	TEM	TEMPORARY BENCH MARK
FIN	FOUNDATION	TC	TOP OF CURB ELEVATION
FT	FINISH FLOOR	TELE	TELEPHONE
FG	FINISH GRADE ELEVATION	TEMP	TEMPORARY
FI	FIRE HYDRANT	TP, T/P	TOP OF PIPE
FN	FINISH(ED)	TYP	TYPICAL
FL	FIRE LINE/FLANGE	TW	TOP OF WALL ELEVATION
FT	FOOT/FEET		
		UDG	UNDERGROUND
G	GAS		
GALV	GALVANIZED	VAP	VERTICAL ANGLE POINT
GND	GROUND	VC	VERTICAL CURVE
GV	GATE VALVE	VERT	VERTICAL
		VOL	VOLUME
HH	HANDHOLE		
HMA	HOT MIX ASPHALT	W	WEST, WIDTH, WIDE OR WATER
HORIZ	HORIZONTAL	W/	WITH
HT	HEADST	W/O	WITHOUT
IE	INVERT ELEVATION	WM	WATER MAIN OR WILLAMETTE MERIDIAN
IN	INCH	WW	WATER MAIN
JR, J-BOX	JUNCTION BOX	XFMR	TRANSFORMER
JT	JOINT TRENCH		
KV	KILOVOLTS		
KW	KILOWATT		

DRAFTING SYMBOLS

XX	CONSTRUCTION NOTE NUMBER
XX	
XX	
X	

XX-A	SECTION NUMBER
XX-01	SHEET NUMBER SECTION IS LOCATED ON

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

Approved For Construction

City Engineer

Date

Approval expires 1 year from above date



VERTICAL DATUM
NAVD 88

REVISIONS

NO. 1	DATE	DESCRIPTION
1	12.3.2021	ISSUED FOR PERMIT
2	12.3.2021	ISSUED FOR PERMIT
3	12.3.2021	ISSUED FOR PERMIT
4	12.3.2021	ISSUED FOR PERMIT
5	12.3.2021	ISSUED FOR PERMIT
6	12.3.2021	ISSUED FOR PERMIT
7	12.3.2021	ISSUED FOR PERMIT
8	12.3.2021	ISSUED FOR PERMIT
9	12.3.2021	ISSUED FOR PERMIT
10	12.3.2021	ISSUED FOR PERMIT
11	12.3.2021	ISSUED FOR PERMIT
12	12.3.2021	ISSUED FOR PERMIT
13	12.3.2021	ISSUED FOR PERMIT
14	12.3.2021	ISSUED FOR PERMIT
15	12.3.2021	ISSUED FOR PERMIT
16	12.3.2021	ISSUED FOR PERMIT
17	12.3.2021	ISSUED FOR PERMIT
18	12.3.2021	ISSUED FOR PERMIT
19	12.3.2021	ISSUED FOR PERMIT
20	12.3.2021	ISSUED FOR PERMIT
21	12.3.2021	ISSUED FOR PERMIT
22	12.3.2021	ISSUED FOR PERMIT
23	12.3.2021	ISSUED FOR PERMIT
24	12.3.2021	ISSUED FOR PERMIT
25	12.3.2021	ISSUED FOR PERMIT
26	12.3.2021	ISSUED FOR PERMIT
27	12.3.2021	ISSUED FOR PERMIT
28	12.3.2021	ISSUED FOR PERMIT
29	12.3.2021	ISSUED FOR PERMIT
30	12.3.2021	ISSUED FOR PERMIT
31	12.3.2021	ISSUED FOR PERMIT
32	12.3.2021	ISSUED FOR PERMIT
33	12.3.2021	ISSUED FOR PERMIT
34	12.3.2021	ISSUED FOR PERMIT
35	12.3.2021	ISSUED FOR PERMIT
36	12.3.2021	ISSUED FOR PERMIT
37	12.3.2021	ISSUED FOR PERMIT
38	12.3.2021	ISSUED FOR PERMIT
39	12.3.2021	ISSUED FOR PERMIT
40	12.3.2021	ISSUED FOR PERMIT
41	12.3.2021	ISSUED FOR PERMIT
42	12.3.2021	ISSUED FOR PERMIT
43	12.3.2021	ISSUED FOR PERMIT
44	12.3.2021	ISSUED FOR PERMIT
45	12.3.2021	ISSUED FOR PERMIT
46	12.3.2021	ISSUED FOR PERMIT
47	12.3.2021	ISSUED FOR PERMIT
48	12.3.2021	ISSUED FOR PERMIT
49	12.3.2021	ISSUED FOR PERMIT
50	12.3.2021	ISSUED FOR PERMIT
51	12.3.2021	ISSUED FOR PERMIT
52	12.3.2021	ISSUED FOR PERMIT
53	12.3.2021	ISSUED FOR PERMIT
54	12.3.2021	ISSUED FOR PERMIT
55	12.3.2021	ISSUED FOR PERMIT
56	12.3.2021	ISSUED FOR PERMIT
57	12.3.2021	ISSUED FOR PERMIT
58	12.3.2021	ISSUED FOR PERMIT
59	12.3.2021	ISSUED FOR PERMIT
60	12.3.2021	ISSUED FOR PERMIT
61	12.3.2021	ISSUED FOR PERMIT
62	12.3.2021	ISSUED FOR PERMIT
63	12.3.2021	ISSUED FOR PERMIT
64	12.3.2021	ISSUED FOR PERMIT
65	12.3.2021	ISSUED FOR PERMIT
66	12.3.2021	ISSUED FOR PERMIT
67	12.3.2021	ISSUED FOR PERMIT
68	12.3.2021	ISSUED FOR PERMIT
69	12.3.2021	ISSUED FOR PERMIT
70	12.3.2021	ISSUED FOR PERMIT
71	12.3.2021	ISSUED FOR PERMIT
72	12.3.2021	ISSUED FOR PERMIT
73	12.3.2021	ISSUED FOR PERMIT
74	12.3.2021	ISSUED FOR PERMIT
75	12.3.2021	ISSUED FOR PERMIT
76	12.3.2021	ISSUED FOR PERMIT
77	12.3.2021	ISSUED FOR PERMIT
78	12.3.2021	ISSUED FOR PERMIT
79	12.3.2021	ISSUED FOR PERMIT
80	12.3.2021	ISSUED FOR PERMIT
81	12.3.2021	ISSUED FOR PERMIT
82	12.3.2021	ISSUED FOR PERMIT
83	12.3.2021	ISSUED FOR PERMIT
84	12.3.2021	ISSUED FOR PERMIT
85	12.3.2021	ISSUED FOR PERMIT
86	12.3.2021	ISSUED FOR PERMIT
87	12.3.2021	ISSUED FOR PERMIT
88	12.3.2021	ISSUED FOR PERMIT
89	12.3.2021	ISSUED FOR PERMIT
90	12.3.2021	ISSUED FOR PERMIT
91	12.3.2021	ISSUED FOR PERMIT
92	12.3.2021	ISSUED FOR PERMIT
93	12.3.2021	ISSUED FOR PERMIT
94	12.3.2021	ISSUED FOR PERMIT
95	12.3.2021	ISSUED FOR PERMIT
96	12.3.2021	ISSUED FOR PERMIT
97	12.3.2021	ISSUED FOR PERMIT
98	12.3.2021	ISSUED FOR PERMIT
99	12.3.2021	ISSUED FOR PERMIT
100	12.3.2021	ISSUED FOR PERMIT

WINCO FOODS STORE NO. 174
1005 S YEW ST.
CENTRALIA, WA
SEC 7 TOWN 14 N R2W 6E

02/14/2024

JSA CIVIL
Engineering & Surveying
111 TUMWATER BLVD SE, SUITE C120
TUMWATER, WA 98512

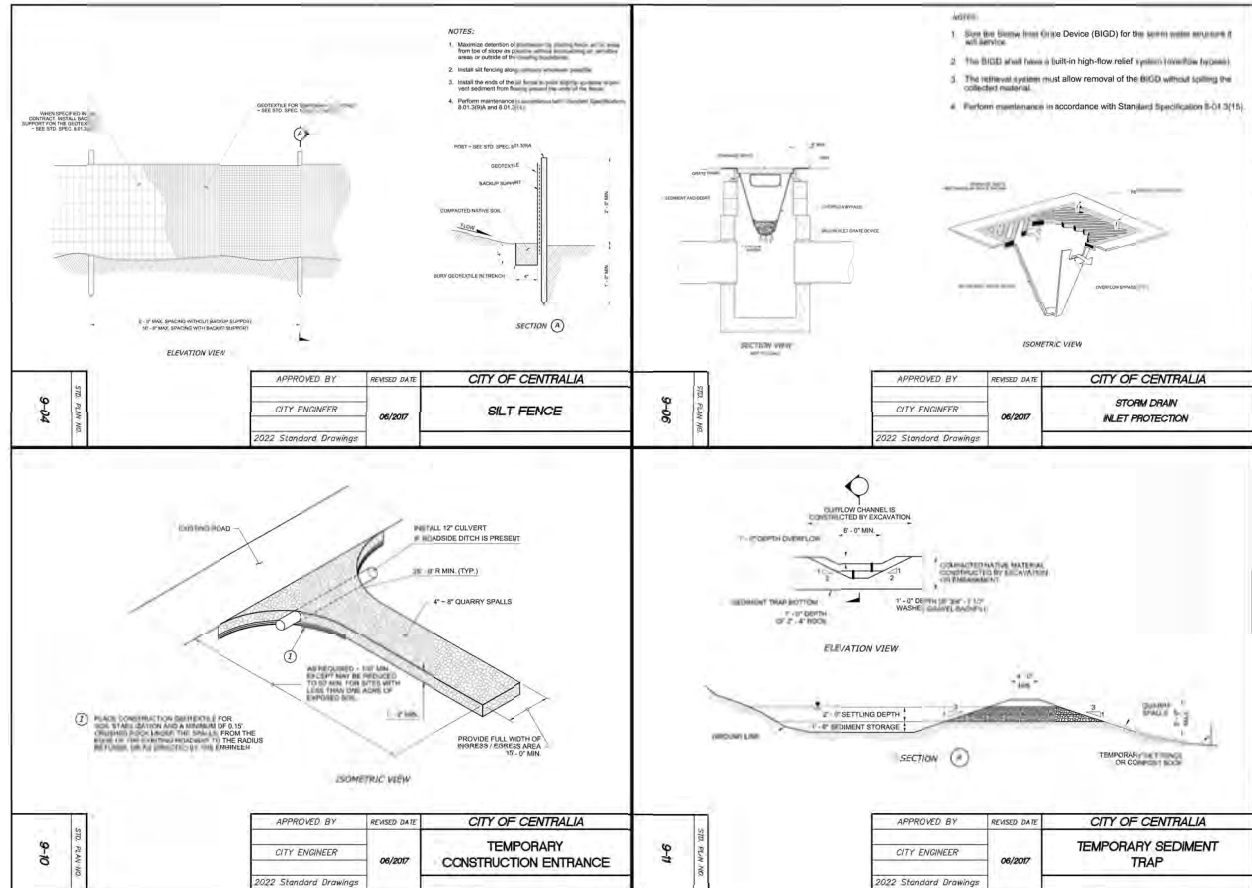
SEAL

WINCO FOODS STORE NO. 174
1005 S YEW ST.
CENTRALIA, WA
SEC 7 TOWN 14 N R2W 6E

GN-01

GENERAL EROSION CONTROL NOTES

- THE CONTRACTOR SHALL FOLLOW EROSION CONTROL PRACTICES OUTLINED IN THE MOST CURRENT EDITION OF THE WASHINGTON STATE DEPARTMENT OF ECOLOGY STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON AND THE SWPPP.
- EROSION CONTROL MEASURES ARE NOT LIMITED TO THE ITEMS ON THESE PLANS. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. NO DETENTION OF EXISTING OR PROPOSED DRAINAGE FACILITIES SHALL BE ALLOWED. CARE SHALL BE TAKEN TO PREVENT MIGRATION OF SILTS TO OFF-SITE PROPERTIES.
- EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE BEGINNING OF CONSTRUCTION. THE PROJECT ENGINEER AND THE REVIEWING AGENCY SHALL INSPECT AND APPROVE THE INSTALLATION OF EROSION CONTROL MEASURES PRIOR TO BEGINNING CONSTRUCTION.
 - INSTALL INLET SEDIMENTATION AS SPECIFIED AT ALL CATCH BASIN LOCATIONS IMMEDIATELY UPON ARRIVAL AT PROJECT/CONSTRUCTION SITE.
 - STABILIZED CONSTRUCTION ENTRANCE SHALL CONFORM TO DETAIL ON THIS SHEET. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED AT ALL INGRESS/EGRESS POINTS TO CONSTRUCTION SITE.
- ALL EROSION/SEDIMENTATION CONTROL FACILITIES SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL CONSTRUCTION IS COMPLETE AND THE SITE HAS BEEN STABILIZED. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTATION, MAINTENANCE, REPLACEMENT, AND ADDITIONS TO THE SYSTEM AS REQUIRED BY THE OWNER, ENGINEER, OR THE AUTHORITY HAVING JURISDICTION.
- THE CONTRACTOR SHALL MAKE A DAILY SURVEILLANCE OF ALL EROSION CONTROL MEASURES AND MAKE ANY NECESSARY REPAIRS OR ADDITIONS TO THE EROSION CONTROL MEASURES AS REQUIRED. THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL MEASURES AS DETERMINED NECESSARY BY THE INSPECTOR AND/OR PROJECT ENGINEER. FAILURE TO COMPLY WITH ALL LOCAL AND STATE EROSION CONTROL REQUIREMENTS MAY RESULT IN CIVIL PENALTIES BEING LEVIED AGAINST THE CONTRACTOR.
- PRIOR TO CLEARING AND GRADING THE CONTRACTOR SHALL PROTECT TREES TO BE SAVED WITH HIGH VISIBILITY FENCING AT THE ROOT PROTECTION ZONE/AREA OR OTHERWISE PROTECTED AS DIRECTED BY THE ENGINEER, CITY STAFF, OR OWNERS REPRESENTATIVE. CLEARING AND GRADING LIMITS SHALL BE STAKED IN THE FIELD PRIOR TO EXCAVATION.
- ALL STORM DRAINAGE INLETS RECEIVING RUNOFF FROM THE PROJECT DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER WILL BE FILTERED BEFORE ENTERING THE CONVEYANCE SYSTEM.
- ALL OFF-SITE CATCH BASINS IMMEDIATELY ADJACENT TO THE PROPOSED SITE SHALL BE PROTECTED FROM SILTATION.
- THE CONSTRUCTION OF TRENCHES (E.G., PIPES, UNDERGROUND UTILITY LINES AND STRUCTURES) SHALL BE SUBJECT TO THE FOLLOWING CRITERIA:
 - NO MORE THAN 300 FEET OF TRENCH ON A DOWNSLOPE OF MORE THAN FIVE PERCENT SHALL BE OPENED AT ONE TIME.
 - EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
- TRENCH DRAINAGE DEVICES SHALL BE DISCHARGED IN A MANNER THAT WILL NOT ADVERSELY AFFECT STREAMS, DRAINAGE SYSTEMS, OR OFF-SITE PROPERTIES.
- TRACKING OF SOIL, MUD, OR DEBRIS OFF-SITE IS NOT ALLOWED. SOIL, MUD, OR DEBRIS TRACKED ONTO A PUBLIC ROADWAY, SHALL BE REMOVED BY THE END OF THAT WORKING DAY. TO PREVENT THE TRACKING OF SOIL, MUD, OR DEBRIS ONTO PUBLIC ROADWAYS, WASHING OR WASHING OF THE VEHICLE'S TIRES MAY BE REQUIRED PRIOR TO ENTERING A PUBLIC ROADWAY.
- ALL DISTURBED AREAS SHALL BE HYDROSEEDING WITH EROSION CONTROL SEED MIX INCLUDING BUT NOT LIMITED TO ROADWAY EMBANKMENTS, SHOULDERS, UTILITY EASEMENTS, STAGING AREAS, CONSTRUCTED WETLANDS AND CUT/FILL SLOPES.
- ALL SEEDING OR SODDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE VEGETATIVE COVERAGE IS COMPLETE. AREAS SHALL BE REPAIRED, RESEEDED, AND FERTILIZED AS REQUIRED.
- DROP-IN CATCH BASIN FILTERS MAY BE USED IN PLACE OF OTHER STANDARD INLET PROTECTION PRACTICES. THIS INLET PROTECTION TECHNOLOGY CAN BE USED IN SITUATIONS WHERE ROOT-OF-WAY FLOODING WOULD BE PROBLEMATIC.
- TO MAINTAIN FUNCTION, THE CONTRACTOR SHALL REMOVE AND CLEAN OR REPLACE FILTERS AFTER EACH STORM EVENT. CONTACT THE JURISDICTION TO DETERMINE ITS ACCEPTANCE OF SPECIFIC FILTER PRODUCTS, PRIOR TO INSTALLATION.
- NO MATERIAL SHALL BE STOCKPILED ON PAVEMENT WITHOUT AUTHORIZATION FROM THE PROJECT ENGINEER OR OWNERS REPRESENTATIVE WHICH WILL BE CONDITIONAL ON IMPLEMENTATION OF A PROCEDURE TO PREVENT SEDIMENT TRANSPORT.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED OR AFTER THE MEASURES ARE NO LONGER NEEDED. SEDIMENT COLLECTED IN TRAPS, PONDING, OR SILT FENCE SHALL BE REMOVED AND DISPOSED IN AN APPROVED MANNER OR STABILIZED ON SITE. DISTURBED SOIL AREAS RESULTING FROM SEDIMENT REMOVAL SHALL BE PERMANENTLY STABILIZED WITHIN SEVEN (7) DAYS.



REVISIONS

NO.	DATE	DESCRIPTION
1	02/14/2024	WINCO FOODS STORE NO. 174 1005 S VEW ST. CENTRALIA, WA SEC 7 TOWN 14 N R02W

JSA CIVIL
Engineering & Surveying
111 TUMWATER BLVD SE, SUITE C210
TUMWATER, WA 98512

WINCO FOODS

SHEET TITLE
EROSION CONTROL
NOTES & DETAILS

SHEET
EC-02

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

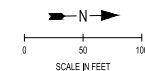
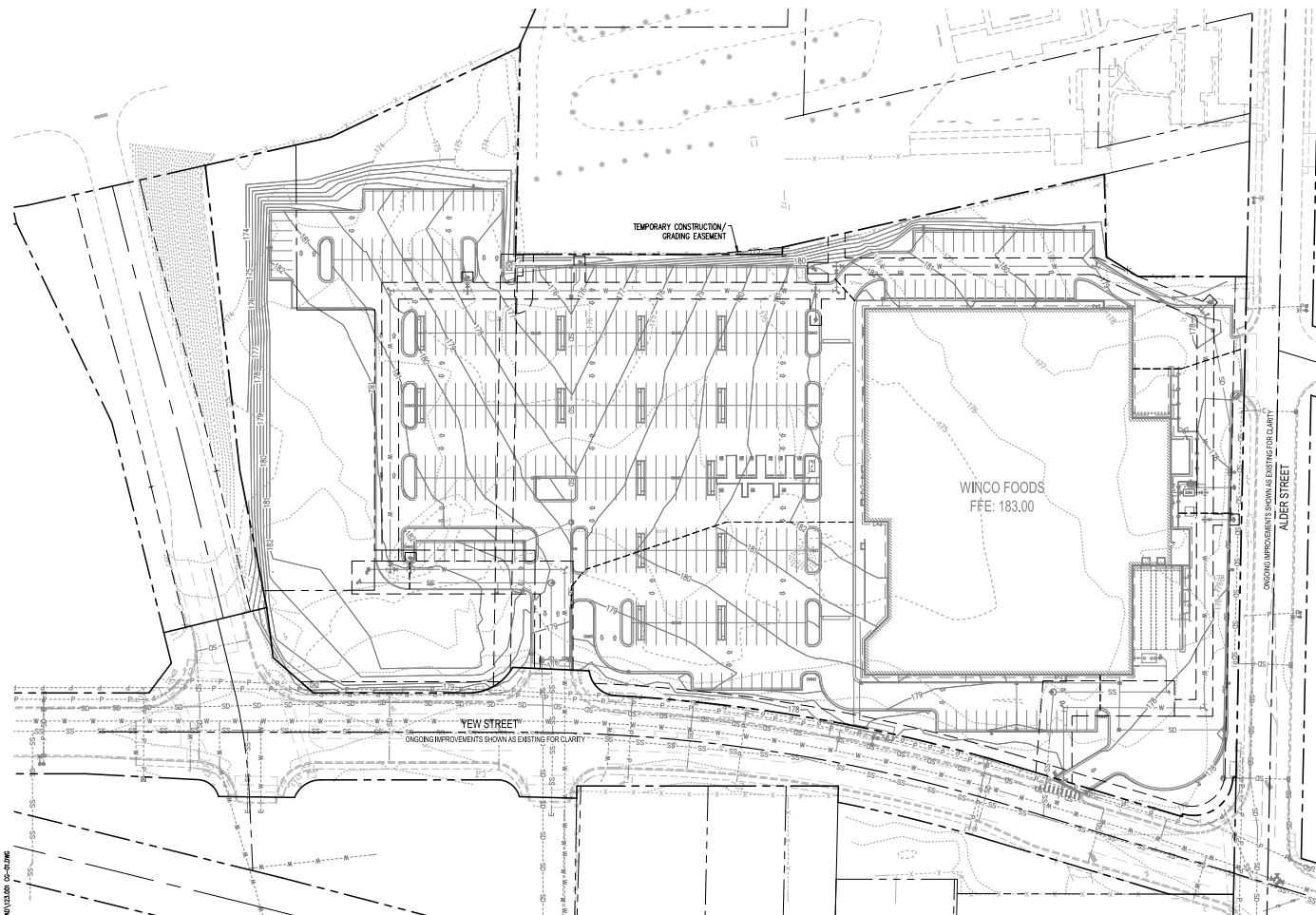
Approved For Construction

City Engineer _____ Date _____

Approval expires 1 year from above date



VERTICAL DATUM
NAVD 88



-
- Figure 1: Symbols for various features on a site plan. The symbols include: a solid line for PROPERTY LINE; a dashed line for PROPOSED EASEMENT; a line with cross-hatching for EXISTING CONTOURS; a line with circles for PROPOSED CONTOURS; a line with a break symbol for GRADE BREAK; a line with 'SD' for EXISTING STORM LINE; a line with a break symbol for EXISTING CATCH BASIN; a hatched area for PROPOSED BUILDING; a line with a break symbol for CEMENT CONCRETE CURB & GUTTER; a line with 'SD' for STORM LINE; and a hatched area for CATCH BASIN.

1. 100YR FLOOD ELEVATION PER 2017 WEST CONSULTANTS, INC HYDRAULIC IMPACT ANALYSIS: 178.30 (NAVD88)
2. 500YR FLOOD ELEVATION PER 2017 WEST CONSULTANTS, INC HYDRAULIC IMPACT ANALYSIS: 181.54 (NAVD88).
3. 2007 FLOOD ELEVATION PER LEWIS INTERACTIVE MAPS ±182.00 (NAVD88).

1. SEE "SD" SHEETS FOR STORMWATER DESIGN.
2. CONTRACTOR SHALL ENSURE THERE IS POSITIVE DRAINAGE AWAY FROM BUILDING AT ALL TIMES.
3. EXISTING CONTOURS ARE BASED ON TOPOGRAPHIC SURVEY BY WINZCOAST, LLC.
4. ALL LANDSCAPE AREAS SHALL BE STABILIZED.
5. CONTRACTOR TO ENSURE ADA RAMP FORMS MEET MAXIMUM SLOPE, LANING AND RAMP WIDTHS PRIOR TO PLACEMENT OF CONCRETE. CITY INSPECTOR TO INSPECT FORMS FOR ADA COMPLIANCE PRIOR TO CONCRETE POUR.

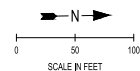
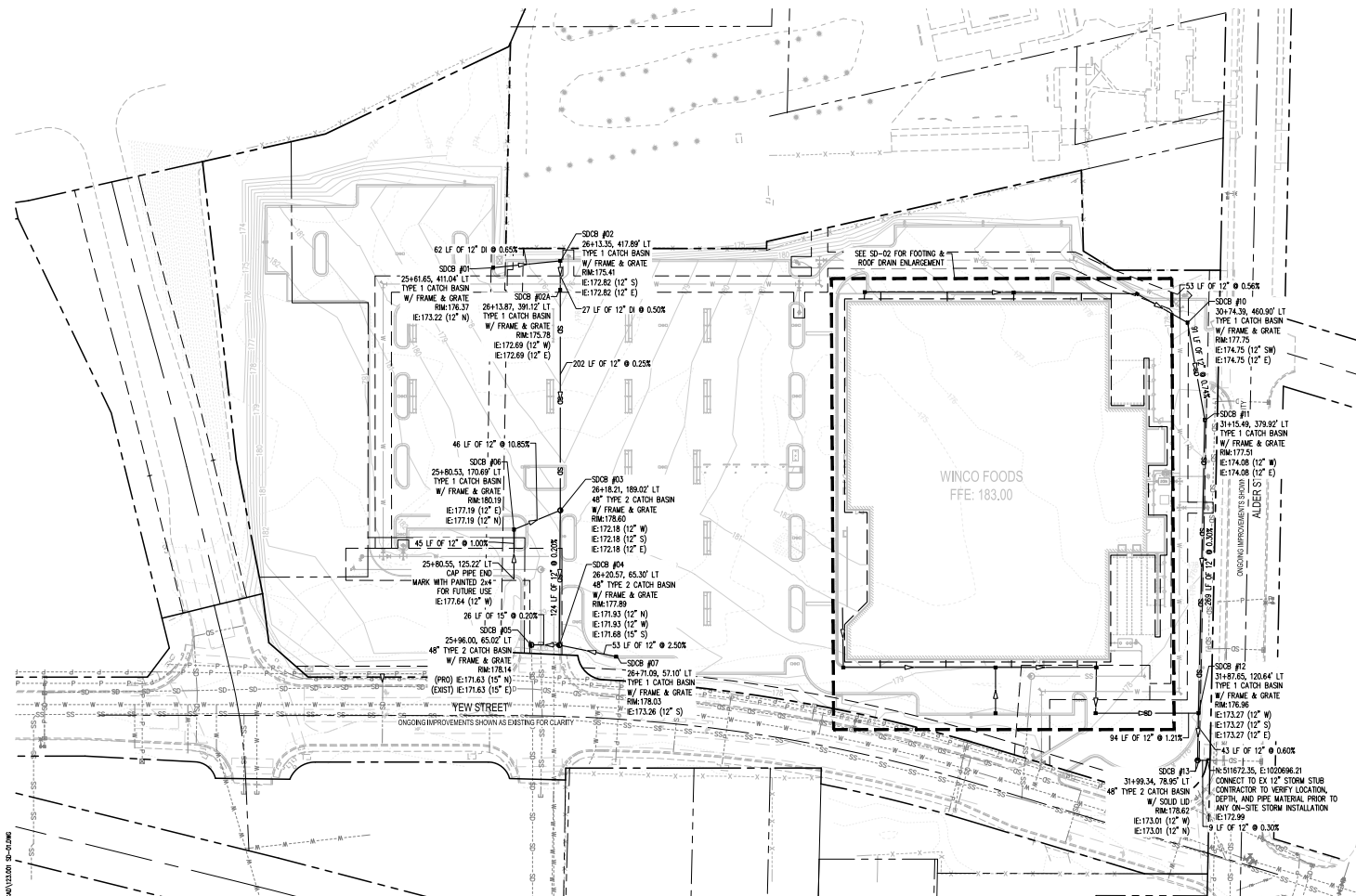
CALL BEFORE YOU DIG

Approved For Construction

City Engineer _____ Date _____



S1130_WNC_174_CG-01_OVERALL GRADING PLAN



LEGEND

- _____ PROPERTY LINE
 - - - - - PROPOSED EASEMENT
 - - - - - EXISTING CONTOURS
 - - - - - PROPOSED CONTOURS
 _____ EXISTING STORM LINE
 - - - - - SD - - - - - SD - - - - -
 ■ EXISTING STORM CATCH BASIN
 _____ W _____ WATER LINE
 _____ WS _____ WATER SERVICE LINE
 _____ SS _____ SEWER LINE
 _____ SD _____ STORM LINE
 ADS N-12 UNLESS OTHERWISE NOTED
 _____ 6" ADS N-12 PERFORATED FOOTING DRAIN
 ■ CATCH BASIN TYPE 1
 PER CITY OF CENTRALIA STD. PLAN 9-01
 SEE SD-05
 ● CATCH BASIN TYPE 2
 PER CITY OF CENTRALIA STD. PLAN 9-03
 SEE SD-05

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

Approved For Construction

City Engineer _____ Date _____

Approval expires 1 year from above date



S1190_WNC_174_SD-01_STORMWATER PLAN

REVISIONS

PROJECT NO.	123.001
DRAWN	C. DAHM
CHECKED	W. DUNLAP

OTD DATE

JSA CIVIL
Engineering | Planning | Management
111 TUMWATER BLVD SE, SUITE C210



02/14/202

WINCO FOODS STORE NO. 174
1005 S YEW ST.
CENTRALIA, WA
SEC 7 TOWN 14 N R02W

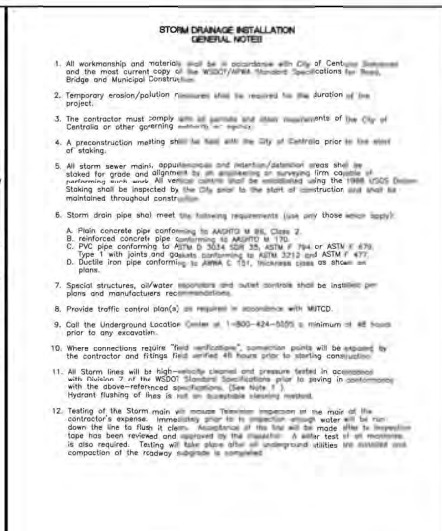
WinCo
FOODS

SHEET TITLE

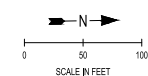
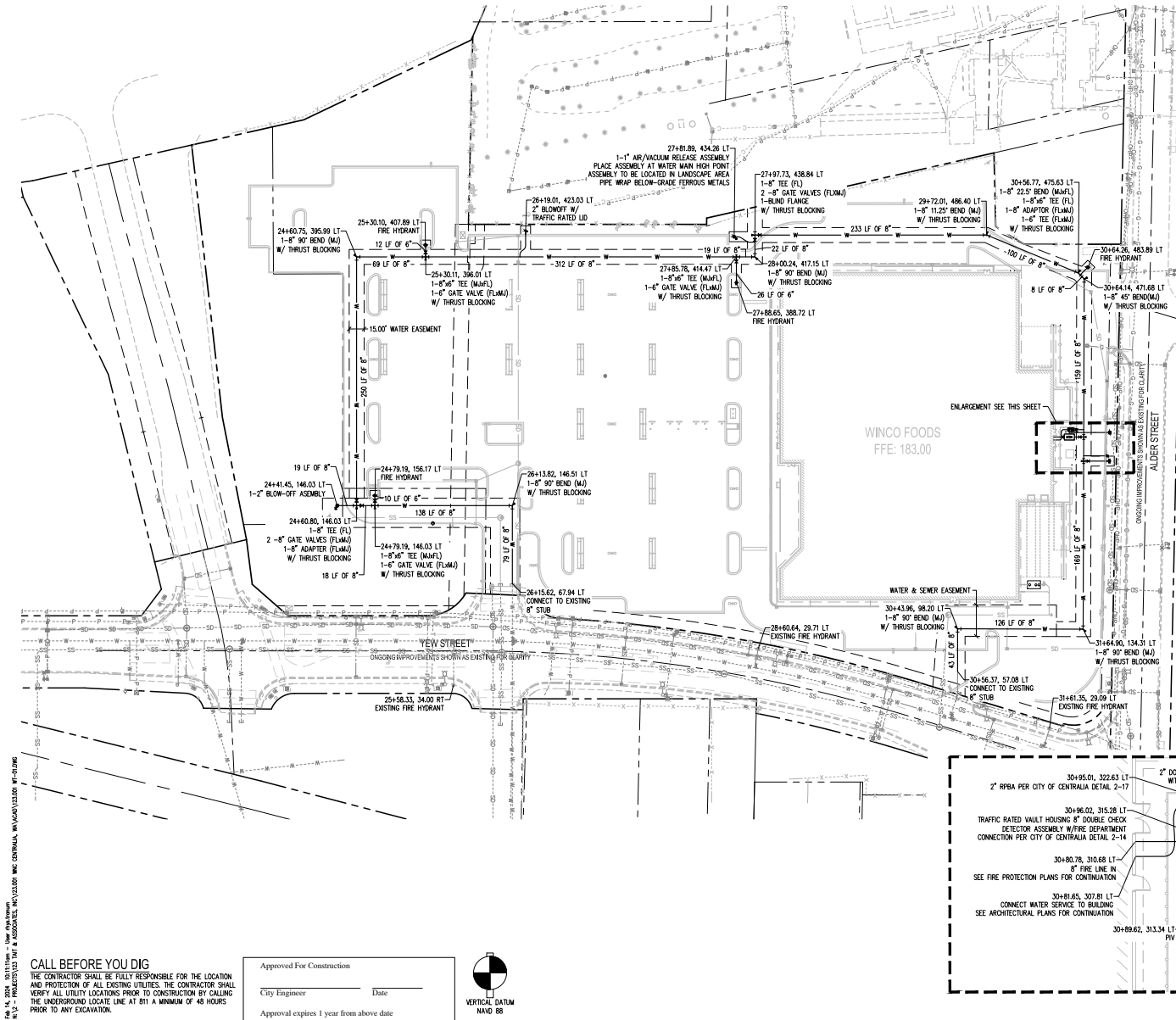
STORMWATER PLAN

SHEET

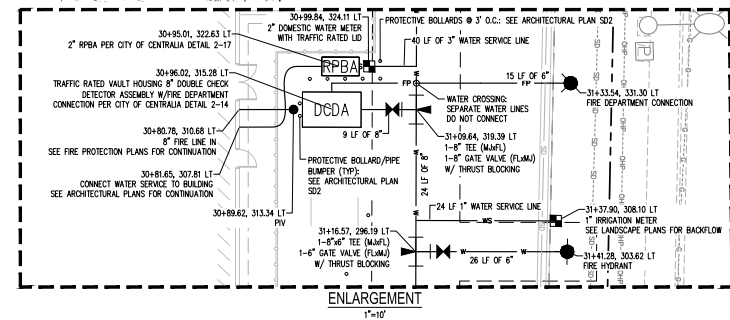
SD-01

[illegible]

PROJECT NO. 123.000	
DRAWN BY C. DAHM	
CHECKED BY W. DUNLAP	
PROJECT LOCATION 111 TUMMATER BLVD SE, SUITE C2.20 TUMWATER, WA 98512	
DATE 02/14/2024	
SCALE AS SHOWN	
PROJECT DESCRIPTION WINCO FOODS STORE NO. 174 1005 S YEW ST. CENTRALIA, WA SEC 7 TOWN 14 N R20W	
SHEET TITLE STORMWATER DETAILS	
SHEET SD-05	



- LEGEND**
- PROPERTY LINE
 - PROPOSED EASEMENT
 - EXISTING WATER LINE
 - STORM LINE
 - SEWER LINE
 - PVC C900 DR14 WATER LINE UNLESS OTHERWISE NOTED
 - HDPE WATER SERVICE LINE UNLESS OTHERWISE NOTED
 - DI CLASS 52 FIRE LINE UNLESS OTHERWISE NOTED
 - DOMESTIC WATER METER PER CITY OF CENTRALIA STD. PLAN 2-05; SEE WT-04
 - IRRIGATION METER PER CITY OF CENTRALIA STD. PLAN 2-03; SEE WT-04
 - FIRE HYDRANT PER CITY OF CENTRALIA STD. PLAN 2-12; SEE WT-04
 - FIRE DEPARTMENT CONNECTION SEE WT-05
 - WATER FITTINGS & THRUST BLOCKING PER CITY OF CENTRALIA STD. PLAN 2-10; SEE WT-04
 - GATE VALVE IN BOX PER CITY OF CENTRALIA STD. PLAN 2-09; SEE WT-04
 - 2" BLOW-OFF PER CITY OF CENTRALIA STD. PLAN 2-08-A; SEE WT-04
 - 1" AIR/VACUUM RELEASE PER CITY OF CENTRALIA STD. PLAN 2-13; SEE WT-04



CALL BEFORE YOU DIG
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

Approved For Construction
City Engineer _____ Date _____
Approval expires 1 year from above date



REVISIONS

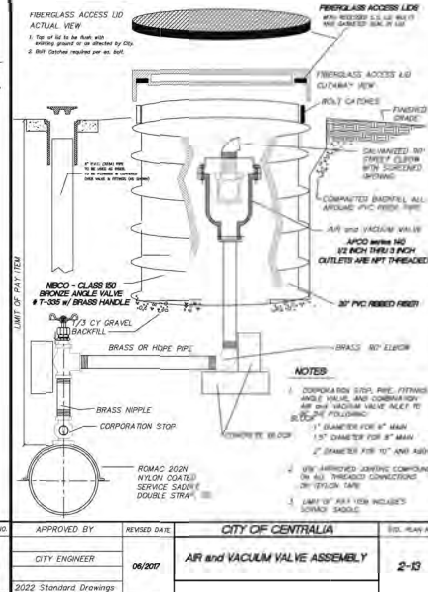
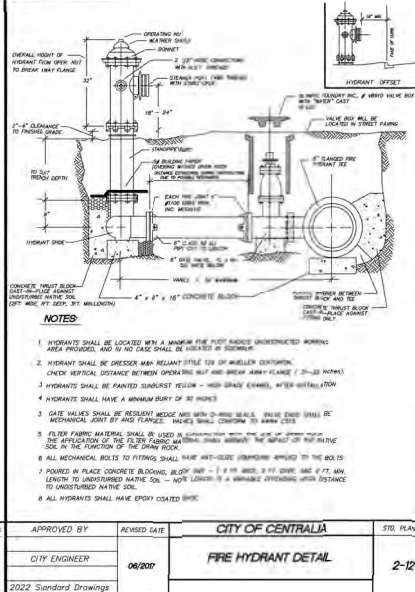
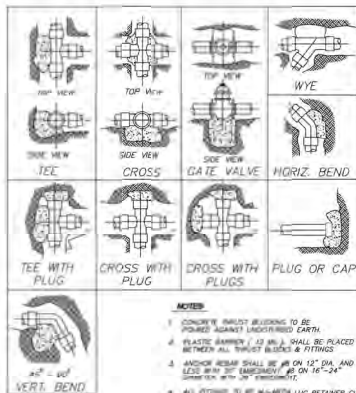
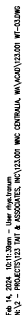
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	12/23/2021
2	REVISED BY C. DAHM	01/04/2022
3	REVISED BY W. DUNLAP	01/04/2022
4	REVISED BY W. DUNLAP	01/04/2022
5	REVISED BY W. DUNLAP	01/04/2022
6	REVISED BY W. DUNLAP	01/04/2022
7	REVISED BY W. DUNLAP	01/04/2022
8	REVISED BY W. DUNLAP	01/04/2022
9	REVISED BY W. DUNLAP	01/04/2022
10	REVISED BY W. DUNLAP	01/04/2022
11	REVISED BY W. DUNLAP	01/04/2022
12	REVISED BY W. DUNLAP	01/04/2022
13	REVISED BY W. DUNLAP	01/04/2022
14	REVISED BY W. DUNLAP	01/04/2022
15	REVISED BY W. DUNLAP	01/04/2022
16	REVISED BY W. DUNLAP	01/04/2022
17	REVISED BY W. DUNLAP	01/04/2022
18	REVISED BY W. DUNLAP	01/04/2022
19	REVISED BY W. DUNLAP	01/04/2022
20	REVISED BY W. DUNLAP	01/04/2022
21	REVISED BY W. DUNLAP	01/04/2022
22	REVISED BY W. DUNLAP	01/04/2022
23	REVISED BY W. DUNLAP	01/04/2022
24	REVISED BY W. DUNLAP	01/04/2022
25	REVISED BY W. DUNLAP	01/04/2022
26	REVISED BY W. DUNLAP	01/04/2022
27	REVISED BY W. DUNLAP	01/04/2022
28	REVISED BY W. DUNLAP	01/04/2022
29	REVISED BY W. DUNLAP	01/04/2022
30	REVISED BY W. DUNLAP	01/04/2022
31	REVISED BY W. DUNLAP	01/04/2022
32	REVISED BY W. DUNLAP	01/04/2022
33	REVISED BY W. DUNLAP	01/04/2022
34	REVISED BY W. DUNLAP	01/04/2022
35	REVISED BY W. DUNLAP	01/04/2022
36	REVISED BY W. DUNLAP	01/04/2022
37	REVISED BY W. DUNLAP	01/04/2022
38	REVISED BY W. DUNLAP	01/04/2022
39	REVISED BY W. DUNLAP	01/04/2022
40	REVISED BY W. DUNLAP	01/04/2022
41	REVISED BY W. DUNLAP	01/04/2022
42	REVISED BY W. DUNLAP	01/04/2022
43	REVISED BY W. DUNLAP	01/04/2022
44	REVISED BY W. DUNLAP	01/04/2022
45	REVISED BY W. DUNLAP	01/04/2022
46	REVISED BY W. DUNLAP	01/04/2022
47	REVISED BY W. DUNLAP	01/04/2022
48	REVISED BY W. DUNLAP	01/04/2022
49	REVISED BY W. DUNLAP	01/04/2022
50	REVISED BY W. DUNLAP	01/04/2022
51	REVISED BY W. DUNLAP	01/04/2022
52	REVISED BY W. DUNLAP	01/04/2022
53	REVISED BY W. DUNLAP	01/04/2022
54	REVISED BY W. DUNLAP	01/04/2022
55	REVISED BY W. DUNLAP	01/04/2022
56	REVISED BY W. DUNLAP	01/04/2022
57	REVISED BY W. DUNLAP	01/04/2022
58	REVISED BY W. DUNLAP	01/04/2022
59	REVISED BY W. DUNLAP	01/04/2022
60	REVISED BY W. DUNLAP	01/04/2022
61	REVISED BY W. DUNLAP	01/04/2022
62	REVISED BY W. DUNLAP	01/04/2022
63	REVISED BY W. DUNLAP	01/04/2022
64	REVISED BY W. DUNLAP	01/04/2022
65	REVISED BY W. DUNLAP	01/04/2022
66	REVISED BY W. DUNLAP	01/04/2022
67	REVISED BY W. DUNLAP	01/04/2022
68	REVISED BY W. DUNLAP	01/04/2022
69	REVISED BY W. DUNLAP	01/04/2022
70	REVISED BY W. DUNLAP	01/04/2022
71	REVISED BY W. DUNLAP	01/04/2022
72	REVISED BY W. DUNLAP	01/04/2022
73	REVISED BY W. DUNLAP	01/04/2022
74	REVISED BY W. DUNLAP	01/04/2022
75	REVISED BY W. DUNLAP	01/04/2022
76	REVISED BY W. DUNLAP	01/04/2022
77	REVISED BY W. DUNLAP	01/04/2022
78	REVISED BY W. DUNLAP	01/04/2022
79	REVISED BY W. DUNLAP	01/04/2022
80	REVISED BY W. DUNLAP	01/04/2022
81	REVISED BY W. DUNLAP	01/04/2022
82	REVISED BY W. DUNLAP	01/04/2022
83	REVISED BY W. DUNLAP	01/04/2022
84	REVISED BY W. DUNLAP	01/04/2022
85	REVISED BY W. DUNLAP	01/04/2022
86	REVISED BY W. DUNLAP	01/04/2022
87	REVISED BY W. DUNLAP	01/04/2022
88	REVISED BY W. DUNLAP	01/04/2022
89	REVISED BY W. DUNLAP	01/04/2022
90	REVISED BY W. DUNLAP	01/04/2022
91	REVISED BY W. DUNLAP	01/04/2022
92	REVISED BY W. DUNLAP	01/04/2022
93	REVISED BY W. DUNLAP	01/04/2022
94	REVISED BY W. DUNLAP	01/04/2022
95	REVISED BY W. DUNLAP	01/04/2022
96	REVISED BY W. DUNLAP	01/04/2022
97	REVISED BY W. DUNLAP	01/04/2022
98	REVISED BY W. DUNLAP	01/04/2022
99	REVISED BY W. DUNLAP	01/04/2022
100	REVISED BY W. DUNLAP	01/04/2022

JSA CIVIL
111 TUMWATER BLVD SE, SUITE C220
TUMWATER, WA 98533

WINCO FOODS STORE NO. 174
1005 S YEW ST.
CENTRALIA, WA
SEC 7 TOWN 14 N R02W


WinCo Foods

WT-01



APPROVED BY:	REVISED DATE:	CITY OF CENTRALIA	STD. PLAN
CITY ENGINEER	06/2007	STANDARD BLOCKING DETAIL	2-10
2022 Standard Drawings			

APPROVED BY	REVISED DATE	CITY OF CENTRALIA	DOC. RELAY #
CITY ENGINEER	06/2017	AIR and VACUUM VALVE ASSEMBLY	2-13
2022 Standard Drawings			

REVISIONS <table border="1"> <tr> <td>PROJECT NO.</td> <td>123.001</td> </tr> <tr> <td>DRAWN BY</td> <td>C. DAHM</td> </tr> <tr> <td>CHECKED BY</td> <td>W. DUNLAP</td> </tr> <tr> <td>SUBMITTAL DATE</td> <td>04/10/10</td> </tr> </table>		PROJECT NO.	123.001	DRAWN BY	C. DAHM	CHECKED BY	W. DUNLAP	SUBMITTAL DATE	04/10/10
PROJECT NO.	123.001								
DRAWN BY	C. DAHM								
CHECKED BY	W. DUNLAP								
SUBMITTAL DATE	04/10/10								
SHEET NO. 1	TOTAL SHEETS 1								
DATE 02/14/2010									
PROJECT LOCATION 111 TUMWATER BLVD SE, SUITE C210 TUMWATER, WA 98512									
SCALE  02/14/2010									
PROJECT DESCRIPTION WINCO FOODS STORE NO. 174 1005 S VEW ST. CENTRALIA, WA SEC 7 TOWN 14 N R02W									
SHEET TITLE WATER DETAILS									
SHEET WT-04									

WATER MAIN INSTALLATION
GENERAL NOTES

18. Where the water line crosses a property between the water line and the water line wherever possible with a separation of at least 16 inches between the crown of the water line and the crown of the sewer pipe. The water line shall be buried under the sewer pipe for a distance of 10 feet on either side of the water line.
19. All "LONG SIDE SERVICES" shall be noted as this above.
20. Water services noted as "long side 1/2\"

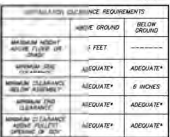


LARGE SIZE "F" PATENT ROSS MUST BE ORDERED WITH SHIPMENT FROM BELLEVILLE. A LATER ISSUE IS ALLOWED THE RIGHT OF PREFERENCE.

APPROVED BY	REVISED DATE	CITY OF CENTRALIA	STD. PLAN NO.
CITY ENGINEER	06/2007	DOUBLE CHECK DETECTOR ASSEMBLY W/FIRE DEPARTMENT CONNECTION	2-14
2022 Standard Drawings			2 of 2

NO CONCLUSIONS MAY BE USED FOR FREEZE PROTECTION

- NO CONCLUSIONS MAY BE USED FOR FREEZE PROTECTION





CITY OF CENTRALIA
REDUCED PRESSURE BACKFLOW ASSEMBLY
(Above Ground Installation)

Approved For Construction

City Engineer Date

Approval expires 1 year from above date

REVISONS	
REVISION # TWO	
23.001	
CLASS	
DAHM	
PROJECT	
DUNLAP	
DATE OF REVISION	
ISSUED DATE	
111 TUNAWATER BLVD SE, SUITE C210 TUNAWATER, WA 98512	
	
02/14/2002	
WINCO FOODS STORE NO. 174 1005 S YEW ST. CENTRALIA, WA SEC 7 TOWN 14 N R02W	
	
SHEET TITLE: WATER DETAILS	
SHEET	
WT-05	

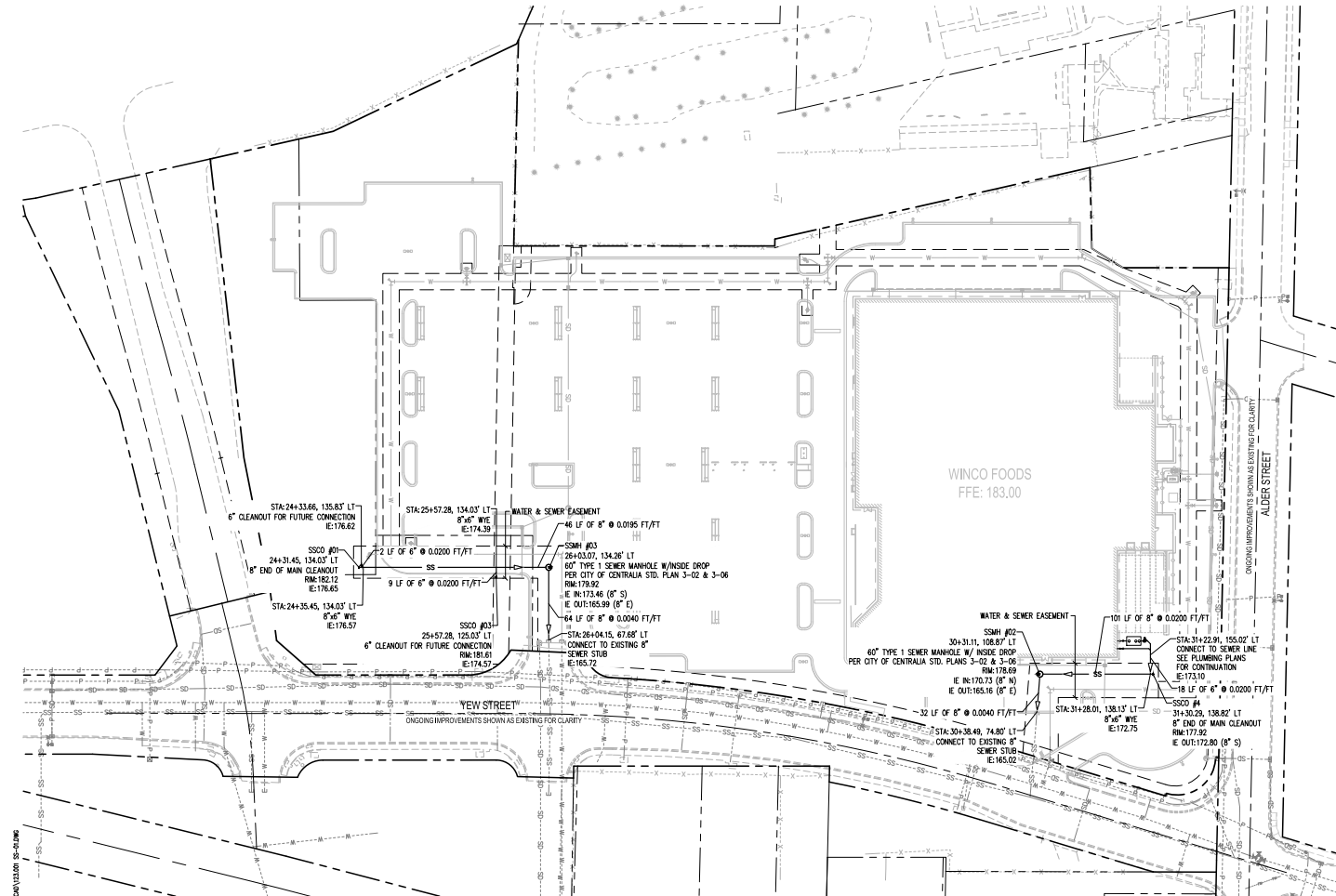
WINCO FOODS STORE NO. 174
1005 S YEW ST.
CENTRALIA, WA
SEC 7 TOWN 14 N R02W

**WinCo
FOODS**

WATER DETAILS

SHEET

WT-05



SCALE IN FEET

0 50 100

LEGEND

- PROPERTY LINE
- - - PROPOSED EASEMENT
- - - - - EXISTING SEWER LINE
- SD --- STORM LINE
- W --- WATER LINE
- WS --- WATER SERVICE LINE
- SS --- ASTM 3034 SDR 35 PVC SEWER LINE UNLESS OTHERWISE NOTED
- SEWER MANHOLE PER CITY OF CENTRALIA STD. PLAN 3-02 SEE SS-03
- SEWER CLEANOUT PER CITY OF CENTRALIA STD. PLAN 3-04 SEE SS-03
- ⊥ CREASE INTERCEPTOR SEE BUILDING PLANS

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

APPROVED FOR CONSTRUCTION

City Engineer _____ Date _____

Approval expires 1 year from above date



S1280_WNC_174_SS-01_SEWER PLAN

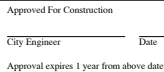
REVISIONS	
PROJECT NO. 123.001 DESIGNED BY C. DAHM CHECKED BY W. DUNLAP DATE DATE	DATE DATE
JSA CIVIL 111 TUMWATER BLVD SE, SUITE C20 TUMWATER, WA 98512	
02/14/2024	
WINCO FOODS STORE NO. 174 1005 S YEW ST. CENTRALIA, WA SEC 7 TOWN 14 N R02W	
WinCo Foods	
SHEET TITLE	
SEWER PLAN	
SHEET	
SS-01	



APPROVED BY	REVISED DATE	CITY OF CENTRALIA	3-
CITY ENGINEER	02/20/20	DROP CONNECTION SYSTEM INSIDE MANHOLE	
22. Standard Connection			

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----

June 25, 2024 9:26:11pm -- User: brad.granham
 \\PROJECTS\5275 JSA CIVIL, LLC\23-000577 MINCO CENTRALIA\CAD\23-000577 X-RD.DWG



SHEET
IR-01
8 OF 14

Diagram illustrating the components of a water meter assembly:

- WATER METER/ POINT OF CONNECTION (P.O.C.) - SEE PLAN FOR LOCATION(S)
- BALL VALVE
- DOUBLE CHECK VALVE ASSEMBLY (SEE DRAWING FOR LOCATION AND SIZE)
- QUICK COUPLER
- MANUAL DRAIN VALVE
- MAINLINE

