



**Site Plan Review Committee**  
**COMMUNITY DEVELOPMENT DEPT.**  
**360-330-7662**

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**360-330-7675**

**City Attorney**  
Kyle Manley  
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## **SITE PLAN REVIEW COMMITTEE**

### **Meeting Agenda**

*Monday, January 22, 2024*

*Join Zoom meeting:*

<https://us02web.zoom.us/j/85356833930?pwd=aFJUanFIRXFwWWM1d0xCQnBqQmxodz09>

*Meeting ID: 853 5683 3930*

*Passcode: 770823*

*Join by mobile: #1-253-215-8782*

**Applicants should be at the meeting and prepared to discuss their development.**  
**The public is invited to participate in all Site Plan Review meetings.**

**9:00 AM**

**STAFF REVIEW TIME**

1. Weekly Permit List

#### **10:00 AM – Site Plan Review**

**Project Name:** Bella Rose 3-Lot Short Plat  
**Applicant/Owner:** Brett Bates  
**Property Address:** 3005 Russell Road  
**Contact Phone:** 360-957-4789  
**Email:** [brett@batesmech.com](mailto:brett@batesmech.com)  
**Zone:** R:8, Medium Density Residential  
**Comp. Plan:** MDR, Medium Density Residential  
**Parcel Information:** 021107-002-002, 1 AC, \$113,000  
**Request:** Final civil plan approval for a 3-lot residential short plat.

#### **10:30 AM – Pre-Application Conference**

**Project Name:** Centralia Retail  
**Applicant/Owner:** David McLaughlin, Works Progress Architecture  
**Property Address:** 933 Harrison Avenue  
**Contact Phone:** 503-234-2945  
**Email:** [davidm@worksarchitecture.net](mailto:davidm@worksarchitecture.net)  
**Zone:** C-2, Highway Commercial District  
**Comp. Plan:** GC, Commercial General District  
**Parcel Information:** 003416-058-002, 0.92 acres  
**Request:** Construct a quick serve restaurant and two retail spaces.



01/05/2024 - 01/17/2024

| Permit # | Building/Land Use | Permit Type             | CONSTRUCTION SITE ADDRESS               | Description of work being done under this permit                       | Applicant Name                           |
|----------|-------------------|-------------------------|---|--|--|
| 20240039 | Building Permit   | Demolition              | 133 Sunnyside Drive                     | Demo of wall and drop down ceiling in kitchen                          | Liz Mohrbacher                           |
| 20240038 | Building Permit   | Single Family - Remodel | 319 N Diamond Street                    | Remodeling bathroom. floor, framing, insulation and drywall            | Derek Blair                              |
| 20240037 | Building Permit   | Reroof                  | 914 W 2Nd Street                        | tear off re roof front half  | Ken Slater                               |
| 20240036 | Building Permit   | Accessory Building      | 1406 Crescent Ave                       | Construct a 24x24x9 detached garage with 4" concrete floor; Non-heated | Tim Jahner                               |
| 20240035 | Building Permit   | Plumbing                | 1613 Grand Avenue                       | Replacing plumbing up to code  | Derek Dodd                               |
| 20240034 | Building Permit   | Plumbing                | 1013 N Washington Ave                   | NG Water Heater  | Jessica Blye                             |
| 20240033 | Building Permit   | Mechanical              | 1107 Johnson Rd                         | trane gas pack   | Chehalis Sheet Metal                     |
| 20240032 | Building Permit   | Single Family - Remodel | 122 Sunnyside Drive                     | Change dining room to a bedroom and add ramp.                          | Jose Perez                               |
| 20240031 | Building Permit   | Mechanical              | 112 Harrison Ave<br>Centralia, WA 98531 | replace existing gas furnace   | Mills Northwest Heating and Cooling Inc. |
| 20240030 | Building Permit   | Commercial - Remodel    | 604 S Tower Avenue                      | Remove ceramic tile flooring, open 1 wall, remove kiosks               | Chris Shumway                            |
| 20240029 | Building Permit   | Plumbing                | 1012 Mellen Street                      | Plumbing-repiping  | Fung Tran                                |
| 20240028 | Building Permit   | Reroof                  | 500 River Road<br>Centralia, Wa 98532   | Remove and replace asphalt shingles                                    | Brittany Sanders                         |
| 20240027 | Building Permit   | Reroof                  | 609 S Cedar Street                      | Re roof  | Cheyenne Allen                           |



|          |                      |                          |   |  |                      |
|----------|----------------------|--------------------------|---|--|----------------------|
| 20240026 | Land Use Application | Rezone                   | 2100 Van Wormer Street                  | Rezone from R:4 to M-2   | Joshua Henderson     |
| 20240025 | Building Permit      | Commercial - Remodel     | 4020 Harrison Avenue                    | Remodel of building for the door company   | Jeff Haskins         |
| 20240024 | Building Permit      | Single Family - Addition | 611 S Rock Street                       | Construct 20' x 26' cover over existing concrete slab  | Thomas Waggoner      |
| 20240023 | Building Permit      | Sign                     | 2312 N Pearl St                         | Install (1) Flag mount sign  | Seth Taylor          |
| 20240022 | Building Permit      | Foundation Only          | 113 N Diamond Street Centralia WA 98531 | Foundation repair to existing structure. Crew will install (7) Helical Piles and lift home to maximum allowable recovery | Ty-Lynn Hespe        |
| 20240021 | Building Permit      | Solar Panels             | 302 Goodrich Road Centralia 98531       | Installation of 24 Solar panels  | Rosie Rumsey         |
| 20240020 | Building Permit      | Solar Panels             | 354 river heights rd Centralia 98531    | Installation of 10 Solar Panels on the roof.   | Rosie Rumsey         |
| 20240019 | Building Permit      | Mechanical               | 910 Johnson Rd                          | install carrier package unit   | Chehalis Sheet Metal |
| 20240018 | Building Permit      | Single Family - Remodel  | 821 H Street                            | Enlarge existing bathroom/add a shower   | Doug Hawes           |
| 20240017 | Building Permit      | Mechanical               | 915 G STREET CENTRALIA WA               | REPLACE GAS FURNACE, TSTAT AND ADD AC UNIT   | MELISSA BUTLER       |
| 20240016 | Building Permit      | Accessory Dwelling Unit  | 732 S Silver                            | Convert a garage into an adu   | Jose Triana          |
| 20240015 | Building Permit      | Commercial - Remodel     | 604 S Tower Avenue                      | Scrap floors to subfloor, erect walls, add bathroom, doors (including e-exit) add laminate flooring, paint               | Chris Shumway        |
| 20240014 | Building Permit      | Reroof                   | 507 South Street, Centralia WA          | Replace existing roof  | Andrea Hall          |

|          |                 |                      |  |  |                 |
|----------|-----------------|----------------------|--|--|-----------------|
| 20240012 | Building Permit | Commercial - Remodel | 303 W Pine Street<br>Centralia, WA 98531 | Make repairs from fire damage to (2) units 202 and 302 | Loren Voie      |
| 20240011 | Building Permit | Demolition           | 303 W Pine Street                        | Remove drywall and insulation in units 202 and 302     | Loren Voie      |
| 20240010 | Building Permit | Mechanical           | 600 S Pearl St,<br>Centralia WA          | install reznor heater in place of old one              | Elissa Carbajal |
|          |                 |                      |  |  |                 |

Total Records: 29

1/17/2024

**BELLA ROSE LANE  
TOWNHOMES  
CENTRALIA, WA**

**PROJECT SPECIFICATIONS**  
THE WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE 2020 STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) (HEREAFTER "STANDARD SPECIFICATIONS")  
  
ALSO INCORPORATED INTO THESE CONTRACT DOCUMENTS BY REFERENCE ARE:  
  
A. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)  
B. CITY/COUNTY ROW STANDARDS  
C. CITY/COUNTY DRAINAGE STANDARDS  
D. THE INTERNATIONAL BUILDING CODE (IBC)  
E. THE INTERNATIONAL PLUMBING CODE (IPC)  
F. THE INTERNATIONAL FIRE CODE (IFC)  
G. DEPARTMENT OF ECOLOGY STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON  
  
CURRENT EDITIONS OF THESE STANDARDS SHALL BE USED WHICH EXIST ON THE DATE OF CONTRACT ACCEPTANCE.  
  
CONTRACTOR SHALL OBTAIN COPIES OF THESE PUBLICATIONS AT CONTRACTOR'S OWN EXPENSE.  
  
THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION, SUPPLIES, AND INCIDENTALS REQUIRED TO COMPLETE ALL WORK SHOWN ON THESE DRAWINGS AND TO OBTAIN ACCEPTANCE BY THE COUNTY AND THE PROJECT OWNER.  
  
THE INTENT OF THESE DRAWINGS IS TO PRESCRIBE A COMPLETE WORK. OMISSIONS FROM THE DRAWINGS OR DETAILS OF WORK WHICH ARE NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING THE OMITTED WORK.  
  
ANY PROPOSED ALTERATIONS BY THE CONTRACTOR AFFECTING THE REQUIREMENTS AND INFORMATION IN THESE DRAWINGS SHALL BE IN WRITING AND WILL REQUIRE APPROVAL OF THE ENGINEER AND INSPECTOR.

**WORK IN RIGHT OF WAY**  
CONTRACTOR SHALL OBTAIN A RIGHT OF WAY PERMIT PRIOR TO COMMENCING ANY WORK LOCATED IN THE RIGHT OF WAY. ALL WORK PERFORMED IN THE RIGHT OF WAY SHALL ADHERE TO DRAWINGS, STANDARD SPECIFICATIONS, AND REQUIREMENTS OUTLINED IN THE RIGHT OF WAY PERMIT.

**RECORD DRAWINGS**  
THE IRIS GROUP IS REQUIRED BY THE CITY TO PROVIDE RECORD DRAWING CERTIFICATION PRIOR TO FINAL COUNTY ACCEPTANCE. THE IRIS GROUP WILL NOT CERTIFY RECORD DRAWINGS WITHOUT INSPECTION OF BELOW GRADE UTILITIES AND STRUCTURES. PRIOR TO BACKFILLING, CONTRACTOR SHALL NOTIFY THE IRIS GROUP OF NECESSARY INSPECTIONS. CONTRACTOR SHALL MAINTAIN A PLAN SET ONSITE (ASBUILT PLAN SET) AND SHALL INDICATE IN RED INK ON THE ASBUILT PLAN SET ANY DEVIATIONS FROM THE CONTRACT PLANS. CONTRACTOR SHALL PROVIDE ASBUILT PLANS TO THE IRIS GROUP PRIOR TO FINAL INSPECTION BY THE IRIS GROUP.

**REMOVAL OF UNSUITABLE MATERIALS**  
IF UNSUITABLE MATERIALS AS DEFINED BY THE STANDARD SPECIFICATIONS ARE ENCOUNTERED, THIS MATERIAL SHALL BE REMOVED TO THE DEPTH REQUIRED BY THE ENGINEER OR INSPECTOR AND REPLACED WITH SUITABLE MATERIALS.  
  
UNSUITABLE MATERIAL SHALL BE REMOVED FROM THE SITE AND HAULED TO A WASTE SITE OBTAINED BY THE CONTRACTOR. PRIOR TO REMOVAL, CONTRACTOR SHALL NOTIFY PROJECT OWNER.

**CONSTRUCTION NOTES**  
1. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR BEING FAMILIAR WITH THE PROVISIONS AND REQUIREMENTS CONTAINED IN JURISDICTIONAL STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL HAVE A COPY AVAILABLE AT THE JOB SITE AT ALL TIMES.  
2. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK.  
3. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC OR PRIVATE UTILITY COMPANIES 48 HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO EXISTING UTILITY LINES UNLESS AN ENCROACHMENT PERMIT SPECIFIES OTHERWISE.  
4. THE CONTRACTOR SHALL PROVIDE EMERGENCY TELEPHONE NUMBERS TO THE POLICE, FIRE, AND PUBLIC WORKS DEPARTMENTS AND KEEP THEM INFORMED DAILY REGARDING STREETS UNDER CONSTRUCTION AND DETOURS. TEMPORARY TRAFFIC CONTROL AND ROAD DETOURS MUST BE APPROVED BY THE CITY ENGINEER.  
5. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SUFFICIENT BARRICADES TO PROVIDE FOR THE SAFETY OF THE GENERAL PUBLIC TO THE SATISFACTION OF THE CITY ENGINEER.  
6. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.  
7. THE CONTRACTOR SHALL CONFORM TO EXISTING STREETS,

SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH A SMOOTH TRANSITION IN PAVING, CURBS, GUTTERS, SIDEWALKS, GRADING, ETC., AND AVOID ANY ABRUPT OR APPARENT CHANGES IN GRADES OR CROSS SLOPES, LOW SPOTS OR HAZARDOUS CONDITIONS.  
8. THE CONTRACTOR SHALL COORDINATE ALL NECESSARY UTILITY RELOCATIONS, IF REQUIRED, WITH THE APPROPRIATE UTILITY COMPANIES.  
9. THE CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT AND DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL. IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE CITY ENGINEER OR HIS DESIGNATED REPRESENTATIVE, THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL SUCH CORRECTIVE MEASURES ARE TAKEN.  
10. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCIES AND DEPARTMENTS FOR ALL REQUIRED INSPECTIONS PRIOR TO PLACING ANY UTILITIES INTO SERVICE.  
11. SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE CITY OF CENTRALIA DEVELOPMENT GUIDELINES AND PUBLIC WORKS

STANDARDS, AS WELL AS THE WSDOT STANDARD SPECIFICATIONS, WHICH ARE HERE BY REFERENCED AS PART OF THESE PLANS.  
12. THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY.  
13. CAUTION - NOTICE TO CONTRACTOR THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE, THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.  
14. CONTRACTOR SHALL POT HOLE TO VERIFY DEPTH AT EXISTING UTILITIES PRIOR TO CONSTRUCTION OF PROPOSED IMPROVEMENTS. STOP WORK IMMEDIATELY, AND NOTIFY ENGINEER IF FIELD CONDITIONS VARY FROM EXISTING CONDITIONS DEPICTED HERE IN.

15. CONTRACTOR SHALL POT HOLE TO VERIFY THAT NO PROPOSED UTILITIES CONFLICT WITH EXISTING UTILITIES AND THAT REQUIRED CLEARANCE BETWEEN EXISTING AND PROPOSED UTILITIES IS FEASIBLE PRIOR TO CONSTRUCTION.  
16. POST CONSTRUCTION SOIL QUALITY AND DEPTH BMP DETAIL 7/C11 SHALL BE APPLIED TO ALL DISTURBED PREVIOUS AREAS.  
17. A PRE-CONSTRUCTION MEETING WITH THE CITY ENGINEERING DEPARTMENT IS REQUIRED PRIOR TO START OF WORK.  
18. ALL MATERIALS TO BE USED FOR CIVIL CONSTRUCTION IN ACCORDANCE WITH THE PLANS SHALL BE SUBMITTED TO THE CITY ENGINEERING DEPARTMENT FOR APPROVAL BEFORE USE. SUBMITTALS SHALL NOT BE SUBMITTED TO THE CITY UNTIL AFTER THE PROJECT ENGINEER HAS COMPLETED THEIR REVIEW. NO MATERIALS SHALL BE USED THAT HAVE NOT BEEN APPROVED BY THE PROJECT ENGINEER AND THE CITY ENGINEERING DEPARTMENT.

VICINITY MAP  
N.T.S.

**PROJECT DATA**  
PRE-PLAT PARCELS: 021107002002  
APPLICANT: BRETT BATES  
SITE ADDRESS: 3005 RUSSELL RD  
CENTRALIA, WA 98531  
  
SITE AREA: 1.05 AC  
ROW DEDICATION: 0.04 AC  
GRADING QUANTITIES: CUT: 390 CY  
FILL: 687 CY  
NET: 297 CY (FILL)

**GEOTECHNICAL INFORMATION**  
A GEOTECHNICAL REPORT PREPARED BY ALL AMERICAN GEOTECHNICAL, DATED 3/21/2023, FOR THIS PROJECT. ALL EARTHWORK SHALL CONFORM TO THE PROJECT GEOTECHNICAL REPORT.

**BASIS OF BEARING**  
HOLDING SURVEY CONTROL BEARINGS PER CITY OF CENTRALIA SHORT PLAT 2021-0553, RECORDED UNDER LEWIS COUNTY AUDITOR'S FILE NO. 3550375, VOLUME 3 OF SHORT PLATS, PAGE 183.

**BASIS OF ELEVATION**  
NAVD 88: HOLDING WSDOT SURVEY CONTROL POINT DESIGNATION, CGM-C, ID # 6712 AT A PUBLISHED ELEVATION OF 172.578 U.S. FEET

**TOPOGRAPHIC DATA**  
DESIGN FOR THIS PROJECT IS BASED ON THE BOUNDARY AND TOPOGRAPHY SURVEY PREPARED BY FORESIGHT SURVEYING, DATED 6/27/23.

ALL EXISTING FEATURES AND TOPOGRAPHY SHOWN SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ANY AND ALL DISCREPANCIES FOUND BETWEEN ACTUAL EXISTING CONDITIONS AND THE EXISTING CONDITIONS SHOWN HERE SHALL BE IDENTIFIED TO THE PROJECT ENGINEER PRIOR TO CONTINUANCE OF ANY WORK.

**NOTE**  
SEE DETAILS 1,2/C8, 3,7/C9, AND 6,7/C12 FOR ADDITIONAL NOTES.

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APPROVED FOR CONSTRUCTION

CITY ENGINEER DATE

APPROVAL EXPIRES 1 YEAR FROM ABOVE DATE



|                     |   |
|---------------------|---|
| PRE-PLAT PARCELS:   | 021107002002                                      |
| APPLICANT:          | BRETT BATES                                       |
| SITE ADDRESS:       | 3005 RUSSELL RD<br>CENTRALIA, WA 98531            |
| SITE AREA:          | 1.05 AC   |
| ROW DEDICATION:     | 0.04 AC   |
| GRADING QUANTITIES: | CUT: 390 CY<br>FILL: 687 CY<br>NET: 297 CY (FILL) |

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HOLDING SURVEY CONTROL BEARINGS PER CITY OF CENTRALIA SHORT  
PLAT 2021-0553, RECORDED UNDER LEWIS COUNTY AUDITOR'S FILE NO.  
3550375, VOLUME 3 OF SHORT PLATS, PAGE 183.

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| 11     | C11     | DETAILS 4                        |
| 12     | C12     | DETAILS 5                        |
| 13     | C13     | DETAILS 6                        |

APPROVED FOR CONSTRUCTION

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CITY ENGINEER                      DATE

APPROVAL EXPIRES 1 YEAR FROM ABOVE DATE

NW1/4, NW 1/4, S06, T14N, R02W  
LEWIS CO TPN 02107002002  
3005 RUSSELL RD  
CENTRALIA, WA

COVER

|              |            |
|--------------|------------|
| PROJ. NO:    | BB203      |
| REVIEWED BY: | NDT        |
| DESIGNED BY: | NDT        |
| DRAWN BY:    | RCB        |
| DATE:        | 11-12-2023 |

Know what's BELOW  
Call 811 before you dig.

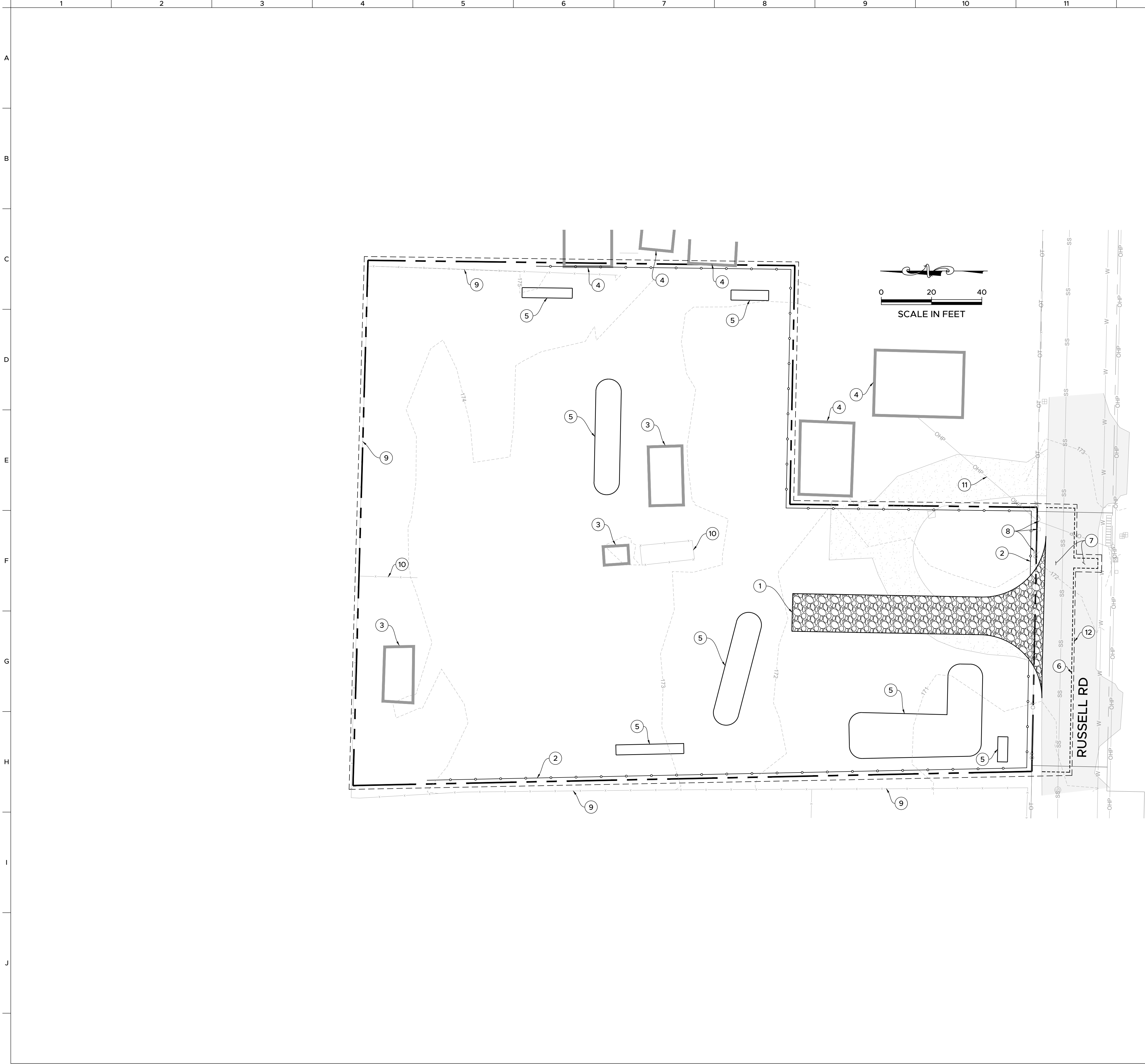


C1

1 OF 13



FILE NAME:Z:\P\BB203\CAD\Sheets\BB203 TESC.dwg DATE/TIME:11/12/2023 8:33:31 AM



#### # KEY NOTES

1. PROPOSED TEMPORARY CONSTRUCTION ENTRANCE PER DETAIL 1/C11
2. PROPOSED TEMPORARY SILT FENCE PER DETAIL 8/C10
3. EXISTING STRUCTURE TO BE DEMOLISHED UNDER SEPARATE PERMIT
4. EXISTING STRUCTURE TO REMAIN. PROTECT IN PLACE.
5. PROPOSED LOCATION FOR INFILTRATION FACILITY. DO NOT COMPACT IN SITU SOIL OR RUN EQUIPMENT IN THIS AREA.
6. PROPOSED FULL DEPTH SAWCUT
7. REMOVE AND DISPOSE OF EXISTING ASPHALT CEMENT PAVEMENT, FULL DEPTH
8. EXISTING POLE, GUY, AND PEDESTAL TO BE RELOCATED. COORDINATE WITH CITY LIGHT AND OUTSIDE UTILITIES TO HAVE RELOCATION COMPLETED PRIOR TO WORK.
9. EXISTING WOOD FENCE TO REMAIN
10. EXISTING WOOD FENCE TO BE REMOVED
11. EXISTING OVERHEAD POWER LINE TO BE RELOCATED. COORDINATE WITH CITY LIGHT AND OUTSIDE UTILITIES TO HAVE RELOCATION COMPLETED PRIOR TO WORK.
12. OUTSIDE OFFSET FROM APPROXIMATE LIMITS OF DISTURBANCE

#### EROSION CONTROL NOTES

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COMPLETE ALL WORK AND TO DISPOSE OF ALL DEMOLITION DEBRIS IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS. PRIOR TO ANY WORK CONTRACTOR SHALL COMPLETE ALL TESTING FOR HAZARDOUS MATERIALS AND SHALL ABATE ALL HAZARDOUS MATERIALS IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
2. CONTRACTOR SHALL OBTAIN AND FULFILL THE REQUIREMENTS OF ANY PERMITS REQUIRED FOR ANY PROPOSED DEMOLITION ACTIVITY.
3. CONTRACTOR SHALL COORDINATE WITH AND RECEIVE APPROVAL FROM ANY PUBLIC OR PRIVATE UTILITIES AS REQUIRED FOR ABANDONMENT OF UTILITY SERVICES. CONTRACTOR SHALL APPLY FOR AND COORDINATE ANY WORK THAT MUST BE COMPLETED BY THE UTILITY PURVEYOR. CONTRACTOR SHALL ENSURE THAT ALL UTILITIES TO BE MODIFIED OR REMOVED ARE SHUT OFF PRIOR TO DEMOLITION OR CONSTRUCTION ACTIVITY.
4. PRIOR TO ANY DEMOLITION OR REMOVAL/MODIFICATION OF EXISTING UNDERGROUND UTILITY SERVICES, CONTRACTOR SHALL PERFORM BOTH A PRIVATE AND PUBLIC UTILITY LOCATE TO IDENTIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES.
5. CONTRACTOR IS RESPONSIBLE FOR PROTECTION AND PRESERVATION OF ANY EXISTING FEATURES TO REMAIN.
6. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND DISPOSAL OF ALL EXISTING FEATURES THAT CONFLICT WITH PROPOSED FEATURES.
7. APPROVAL OF THIS SWPPP DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.)
8. THE IMPLEMENTATION OF THIS SWPPP AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED
9. DURING THE CONSTRUCTION PERIOD, NO UNAUTHORIZED DISTURBANCE BEYOND THE PROPERTY BOUNDARY SHALL BE PERMITTED.
10. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
11. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
12. THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
13. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.
14. AT NO TIME SHALL MORE THAN 1 FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
15. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.
16. ALL EROSION CONTROL BEST MANAGEMENT PRACTICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE LATEST VERSION OF THE DEPARTMENT OF ECOLOGY'S STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON (SWMM).
17. CATCH BASIN INLET PROTECTION SHALL BE INSTALLED AND MAINTAINED AT ALL PROPOSED CATCH BASINS IN ACCORDANCE WITH THE SWMM UNTIL FINAL STABILIZATION OF ALL DISTURBED AREAS TRIBUTARY TO EACH CATCH BASIN.
18. PROVIDE CITY OF CENTRALIA WITH TESC LEAD'S CONTACT INFORMATION PRIOR TO START OF WORK. MUST HAVE ACTIVE CERTIFICATION.

APPROVED FOR CONSTRUCTION  
CITY ENGINEER DATE  
APPROVAL EXPIRES 1 YEAR FROM ABOVE DATE

BELLA ROSE LANE  
TOWNHOMES

NW1/4, NW 1/4, S06, T14N, R02W  
LEWIS CO TPN 02107002002  
3005 RUSSELL RD  
CENTRALIA, WA

## DEMOLITION AND TESC PLAN

|              |            |
|--------------|------------|
| PROJECT NO:  | BB203      |
| REVIEWED BY: | NDT        |
| DESIGNED BY: | NDT        |
| DRAWN BY:    | RCB        |
| DATE:        | 11-12-2023 |

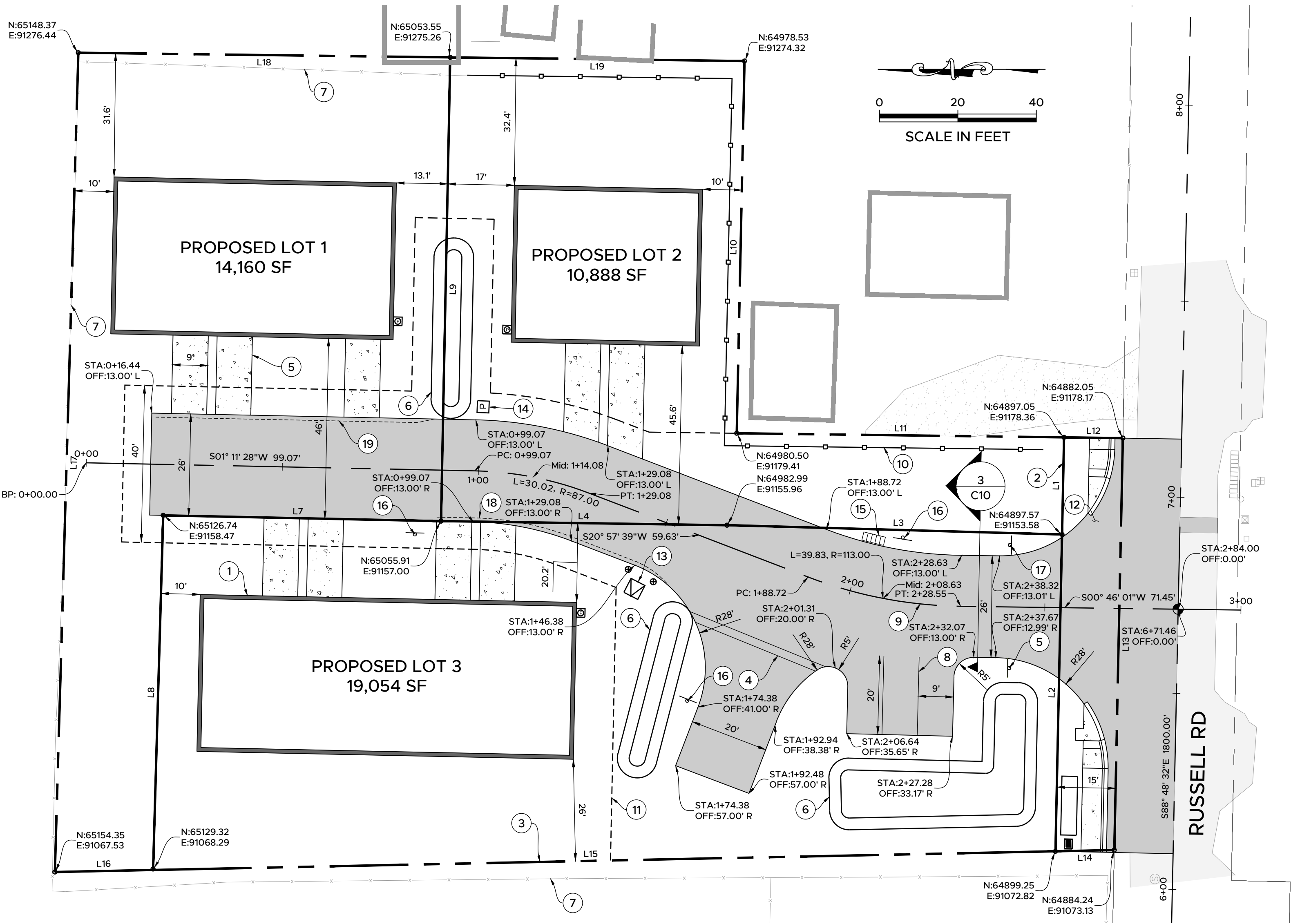
Know what's BELOW  
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C2

2 OF 13

FILE NAME:Z:\P\BB203\CAD\Sheets\BB203 Site Plan.dwg DATE/TIME:11/12/2023 8:35:40 AM



#### # KEY NOTES

1. PROPOSED BUILDING (TYP)
2. PROPOSED PROPERTY BOUNDARY AFTER 15' ROW DEDICATION AND SUBDIVISION
3. EXISTING PROPERTY BOUNDARY TO REMAIN (TYP)
4. PROPOSED 2" WIDE RED STRIPE WITH 1' WHITE WORDS SAYING "FIRE DEPARTMENT ACCESS ONLY, NO PARKING"
5. PROPOSED STOP SIGN INSTALLED BY CITY
6. PROPOSED BIORETENTION FACILITY
7. EXISTING FENCE TO REMAIN
8. PROPOSED 4" WIDE WHITE LINE, DOUBLE COATED (TYP)
9. PROPOSED ROADWAY CENTERLINE
10. PROPOSED 6' WOODEN FENCE
11. PROPOSED EASEMENT FOR COMMUNITY ACCESS AND MAINTENANCE.
12. PROPOSED FRONTAGE IMPROVEMENTS PER SHEET C7
13. PROPOSED TRANSFORMER WITH BOLLARD PROTECTION
14. PROPOSED POWER PEDESTAL
15. PROPOSED MAILBOX BANK LOCATION
16. PROPOSED "NO PARKING FIRE LANE" SIGN PER DETAILS 9/C11, MOUNTED PER DETAIL 9/C11
17. PROPOSED PRIVATE ROAD SIGN INSTALLED BY CITY
18. PROPOSED ASPHALT RAISED EDGE PER DETAIL 3/C10

#### SITE NOTES

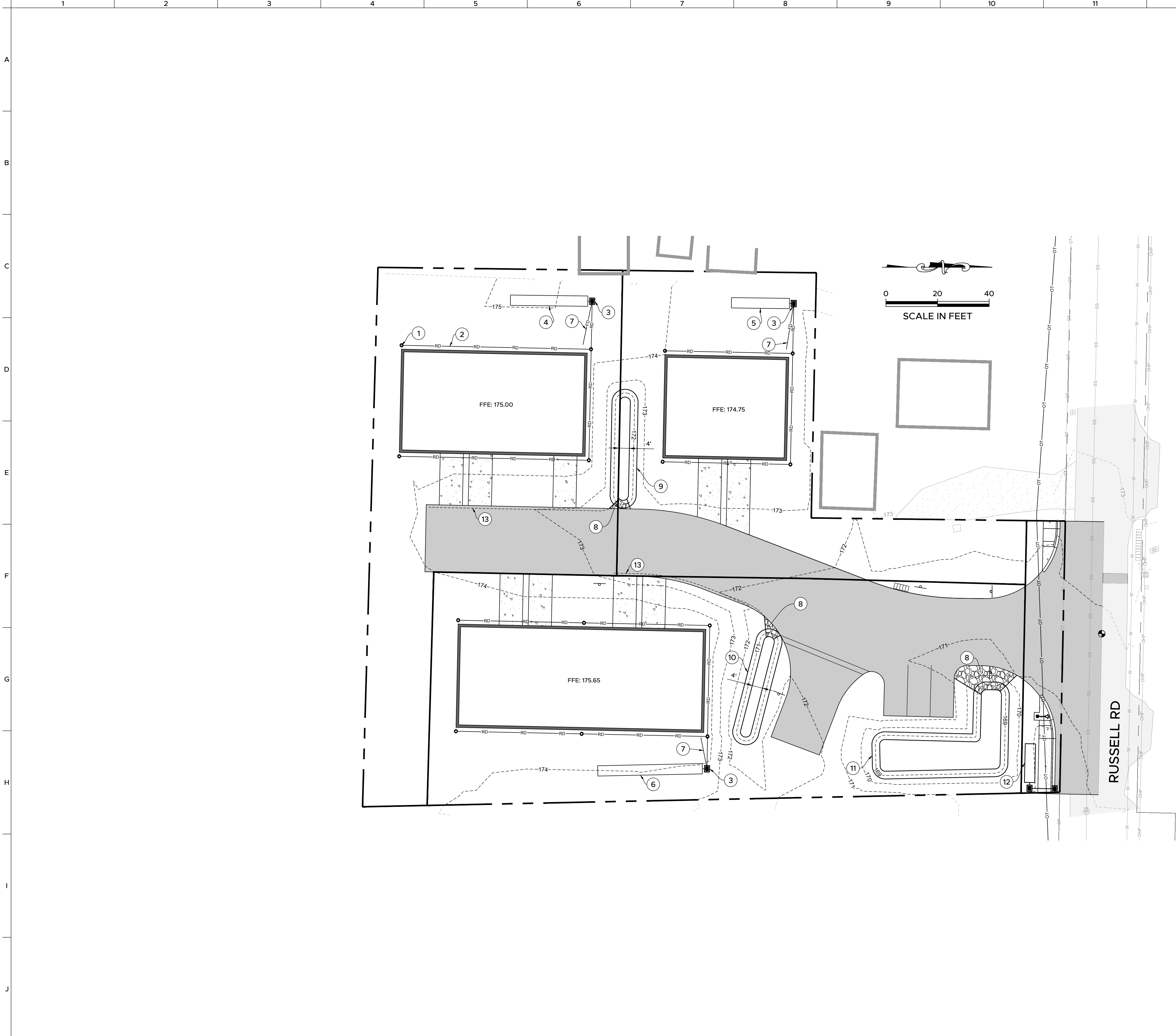
1. ROADWAY PAVEMENT SECTION SHALL BE PER DETAIL 3/C10. DETAIL 3/C10 IS FOR PAVEMENT SECTION ONLY. PROPOSED ROAD SHALL NOT BE CROWNED AND ASPHALT RAISED EDGES SHALL BE INSTALLED PER PLAN.
2. CONTRACTOR SHALL INSTALL MONUMENTATION AS REQUIRED BY THE PERMITTING JURISDICTION PER DETAIL 6/C10.
3. SEE UTILITY PLAN FOR PROPOSED UTILITY EASEMENTS.

| LINE TABLE |          |                  |
|------------|----------|------------------|
| #          | DISTANCE | BEARING          |
| L1         | 24.77    | S88° 48' 31.82"E |
| L2         | 80.80    | S88° 48' 31.82"E |
| L3         | 83.45    | S01° 36' 09.67"W |
| L4         | 77.08    | S00° 50' 07.14"W |
| L7         | 68.69    | S01° 11' 28.03"W |
| L8         | 90.46    | S88° 21' 38.58"E |
| L9         | 118.28   | N88° 51' 34.58"W |
| L10        | 94.93    | S88° 48' 31.82"E |
| L11        | 83.46    | N00° 42' 58.71"E |
| L12        | 15.00    | N00° 42' 58.71"E |
| L13        | 105.07   | S88° 48' 31.82"E |
| L14        | 15.01    | S01° 11' 18.24"E |
| L15        | 230.13   | S01° 11' 18.24"E |
| L16        | 25.03    | S01° 11' 18.24"E |
| L17        | 209.00   | N88° 21' 38.58"W |
| L18        | 94.83    | N00° 42' 58.71"E |
| L19        | 75.03    | N00° 42' 58.71"E |

APPROVED FOR CONSTRUCTION  
CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVAL EXPIRES 1 YEAR FROM ABOVE DATE



FILE NAME:Z:\P\BB203\CAD\Sheets\BB203 Grading and Drainage Plan.dwg DATE/TIME:12/19/2023 2:37:51 PM



### # KEY NOTES

1. PROPOSED ROOF DRAIN CLEANOUT PER DETAIL 6/C11
2. PROPOSED ROOF DRAIN PER DETAIL 6/C11
3. PROPOSED TYPE 1 CATCH BASIN WITH SOLID LOCKING LID PER DETAIL 8/C9
4. PROPOSED 4' X 30' INFILTRATION TRENCH PER DETAIL 3/C11
5. PROPOSED 4' X 22.5' INFILTRATION TRENCH PER DETAIL 3/C11
6. PROPOSED 4' X 40.5' INFILTRATION TRENCH PER DETAIL 3/C11
7. PROPOSED FOOTING DRAIN CONNECTION
8. PROPOSED 4" - 6" QUARRY SPALL PAD UNDERLAIN BY MIRAFI 140N OR EQUIVALENT GEOTEXTILE, 1'-DEEP, GRADED TO DIRECT STORMWATER FROM THE ROAD TO THE PROPOSED BIORETENTION FACILITIES
9. PROPOSED BIORETENTION FACILITY WITH 3:1 SIDE SLOPES PER DETAIL 5/C11  
BOTTOM AREA: 180 SF  
BOTTOM ELEVATION: 171.23
10. PROPOSED BIORETENTION FACILITY WITH 3:1 SIDE SLOPES PER DETAIL 5/C11  
BOTTOM AREA: 180 SF  
BOTTOM ELEVATION: 170.50
11. PROPOSED BIORETENTION FACILITY WITH 3:1 SIDE SLOPES PER DETAIL 5/C11  
BOTTOM AREA: 680 SF  
BOTTOM ELEVATION: 168.45
12. PROPOSED OFFSITE INFILTRATION TRENCH PER FRONTAGE IMPROVEMENT PLAN
13. PROPOSED ASPHALT WEDGE CURB

### GRADING AND DRAINAGE NOTES

1. AFTER EXCAVATION TO THE BOTTOM ELEVATION OF THE BIORETENTION FACILITIES AND INFILTRATION TRENCHES, CONTRACTOR SHALL HAVE PERFORMED, BY OR WITH OVERSIGHT FROM A GEOTECHNICAL ENGINEER, AN INFILTRATION TEST AT EACH FACILITY AND TRENCH LOCATION AS NECESSARY TO VERIFY THAT A MINIMUM DESIGN/FACTORED INFILTRATION RATE OF 26 IN/HR IS AVAILABLE AT EACH TEST LOCATION. CONTRACTOR SHALL PROVIDE RESULTS OF THE INFILTRATION TESTS TO THE PROJECT CIVIL ENGINEER PRIOR TO BACKFILL OF THE INFILTRATION FACILITIES WITH ANY MATERIAL.
2. ROOF DRAIN PIPE SHALL BE SDR 35 PVC AND SHALL BE AT A MINIMUM 2% GRADE TO DRAIN TO DISCHARGE LOCATION.
3. PIPE TRENCHING AND BACKFILL SHALL BE PER PIPE MANUFACTURER SPECIFICATIONS.
4. ALL PIPE SHALL BE CLEANED VIA FLUSHING PRIOR TO CONNECTION TO DISCHARGE LOCATION.
5. DRAIN FITTINGS SHALL BE SDR 35 PVC FITTINGS.
6. ROOF DRAIN PIPE SHALL BE LAID STRAIGHT WITH NO SAGS OR BENDS IN PIPE. BENDS SHALL BE CONSTRUCTED WITH WATERTIGHT FITTINGS. 45-DEGREE WYE CLEANOUTS SHALL BE INSTALLED UPSTREAM OF ALL BENDS AND SHALL BE PER DETAIL 6/C11.
7. CONNECT ALL DOWNSPOUTS TO ROOF DRAINS WITH SDR 35 PVC FITTINGS PER DETAIL 6/C11.
8. DO NOT CONNECT ROOF DRAIN PIPE TO FOOTING DRAIN PIPE. FOOTING DRAINS SHALL BE TIGHTLINED DIRECTLY TO THE CATCH BASIN AT THE PROPOSED INFILTRATION TRENCH FOR EACH RESPECTIVE BUILDING.
9. BOTTOM ELEVATION OF INFILTRATION TRENCHES SHALL BE SET BASED ON DETAIL 3/C11 AND DEPTH OF ROOF DRAIN AND FOOTING DRAIN INVERTS
10. PLANT BIORETENTION FACILITIES PER DETAIL 2/C11 AND APPROVED LANDSCAPE PLAN

APPROVED FOR CONSTRUCTION  
CITY ENGINEER DATE  
APPROVAL EXPIRES 1 YEAR FROM ABOVE DATE

BELLA ROSE LANE  
TOWNHOMES  
NW1/4, NW 1/4, S06, T14N, R02W  
LEWIS CO TPN 02107002002  
3005 RUSSELL RD  
CENTRALIA, WA

## DRAINAGE PLAN

|              |            |
|--------------|------------|
| PROJ. NO:    | BB203      |
| REVIEWED BY: | NDT        |
| DESIGNED BY: | NDT        |
| DRAWN BY:    | RCB        |
| DATE:        | 12-19-2023 |

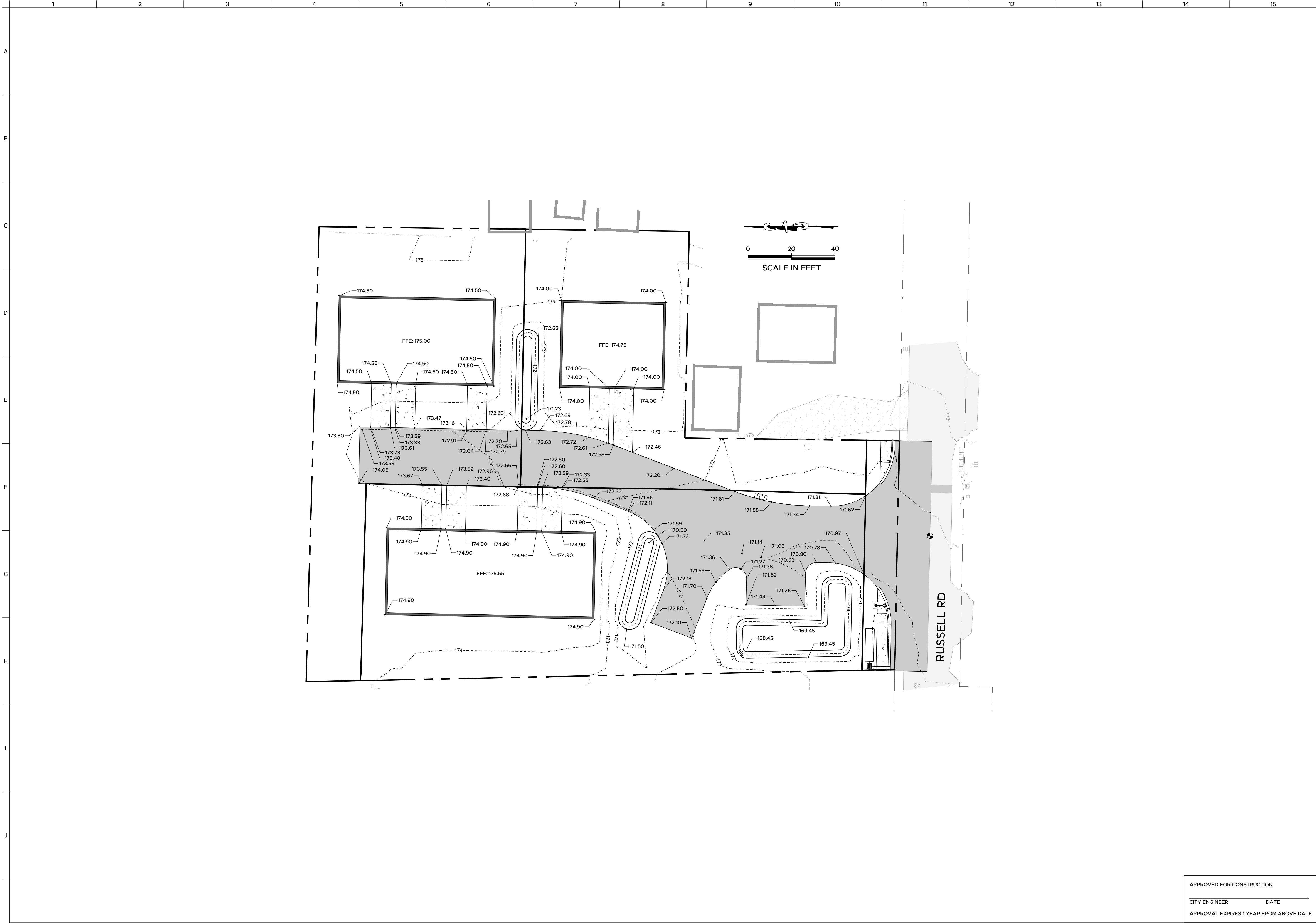
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C4

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CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL EXPIRES 1 YEAR FROM ABOVE DATE



Know what's BELOW  
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|              |            |
|--------------|------------|
| PROJECT NO:  | BB203      |
| REVIEWED BY: | NDT        |
| DESIGNED BY: | NDT        |
| DRAWN BY:    | RCB        |
| DATE:        | 12-19-2023 |

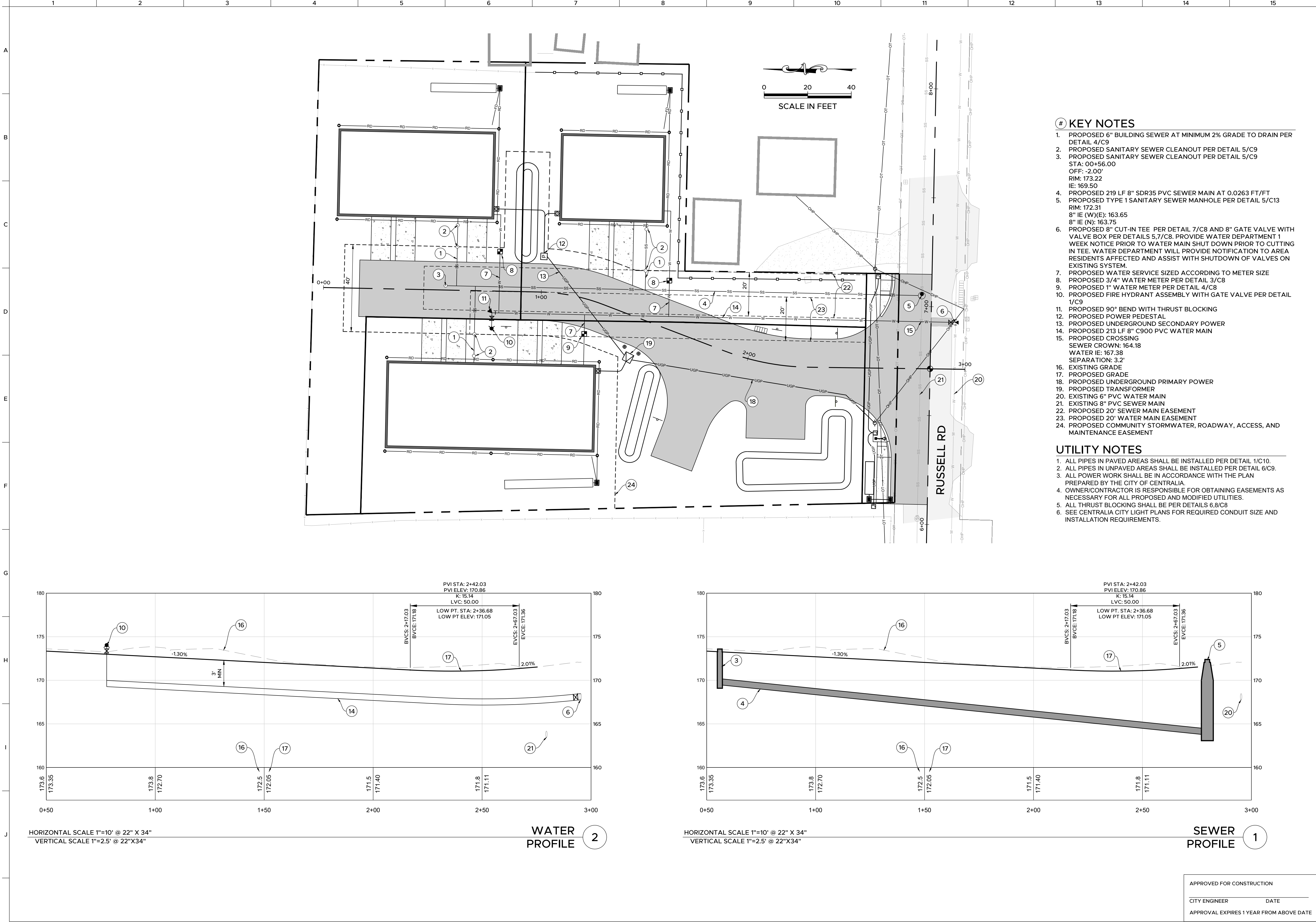
## GRADING PLAN

BELLA ROSE LANE  
TOWNHOMES

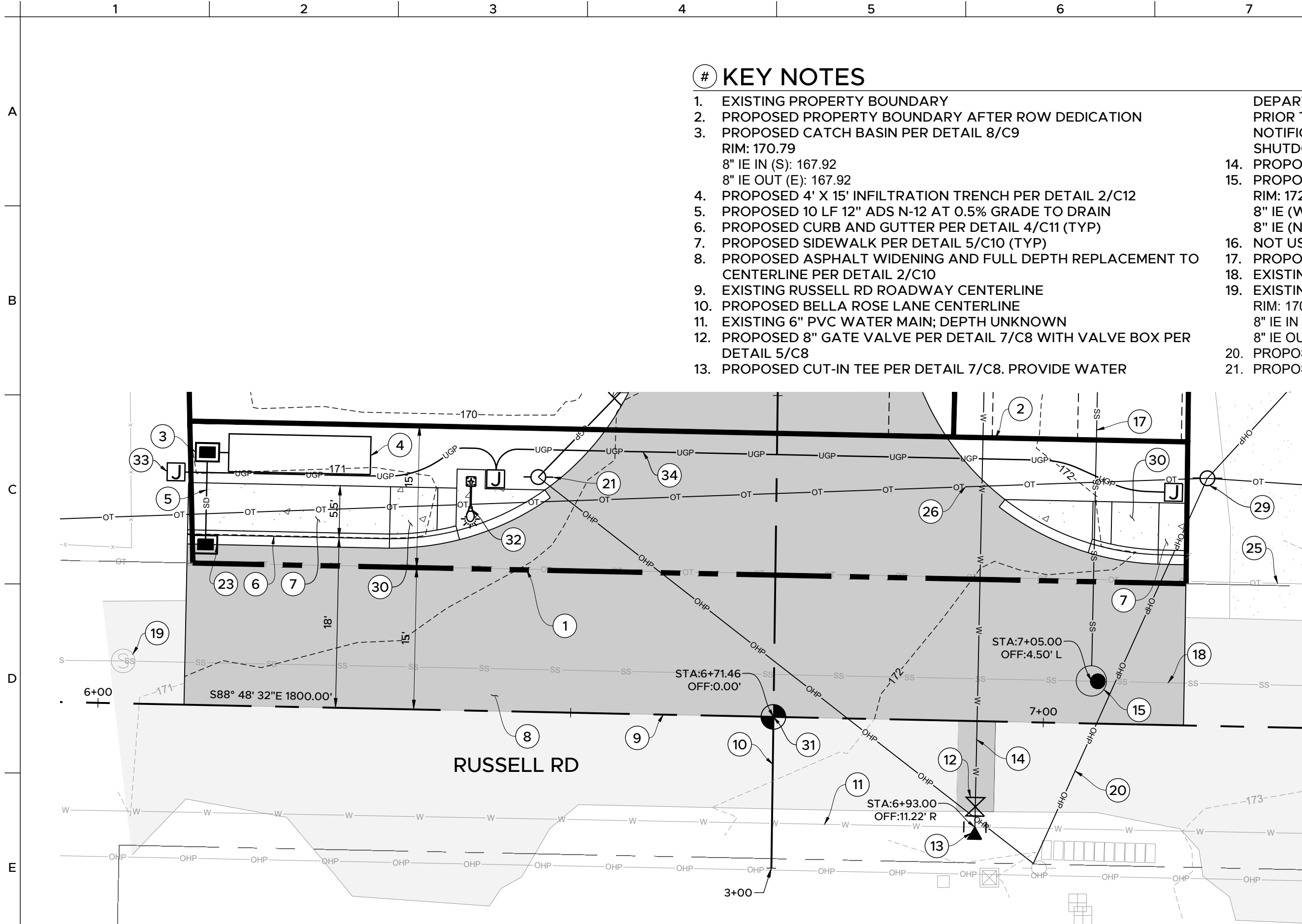
NW1/4, NW 1/4, S06, T14N, R02W  
LEWIS CO TPN 021107002002  
3005 RUSSELL RD  
CENTRALIA, WA



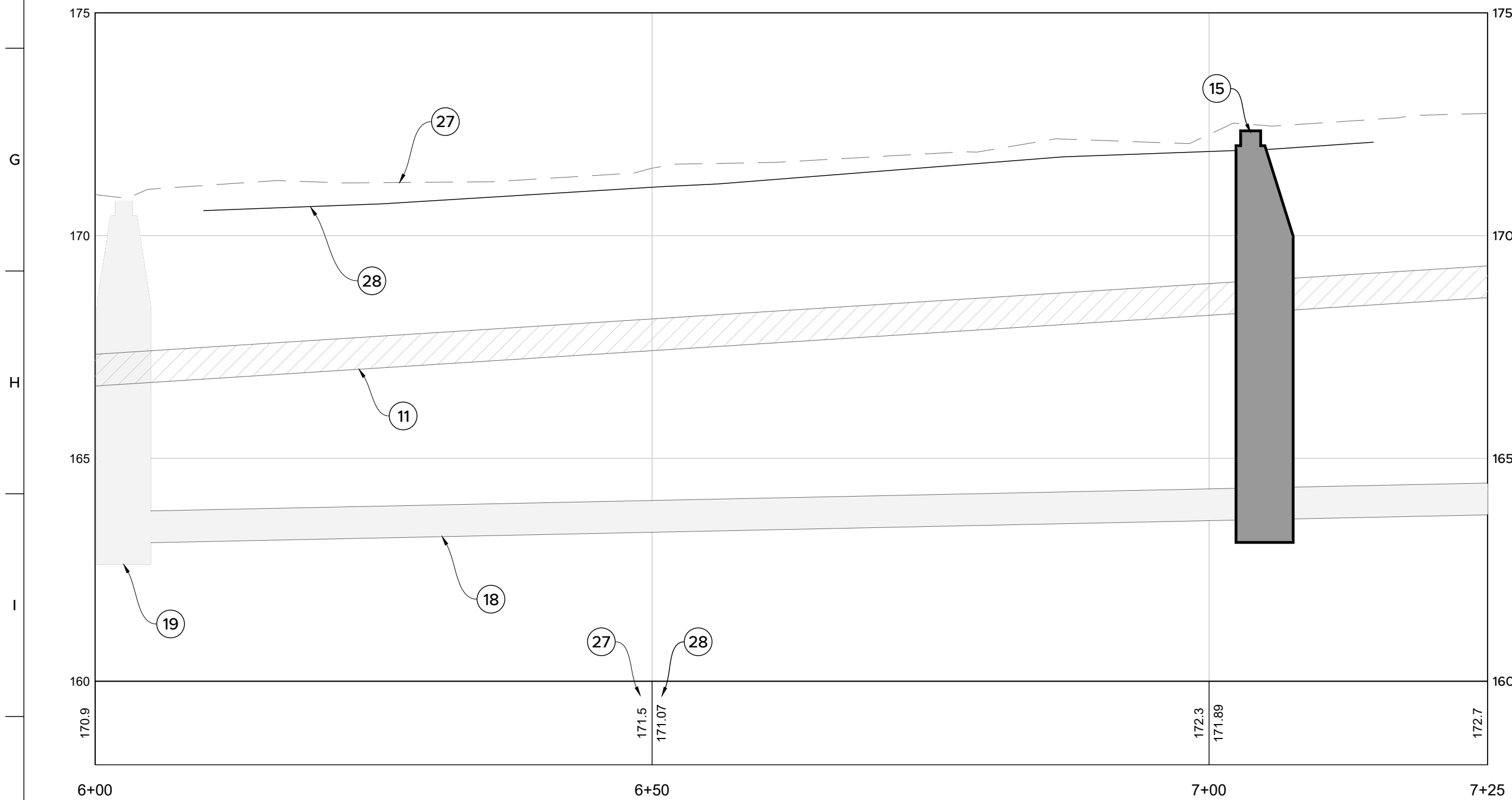
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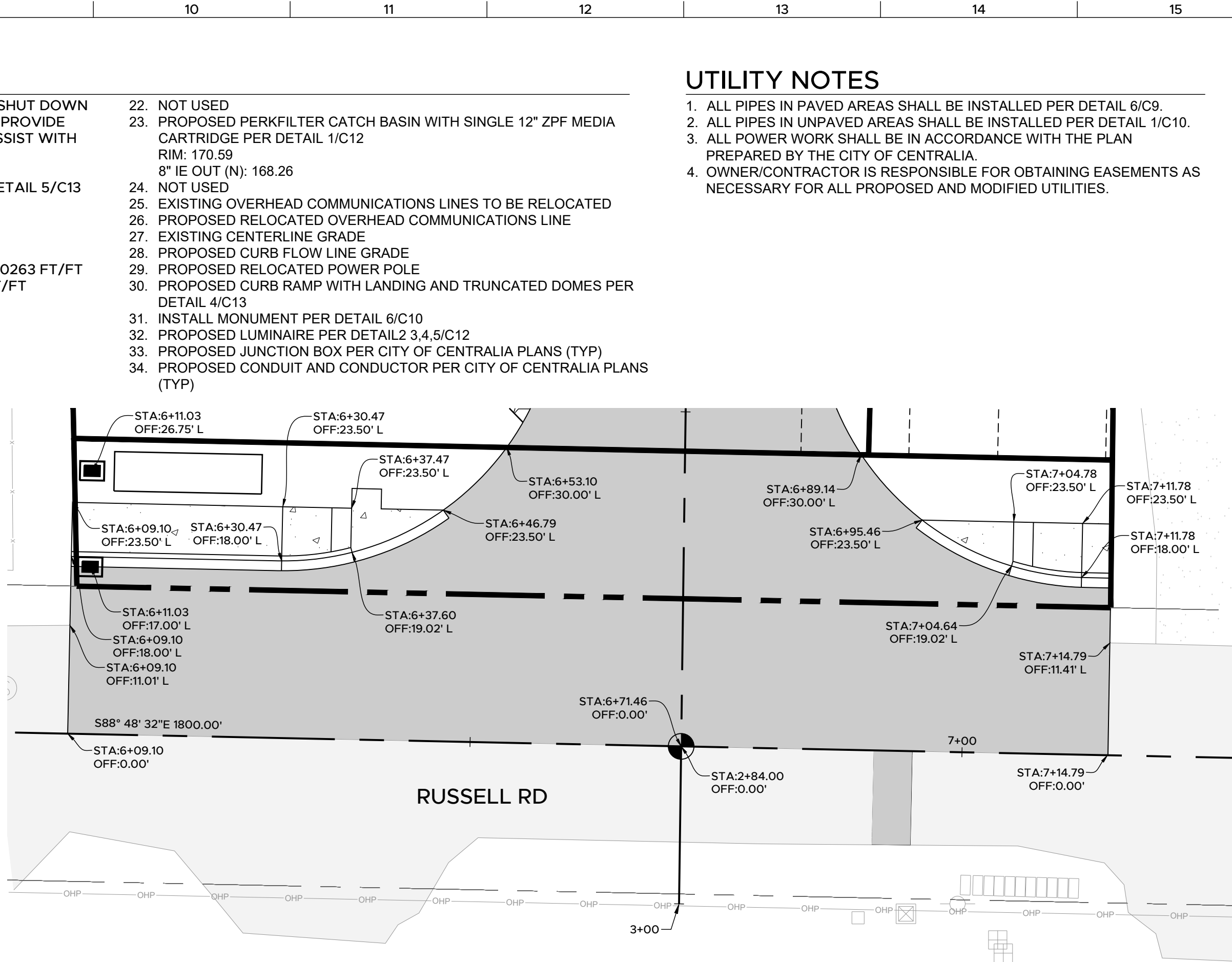
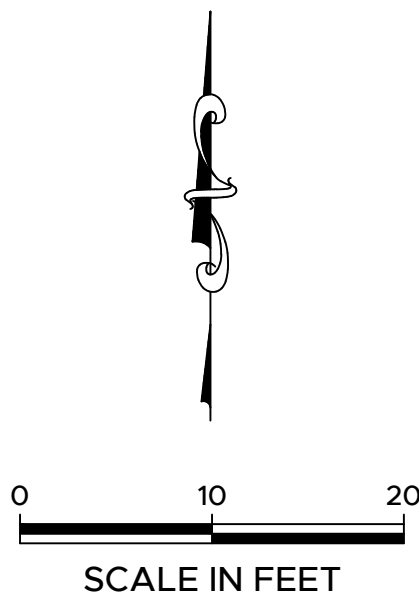
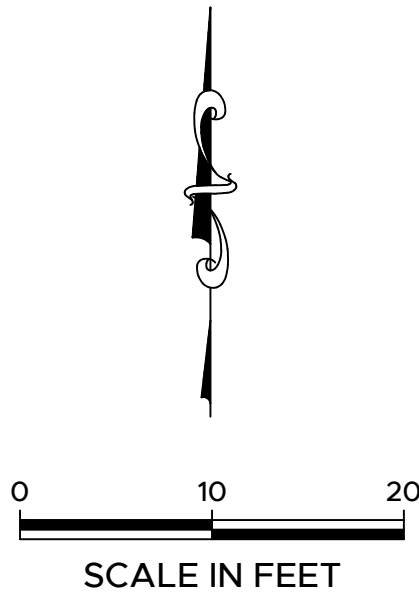


FRONTAGE PLAN 4

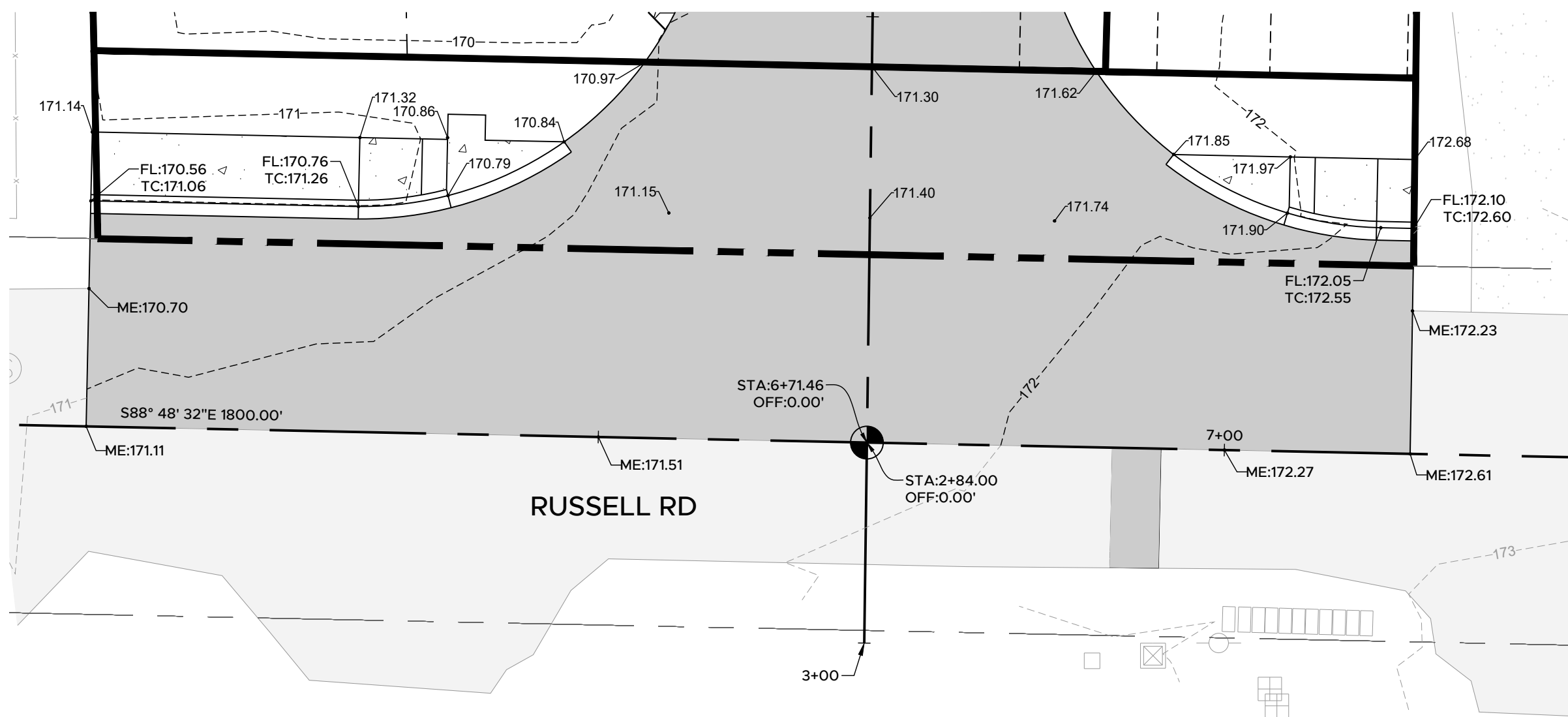


FRONTAGE PROFILE 3

HORIZONTAL SCALE 1"=10' @ 22" X 34"  
VERTICAL SCALE 1"=2.5' @ 22"X34"



FRONTAGE HORIZONTAL CONTROL DETAIL 2



FRONTAGE GRADING DETAIL 1

APPROVED FOR CONSTRUCTION  
CITY ENGINEER DATE  
APPROVAL EXPIRES 1 YEAR FROM ABOVE DATE

### # KEY NOTES

- EXISTING PROPERTY BOUNDARY
- PROPOSED PROPERTY BOUNDARY AFTER ROW DEDICATION
- PROPOSED CATCH BASIN PER DETAIL 8/C9  
RIM: 170.79  
8" IE IN (S): 167.92  
8" IE OUT (E): 167.92
- PROPOSED 4' X 15' INFILTRATION TRENCH PER DETAIL 2/C12
- PROPOSED 10 LF 12" ADS N-12 AT 0.5% GRADE TO DRAIN
- PROPOSED CURB AND GUTTER PER DETAIL 4/C11 (TYP)
- PROPOSED SIDEWALK PER DETAIL 5/C10 (TYP)
- PROPOSED ASPHALT WIDENING AND FULL DEPTH REPLACEMENT TO CENTERLINE PER DETAIL 2/C10
- EXISTING RUSSELL RD ROADWAY CENTERLINE
- PROPOSED BELLA ROSE LANE CENTERLINE
- EXISTING 6" PVC WATER MAIN; DEPTH UNKNOWN
- PROPOSED 8" GATE VALVE PER DETAIL 7/C8 WITH VALVE BOX PER DETAIL 5/C8
- PROPOSED CUT-IN TEE PER DETAIL 7/C8. PROVIDE WATER
- DEPARTMENT 1 WEEK NOTICE PRIOR TO WATER MAIN SHUT DOWN PRIOR TO CUTTING IN TEE. WATER DEPARTMENT WILL PROVIDE NOTIFICATION TO AREA RESIDENTS AFFECTED AND ASSIST WITH SHUTDOWN OF VALVES ON EXISTING SYSTEM.
- PROPOSED 213 LF 8" C900 PVC WATER MAIN
- PROPOSED TYPE 1 SANITARY SEWER MANHOLE PER DETAIL 5/C13  
RIM: 172.31  
8" IE (W)(E): 163.65  
8" IE (N): 163.75
- NOT USED
- PROPOSED 8" SDR35 PVC SANITARY SEWER MAIN @ 0.0263 FT/FT
- EXISTING 8" PVC SANITARY SEWER MAIN AT 0.0052 FT/FT
- EXISTING SANITARY SEWER MANHOLE  
RIM: 170.78  
8" IE IN (E): 163.12  
8" IE OUT (W): 163.04
- PROPOSED RELOCATED OVERHEAD POWER LINE
- PROPOSED POWER POLE

- NOT USED
- PROPOSED PERKFILTER CATCH BASIN WITH SINGLE 12" ZPF MEDIA CARTRIDGE PER DETAIL 1/C12  
RIM: 170.59  
8" IE OUT (N): 168.26
- NOT USED
- EXISTING OVERHEAD COMMUNICATIONS LINES TO BE RELOCATED
- PROPOSED RELOCATED OVERHEAD COMMUNICATIONS LINE
- EXISTING CENTERLINE GRADE
- PROPOSED CURB FLOW LINE GRADE
- PROPOSED RELOCATED POWER POLE
- PROPOSED CURB RAMP WITH LANDING AND TRUNCATED DOMES PER DETAIL 4/C13
- INSTALL MONUMENT PER DETAIL 6/C10
- PROPOSED LUMINAIRE PER DETAIL 2 3,4,5/C12
- PROPOSED JUNCTION BOX PER CITY OF CENTRALIA PLANS (TYP)
- PROPOSED CONDUIT AND CONDUCTOR PER CITY OF CENTRALIA PLANS (TYP)

### UTILITY NOTES

- ALL PIPES IN PAVED AREAS SHALL BE INSTALLED PER DETAIL 6/C9.
- ALL PIPES IN UNPAVED AREAS SHALL BE INSTALLED PER DETAIL 1/C10.
- ALL POWER WORK SHALL BE IN ACCORDANCE WITH THE PLAN PREPARED BY THE CITY OF CENTRALIA.
- OWNER/CONTRACTOR IS RESPONSIBLE FOR OBTAINING EASEMENTS AS NECESSARY FOR ALL PROPOSED AND MODIFIED UTILITIES.



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### THRUST LOADS

| THRUST AT FITTINGS IN POUNDS AT 200 POUNDS PER SQUARE INCH OF WATER PRESSURE |          |          |               |               |                 |
|--|----------|----------|---------------|---------------|-----------------|
| PIPE DIAMETER  | 90° BEND | 45° BEND | 12"-1/2" BEND | 11"-1/4" BEND | DEAD END OR TEE |
| 4"   | 3,600    | 2,000    | 1,000         | 500           | 2,600           |
| 6"   | 8,000    | 4,400    | 2,300         | 1,200         | 5,700           |
| 8"   | 14,300   | 7,700    | 4,000         | 2,000         | 10,100          |
| 10"  | 22,300   | 12,100   | 6,200         | 3,100         | 15,800          |
| 12"  | 32,000   | 17,400   | 8,900         | 4,500         | 22,700          |
| 14"  | 43,600   | 23,600   | 12,100        | 6,100         | 30,800          |
| 16"  | 57,000   | 30,800   | 15,700        | 7,900         | 40,300          |

#### NOTES:

- BLOCKING SHALL BE CEMENT CONCRETE CLASS "B" POURED IN PLACE AGAINST UNDISTURBED EARTH. FITTING SHALL BE ISOLATED FROM CONCRETE THRUST BLOCK WITH PLASTIC OR SIMILAR MATERIAL.
- TO DETERMINE THE BEARING AREA OF THE THRUST BLOCK IN SQUARE FEET (S.F.):  
EXAMPLE: 12" - 90 DEG. BEND IN SAND AND GRAVEL  
32,000 LBS : 3000 LB/S.F. = 10.7 S.F. OF AREA
- AREAS MUST BE ADJUSTED FOR OTHER PIPE SIZE, PRESSURES AND SOIL CONDITIONS.
- BLOCKING SHALL BE ADEQUATE TO WITHSTAND FULL TEST PRESSURE AS WELL AS TO CONTINUOUSLY WITHSTAND OPERATING PRESSURE UNDER ALL CONDITIONS OF SERVICE.
- BLOCKING FOR PIPES LESS THAN 4" DIA. WILL USE 4" PIPE VALUES.

#### SAFE SOIL BEARING LOADS

FOR HORIZONTAL THRUSTS WHEN THE DEPTH OF COVER OVER THE PIPE EXCEEDS 3 FEET

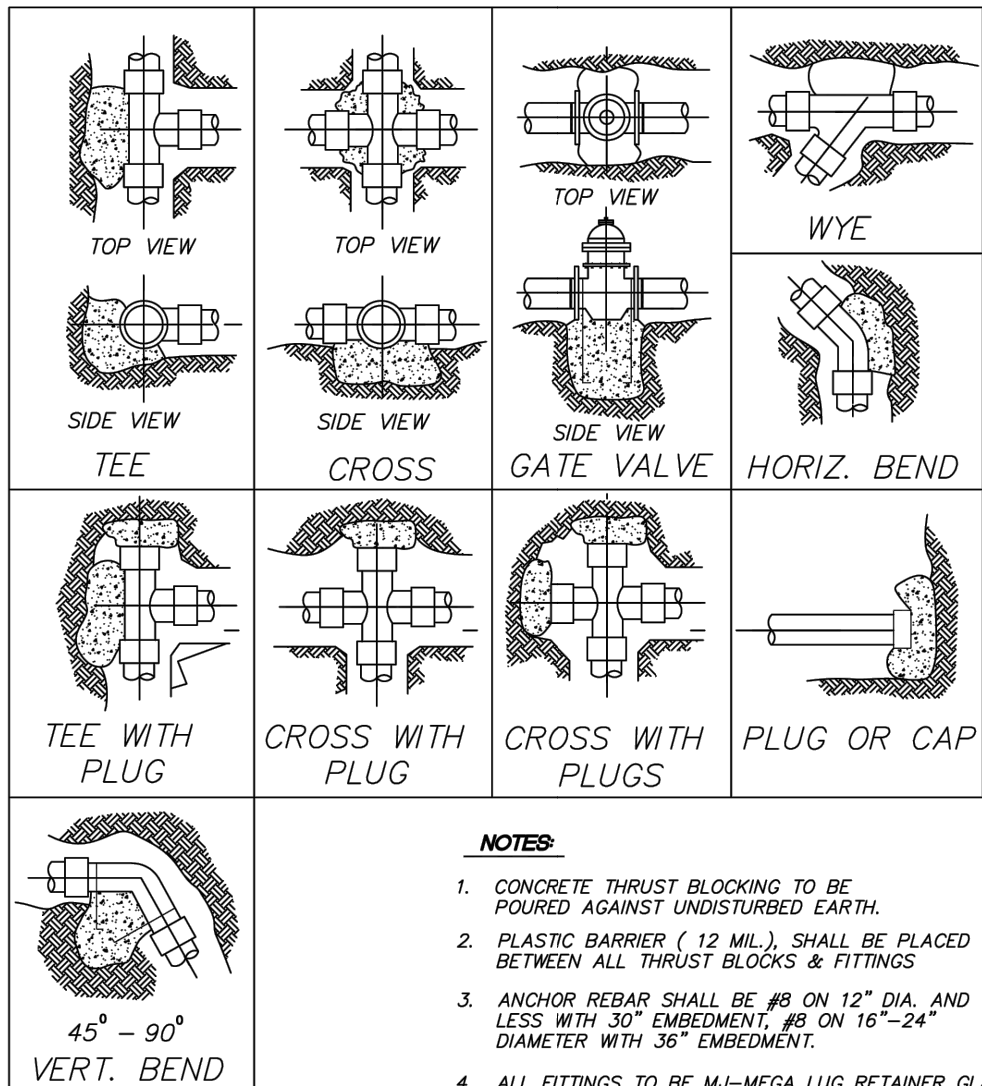
| SOIL                             | POUNDS PER SQUARE FOOT |
|----------------------------------|------------------------|
| MUCK/PEAT                        | 0                      |
| SOFT CLAY                        | 1,000                  |
| SAND                             | 2,000                  |
| SAND & GRAVEL                    | 3,000                  |
| SAND & GRAVEL CEMENTED WITH CLAY | 4,000                  |
| HARD SHALE                       | 10,000                 |

|                        |              |                   |               |
|------------------------|--------------|-------------------|---------------|
| APPROVED BY            | REVISED DATE | CITY OF CENTRALIA | STD. PLAN NO. |
| CITY ENGINEER          | 06/2017      | THRUST LOADS      | 2-18          |
| 2022 Standard Drawings |              |                   |               |

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DETAIL

8



#### NOTES:

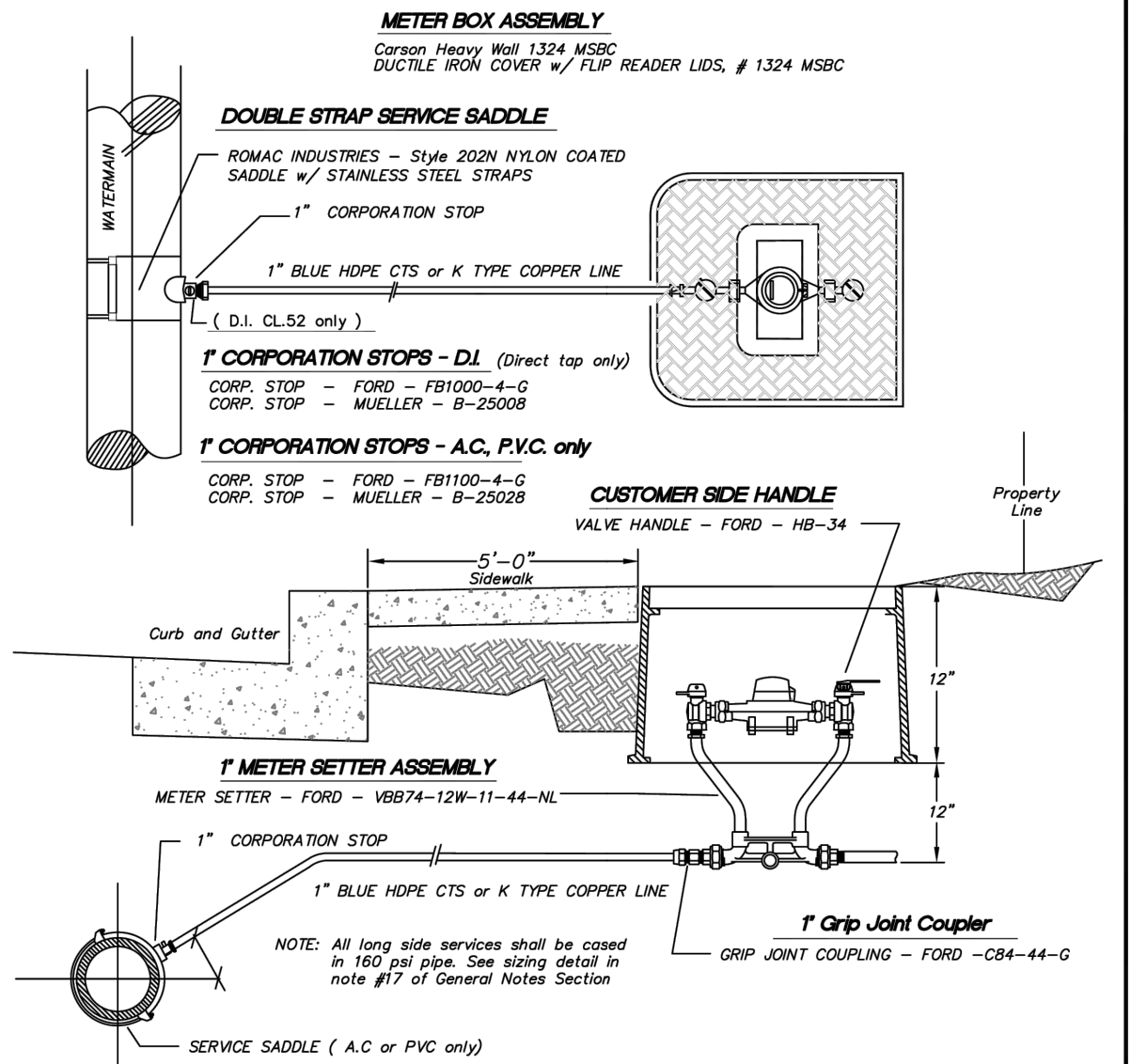
- CONCRETE THRUST BLOCKING TO BE POURED AGAINST UNDISTURBED EARTH.
- PLASTIC BARRIER (12 MIL.) SHALL BE PLACED BETWEEN ALL THRUST BLOCKS & FITTINGS.
- ANCHOR REBAR SHALL BE #8 ON 12" DIA. AND LESS WITH 30" EMBEDMENT, #8 ON 16"-24" DIAMETER WITH 36" EMBEDMENT.
- ALL FITTINGS TO BE MJ-MEGA LUG RETAINER GLANDS
- PLUGS TO BE MINIMUM OF 5' FROM TEE, WYE OR CROSS ON VALVE
- ALL MECHANICAL BOLTS TO FITTINGS SHALL HAVE ANTI-SEIZE COMPOUND APPLIED TO THE BOLTS
- NO CONCRETE WILL COME IN CONTACT WITH ANY MECHANICAL JOINTS

|                        |              |                          |               |
|------------------------|--------------|--------------------------|---------------|
| APPROVED BY            | REVISED DATE | CITY OF CENTRALIA        | STD. PLAN NO. |
| CITY ENGINEER          | 06/2017      | STANDARD BLOCKING DETAIL | 2-10          |
| 2022 Standard Drawings |              |                          |               |

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DETAIL

6



#### NOTES:

- ALL SERVICE SADDLES SHALL HAVE RUBBER GASKET, I.P. THREADS AND NYLON COATED.
- IN APPROVED SOIL SENSITIVE AREAS HDPE MAINS AND SERVICE LINES ARE REQUIRED. A TONING (tracer) WIRE, UL LISTED, TYPE UF, SOLID CORE, 12 GAUGE INSULATED COPPER IS REQUIRED. AN IDEAL TWISTER DB PLUS WIRE CONNECTOR, MODEL 60 IS REQUIRED TO CONNECT TRACER WIRES TOGETHER (i.e. trace wire extension from spool to spool, service to main, main to main at intersections, and hydrant to main installations). Blue HDPE CTS sch. 200 psi shall be substituted for type K copper in service lines.
- DUCTILE IRON MAINS SHALL BE DIRECT TAPPED ONLY.
- ASBESTOS CEMENT (A.C.) AND PVC MAINS SHALL REQUIRE A SADDLE FOR TAPPING
- STAINLESS STEEL PIPE STIFFENERS ARE REQUIRED WHERE HDPE PIPE IS USED

|                        |              |                                  |               |
|------------------------|--------------|----------------------------------|---------------|
| APPROVED BY            | REVISED DATE | CITY OF CENTRALIA                | STD. PLAN NO. |
| CITY ENGINEER          | 02/2020      | 1" SINGLE METER SERVICE STANDARD | 2-03          |
| 2022 Standard Drawings |              |                                  |               |

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DETAIL

4

#### WATER MAIN INSTALLATION GENERAL NOTES

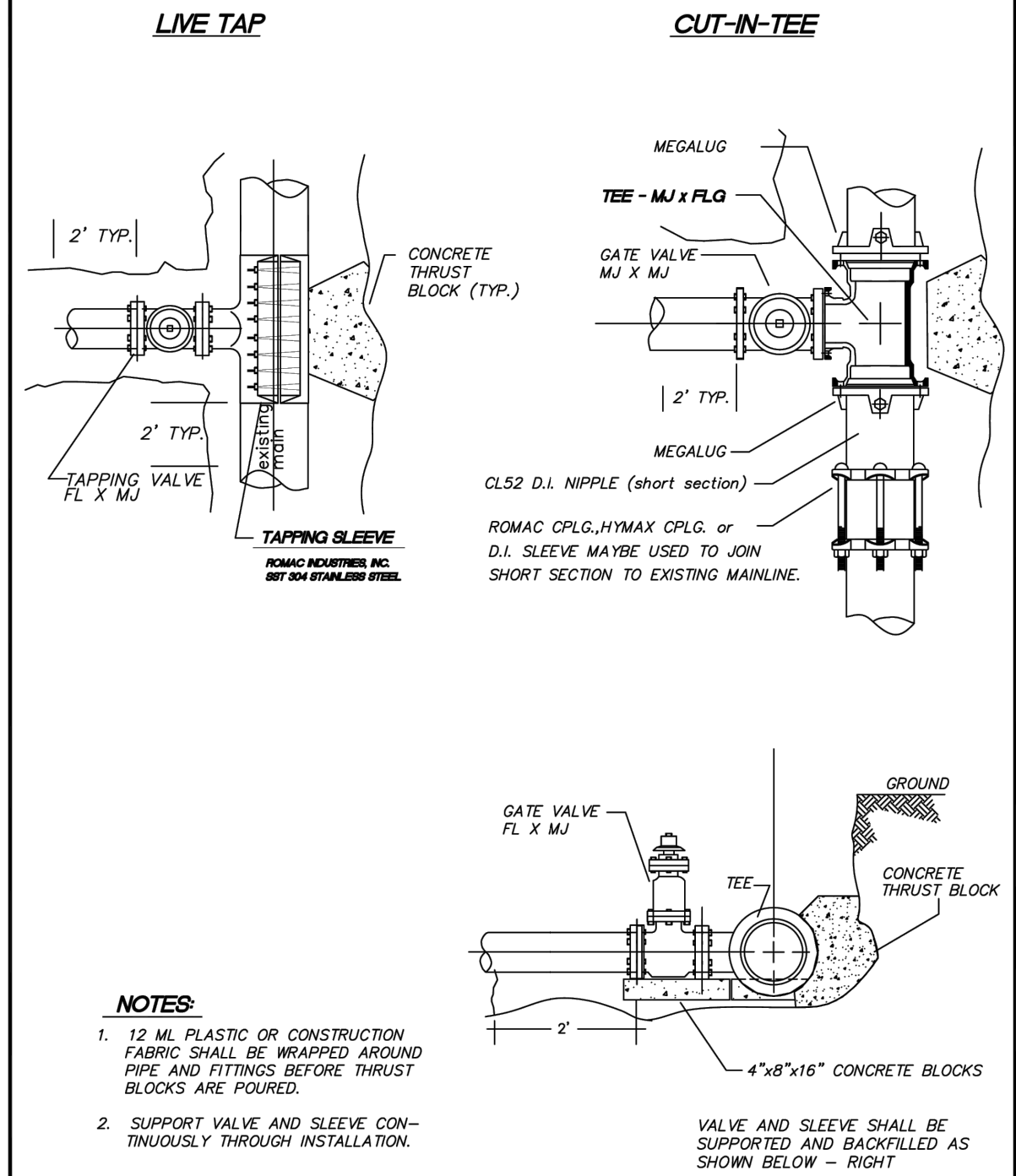
- Where the water line crosses a sanitary sewer, the water line shall be above the sewer line whenever possible, with a separation of at least 18 inches between the invert of the water line and the crown of the sewer pipe. If this criteria can not be achieved the sewer pipe shall be cased within ductile iron pipe for a distance of 10 feet either side of the water line.
- All "LONG SIDE SERVICES" shall be cased in 160 psi pipe.
- Water services noted as "long side" shall require a schedule 160 PVC pipe as a casing to cross the R.O.W.  
3/4" service - casing dia. 1.5" 1.5" service - casing dia. 3"  
1" service - casing dia. 2" 2" service - casing dia. 3"
- ALL ASBESTOS PIPE WORKMANSHIP MUST FOLLOW THE GUIDE LINES SET FORTH BY THESE AGENCIES: Southwest Washington Air Pollution Control Authority (SWAPCA) and Labor and Industries (L&I).
- Call the Underground Location Center at 1-800-424-5555 or 811 at least 48 hours before any excavation.

|                        |              |                                       |        |
|------------------------|--------------|---------------------------------------|--------|
| APPROVED BY            | REVISED DATE | CITY OF CENTRALIA                     |        |
| CITY ENGINEER          | 02/2020      | WATER MAIN INSTALLATION GENERAL NOTES | 2 OF 2 |
| 2022 Standard Drawings |              |                                       |        |

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DETAIL

2



#### NOTES:

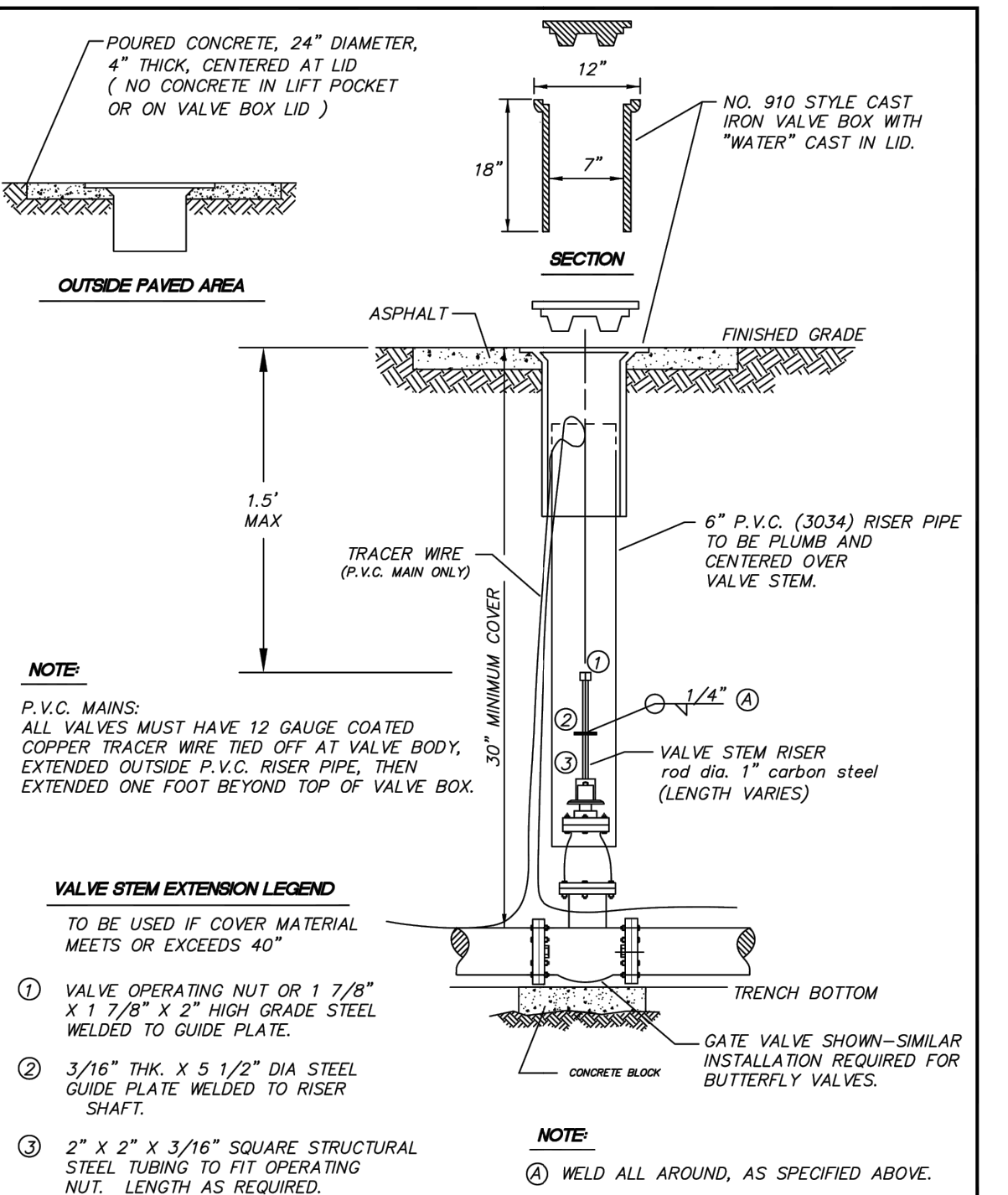
- 12 MIL PLASTIC OR CONSTRUCTION FABRIC SHALL BE WRAPPED AROUND PIPE AND FITTINGS BEFORE THRUST BLOCKS ARE POURED.
- SUPPORT VALVE AND SLEEVE CONTINUOUSLY THROUGH INSTALLATION.

|                        |              |                                |               |
|------------------------|--------------|--------------------------------|---------------|
| APPROVED BY            | REVISED DATE | CITY OF CENTRALIA              | STD. PLAN NO. |
| CITY ENGINEER          | 06/2017      | LIVE TAP & CUT-IN-TEE STANDARD | 2-11          |
| 2022 Standard Drawings |              |                                |               |

NOT TO SCALE

DETAIL

7



#### NOTE:

P.V.C. MAINS:  
ALL VALVES MUST HAVE 12 GAUGE COATED COPPER TRACER WIRE TIED OFF AT VALVE BODY, EXTENDED OUTSIDE P.V.C. RISER PIPE, THEN EXTENDED ONE FOOT BEYOND TOP OF VALVE BOX.

#### VALVE STEM EXTENSION LEGEND

TO BE USED IF COVER MATERIAL MEETS OR EXCEEDS 40"

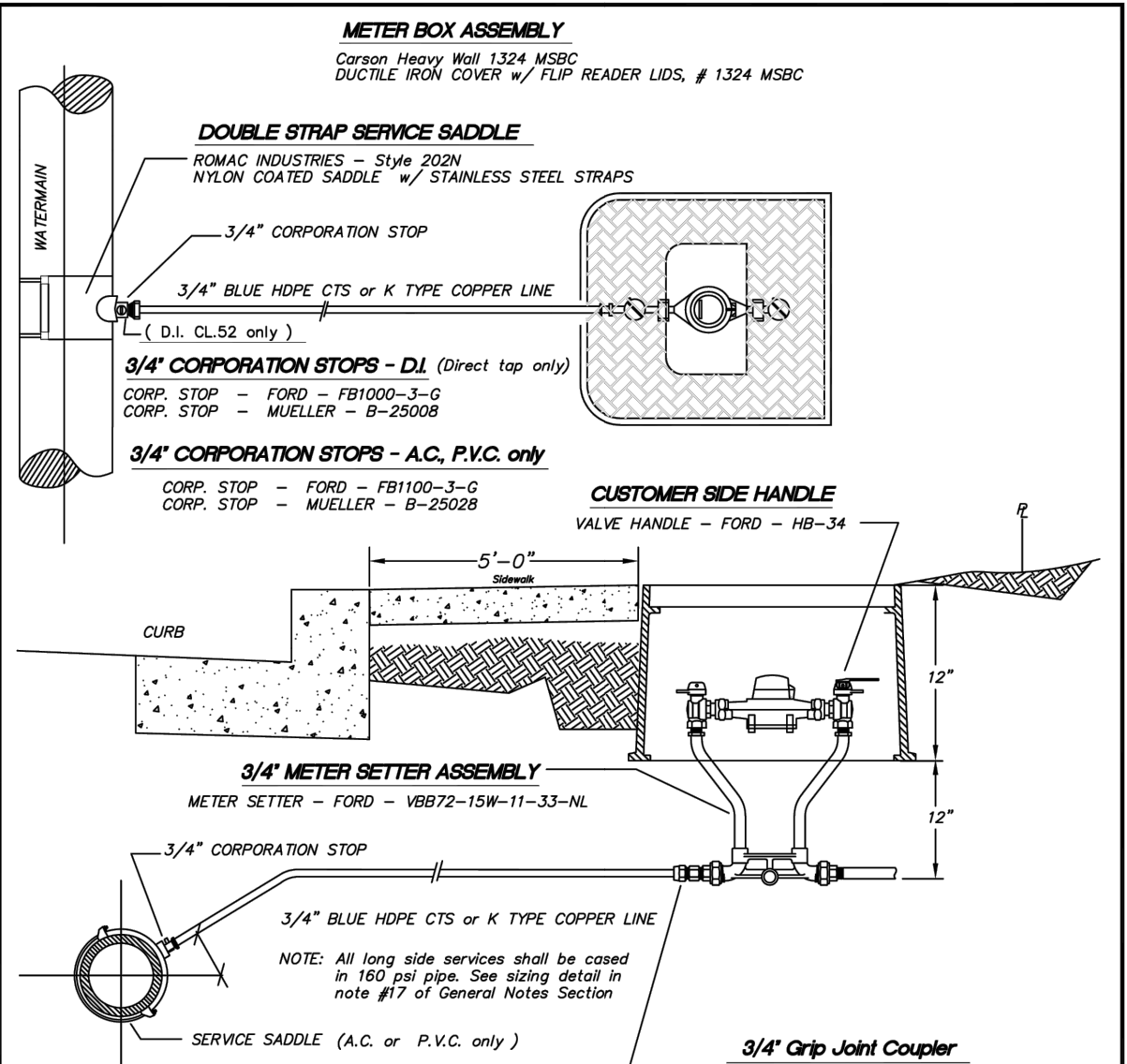
- VALVE OPERATING NUT OR 1 7/8" X 1 7/8" X 2" HIGH GRADE STEEL WELDED TO GUIDE PLATE.
- 3/16" THK. X 5 1/2" DIA STEEL GUIDE PLATE WELDED TO RISER SHAFT.
- 2" X 2" X 3/16" SQUARE STRUCTURAL STEEL TUBING TO FIT OPERATING NUT. LENGTH AS REQUIRED.

|                        |              |                    |               |
|------------------------|--------------|--------------------|---------------|
| APPROVED BY            | REVISED DATE | CITY OF CENTRALIA  | STD. PLAN NO. |
| CITY ENGINEER          | 02/2020      | STANDARD VALVE BOX | 2-09          |
| 2022 Standard Drawings |              |                    |               |

NOT TO SCALE

DETAIL

5



#### NOTES:

- ALL SERVICE SADDLES SHALL HAVE RUBBER GASKET, I.P. THREADS AND NYLON COATED.
- IN APPROVED SOIL SENSITIVE AREAS HDPE MAINS AND SERVICE LINES ARE REQUIRED. A TONING (tracer) WIRE, UL LISTED, TYPE UF, SOLID CORE, 12 GAUGE INSULATED COPPER IS REQUIRED. AN IDEAL TWISTER DB PLUS WIRE CONNECTOR, MODEL 60 IS REQUIRED TO CONNECT TRACER WIRES TOGETHER (i.e. tracer wire extension from spool to spool, service to main, main to main at intersections, and hydrant to main installations). Blue HDPE CTS shall be substituted for type K copper in service lines.
- DUCTILE IRON MAINS SHALL BE DIRECT TAPPED ONLY.
- ASBESTOS CEMENT (A.C.) AND PVC MAINS SHALL REQUIRE A SADDLE FOR TAPPING
- STAINLESS STEEL PIPE STIFFENERS ARE REQUIRED WHERE HDPE PIPE IS USED

|                        |              |                                    |               |
|------------------------|--------------|------------------------------------|---------------|
| APPROVED BY            | REVISED DATE | CITY OF CENTRALIA                  | STD. PLAN NO. |
| CITY ENGINEER          | 02/2020      | 3/4" SINGLE METER SERVICE STANDARD | 2-02          |
| 2022 Standard Drawings |              |                                    |               |

NOT TO SCALE

DETAIL

3

#### WATER MAIN INSTALLATION GENERAL NOTES

- All workmanship and material shall be in accordance with the City of Centralia standards and the most current copy of the State of Washington Specifications for Road, Bridge and Municipal Construction, Washington Department of Health regulations and American Water Works Association standards.
- All water lines 12" and larger shall be made of ductile iron, thickness class 52 and a rated working pressure of 350 PSI conforming to AWWA C151. All pipe shall be cement mortar lined per AWWA C104 with push on joints conforming to AWWA C111. Water lines under 12" diameter may be P.V.C. C-900 DR14.
- Fittings shall be class 250 cement mortar lined ductile iron with mechanical joint or ANSI flanges. All bolted fittings shall be dressed with Anita-Seize product for protection. All ductile iron fitting connection(s) shall be completed by the use of mega-lugs. When connecting to an existing inline water main, all connections will be made using a Ductile Iron (DI) sleeve, with mega-lugs, or Romac Alpha coupling except when connecting to a A.C. main where a Hymac coupler (or equal) will be used.
- Gate valves shall be resilient wedge, NRS (Non-Rising Stem) with O-ring seats. Valve ends shall be mechanical joint or ANSI flanges. Valves shall conform to AWWA (latest) 500 std. Valves shall be Mueller, M & H, Clow, Waterous, Kennedy or American AKC. Existing valves shall be operated by City employees only.
- All NIBCO Gate Valves must have brass handles.
- A valve stem riser shall be installed on all valves where the depth from finish grade to the top of the valve exceeds 1.5'.
- Fire hydrants shall be 3-part M & H Reliant Style 129, Mueller Centurion, 5 1/4" with steamer port thread of 498. The distance between operating nut and break away flange shall be 32 inches in vertical measurement. All hydrant shoes shall be epoxy coated. Each hydrant shall be provided with a Storz coupler on the steamer port. All hydrants shall be bagged until system is approved.
- Brass wedges shall be installed in all ductile iron joints for continuity, two (2) per section of pipe. P.V.C. pipe, C.T.S. HDPE sch. 200 psi pipe shall be installed with a toning (tracer) wire. Toning wire shall be UL listed, type UF, solid core, 12 gauge insulated copper and shall be taped to the top of the pipe to prevent movement during backfilling. The wire shall be laid loosely enough to prevent stretching and damage. The wire shall be brought up and tied off at valve body or meter setting.
- The contractor shall maintain a min. cover of 30 inches and a max. cover of 36 inches over the pipe at all times.
- All water mains shall be staked for grade and alignment by the design engineer or a licensed land surveyor. All vertical control shall be established using the 1988 USGS Datum.
- All new water mains shall be filled and chlorinated for a minimum of 24 hrs prior to flushing. Contractor shall coordinate with the City to have lines filled and flushed.
- Bacteria sampling of potable water lines shall be performed by the City prior to hydrostatic pressure testing. Contractor shall provide an approved sampling bottle from the Lewis County Health Dept., 360 NW North St, Chehalis, WA 98532.
- All pipe and appurtenances shall be hydrostatically tested at 225 PSI (min.) for 15 minutes and witnessed by the City. Fire line testing behind the metering vault shall be coordinated with Riverside Fire authority.
- Service lines of 3/4" and 1" shall be type "K" copper or copper tubing size (C.T.S.) Blue HDPE Polyethylene, 200 psi pipe. Galvanized fittings shall not be used in construction of service lines.  
Note: In soil sensitive areas, service lines may be constructed of HDPE-c200psi. Toning (tracer) wire is required when using HDPE pipe water mains/services. Services longer than 1" may be Blue HDPE or brass.
- For any water main tap to existing City mains where the contractor encounters a coupling or existing assemblies, the contractor shall provide a minimum of 18" of clearance from coupling or assemblies to edge of tapping sleeve and the tapping process shall be witnessed by the City with 2 days prior notice.

|                        |              |                                       |        |
|------------------------|--------------|---------------------------------------|--------|
| APPROVED BY            | REVISED DATE | CITY OF CENTRALIA                     |        |
| CITY ENGINEER          | 02/2020      | WATER MAIN INSTALLATION GENERAL NOTES | 1 OF 2 |
| 2022 Standard Drawings |              |                                       |        |

NOT TO SCALE

DETAIL

1

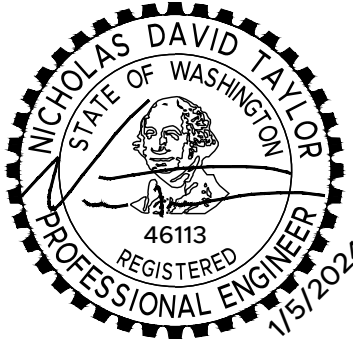
**IRISGROUP**  
civil engineers

BELLA ROSE LANE  
TOWNHOMES  
NW1/4, NW 1/4, S06, T14N, R02W  
LEWIS CO TPN 02107002002  
3005 RUSSELL RD  
CENTRALIA, WA

DETAILS 1

|              |            |
|--------------|------------|
| PROJ. NO.:   | BB203      |
| REVIEWED BY: | NDT        |
| DESIGNED BY: | NDT        |
| DRAWN BY:    | RCB        |
| DATE:        | 11-12-2023 |

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C8

8 OF 13

360-890-8955 | 299 N Market Blvd, Chehalis, WA 98532

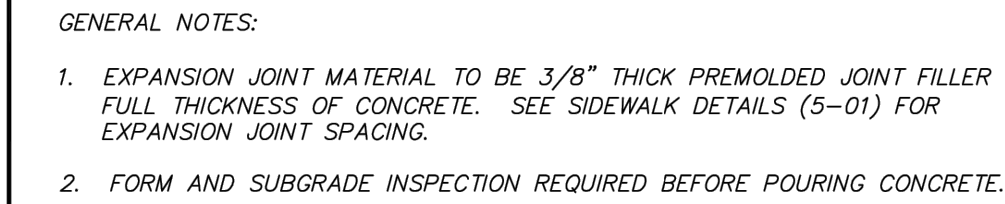












|                        |              |                                    |               |
|------------------------|--------------|------------------------------------|---------------|
| APPROVED BY            | REVISED DATE | CITY OF CENTRALIA                  | STD. PLAN NO. |
| CITY ENGINEER          | 06/2017      | CEMENT CONCRETE<br>CURB and GUTTER | 5-02          |
| 2022 Standard Drawings |              |                                    |               |

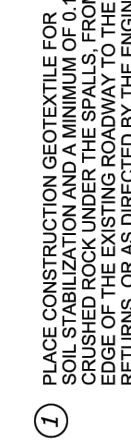
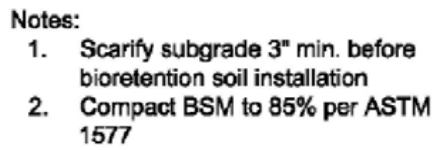
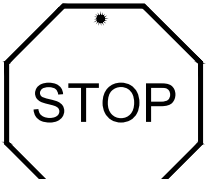


| Grass Seed Mixes Suitable for Pond and Swale Treatment Areas |                             |               |                             |
|--|-----------------------------|---------------|-----------------------------|
| Mix 1  |                             | Mix 2         |                             |
| 75-80 percent  | tall or meadow fescue       | 60-70 percent | tall fescue                 |
| 10-15 percent  | sesoides/colonial bentgrass | 10-15 percent | sesoides/colonial bentgrass |
| 5-10 percent   | Redtop                      | 10-15 percent | meadow foxtail              |
|  | tall or meadow fescue       | 6-10 percent  | alsike clover               |
|  |                             | 1-5 percent   | marshfield big trefoil      |
|  |                             | 1-6 percent   | Redtop                      |
|  |                             |               |                             |
|  |                             |               |                             |

Note: all percentages are by weight. \* based on Briargreen, Inc.

| Groundcovers and Grasses Suitable for the Upper Side Slopes of Ponds and Swales |   |
|---|---|
| <b>Groundcovers</b>   |   |
| kinnikinnick*   | <i>Arctostaphylos uva-ursi</i>                          |
| St. John's-wort   | <i>Hypericum perforatum</i>                             |
| Epimedium   | <i>Epimedium gradiflorum</i>                            |
| creeping forget-me-not  | <i>Omphalodes verna</i>                                 |
| ---   |   |
| yellow-root   | <i>Euonymus lanceolata</i>                              |
| ---   | <i>Xanthorhiza simplicissima</i>                        |
|   | <i>Genista</i>  |
| white lawn clover   | <i>Trifolium repens</i>                                 |
| white sweet clover*   | <i>Mellilotus alba</i>                                  |
|   | <i>Rubus coccineoides</i>                               |
| strawberry*   | <i>Fragaria chiloensis</i>                              |
| broadleaf lupine*   | <i>Lupinus latifolius</i>                               |
| <b>Grasses (drought-tolerant, minimum mowing)</b>                               |   |
| dwarf tall fescues  | <i>Festuca spp. (e.g., Many Mustang, Silverado)</i>     |
| hard fescue   | <i>Festuca ovina durisscula (e.g., Reliant, Aurora)</i> |
| tufted fescue   | <i>Festuca amethystine</i>                              |
| buffalo grass   | <i>Buchloe dactyloides</i>                              |
| red fescue*   | <i>Festuca rubra</i>                                    |
| tail fescue grass*  | <i>Festuca arundinacea</i>                              |
| blue oatgrass   | <i>Helictotrichon sempervirens</i>                      |
|   |   |

|                        |              |  |      |
|------------------------|--------------|--|------|
| APPROVED BY            | REVISED DATE | CITY OF CENTRALIA  |      |
| CITY ENGINEER          | 06/2017      | APPROVED GRASSES FOR<br>BIOFILTRATION SWALE and<br>STORMWATER POND | 9-12 |
| 2022 Standard Drawings |              |  |      |





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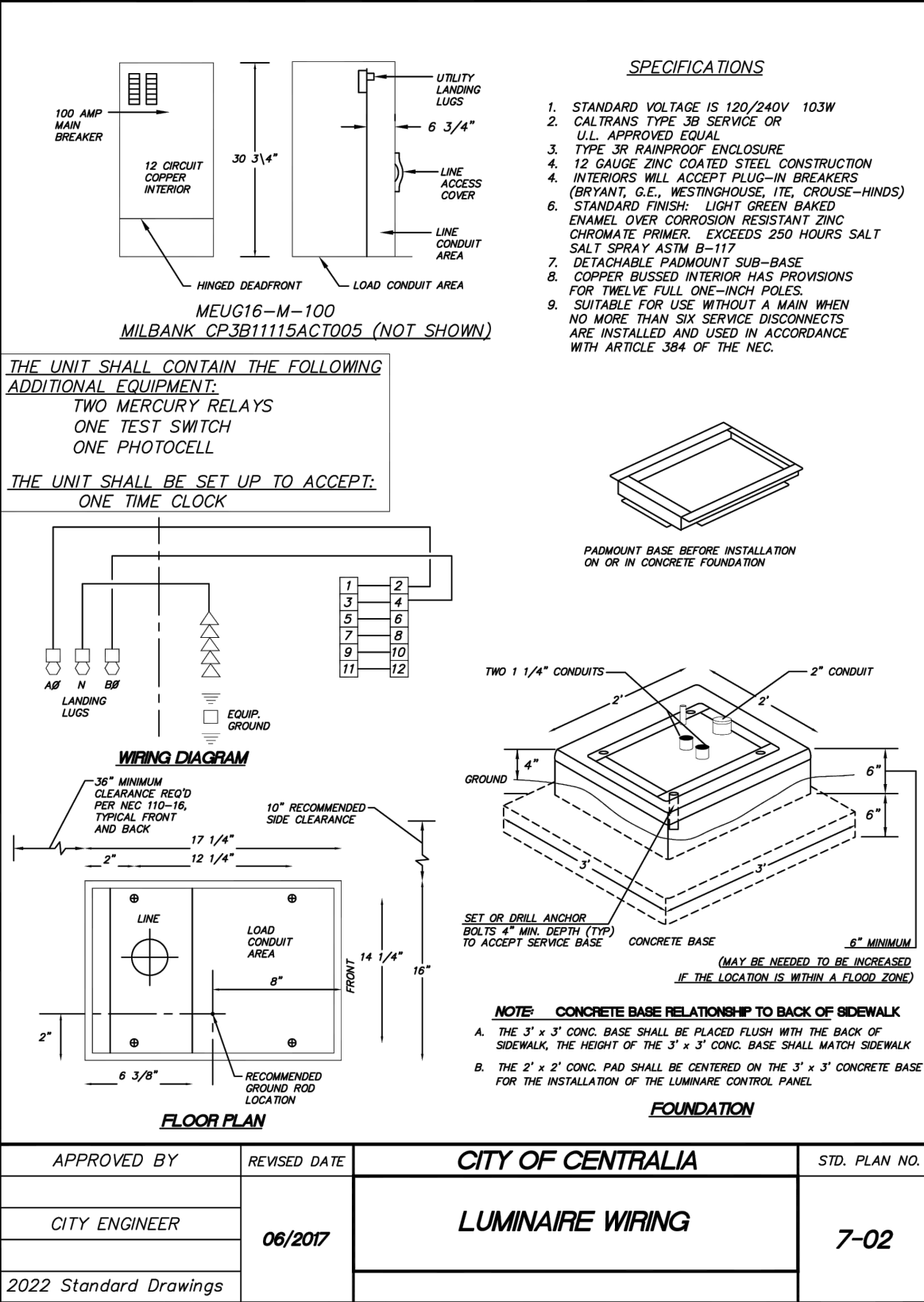
STORM DRAINAGE INSTALLATION  
GENERAL NOTES

- All workmanship and materials shall be in accordance with City of Centralia Standards and the most current copy of the WSDOT/APWA Standard Specifications for Road, Bridge and Municipal Construction.
- Temporary erosion/pollution measures shall be required for the duration of the project.
- The contractor must comply with all permits and other requirements of the City of Centralia or other governing authority or agency.
- A preconstruction meeting shall be held with the City of Centralia prior to the start of staking.
- All storm sewer mains, appurtenances and retention/detention areas shall be staked for grade and alignment by an engineering or surveying firm capable of performing such work. All vertical control shall be established using the 1988 USGS Datum. Staking shall be inspected by the City prior to the start of construction and shall be maintained throughout construction.
- Storm drain pipe shall meet the following requirements (use only those which apply):
  - Plain concrete pipe conforming to AASHTO M 86, Class 2.
  - reinforced concrete pipe conforming to AASHTO M 170.
  - PVC pipe conforming to ASTM D 3534 SDR 35, ASTM F 794 or ASTM F 679.
  - Type 1 with joints and gaskets conforming to ASTM 33212 and ASTM F 477.
  - Ductile iron pipe conforming to AWWA C 151, thickness class as shown on plans.
- Special structures, oil/water separators and outlet controls shall be installed per plans and manufacturers recommendations.
- Provide traffic control plan(s) as required in accordance with MUTCD.
- Call the Underground Location Center at 1-800-424-5555 a minimum of 48 hours prior to any excavation.
- Where connections require "field verifications", connection points will be exposed by the contractor and filings field verified 48 hours prior to starting construction.
- All Storm lines will be high-velocity cleaned and pressure tested in accordance with Division 7 of the WSDOT Standard Specifications prior to paving in conformance with the above-referenced specifications. (See Note 1 ). Hydrant flushing of lines is not an acceptable cleaning method.
- Testing of the Storm main will include Television inspection of the main at the contractor's expense. Immediately prior to tv inspection enough water will be run down the line to flush it clean. Acceptance of the line will be made after tv inspection tape has been reviewed and approved by the inspector. A water test of all manholes is also required. Testing will take place after all underground utilities are installed and compaction of the roadway subgrade is completed.

|                        |              |  |        |
|------------------------|--------------|--|--------|
| APPROVED BY            | REVISED DATE | CITY OF CENTRALIA                            |        |
| CITY ENGINEER          | 06/2017      | STORM DRAINAGE INSTALLATION<br>GENERAL NOTES | 1 of 1 |
| 2022 Standard Drawings |              |  |        |

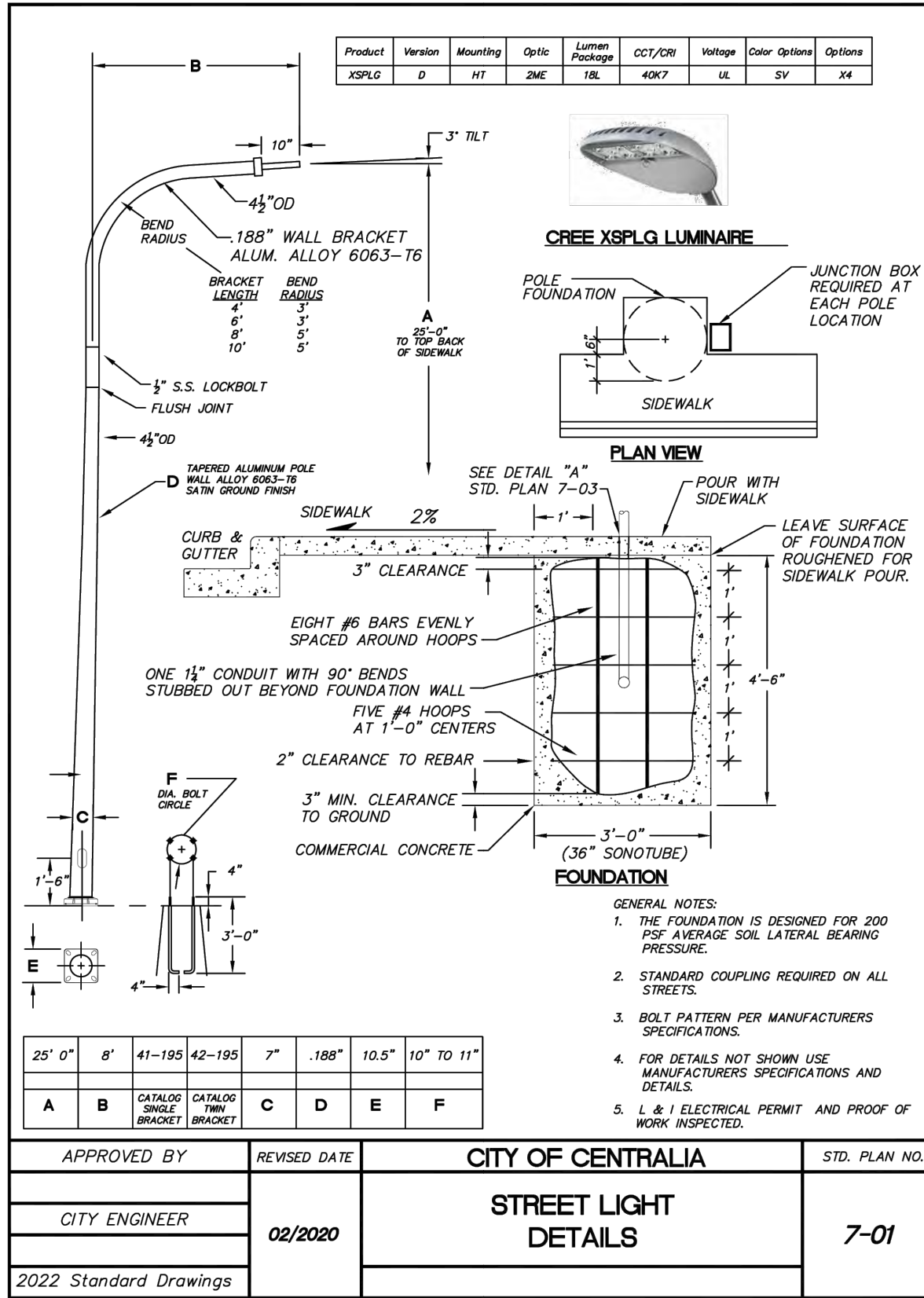
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DETAIL 7



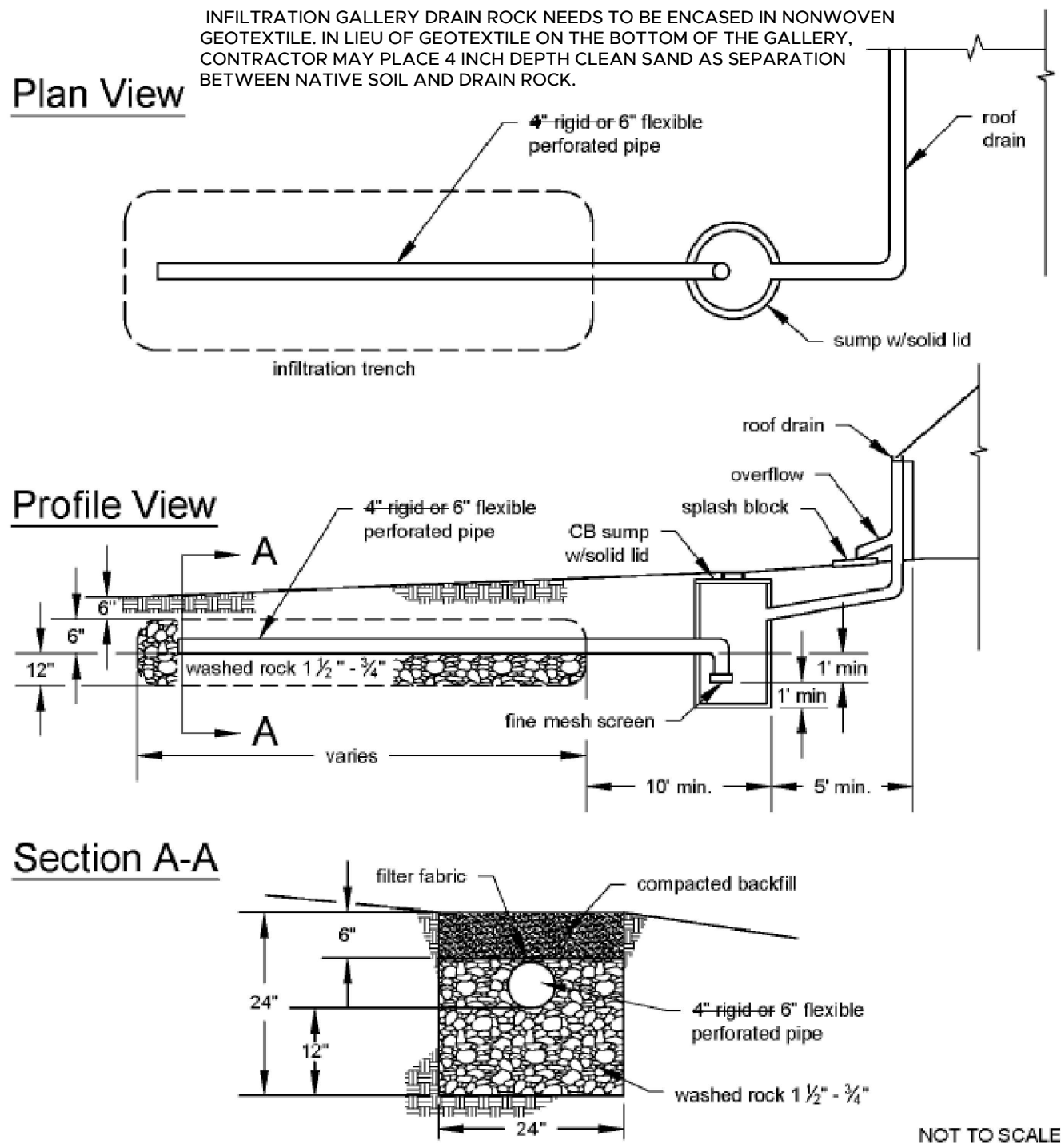
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DETAIL 3



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DETAIL 2

STREET LIGHT CONSTRUCTION  
GENERAL NOTES

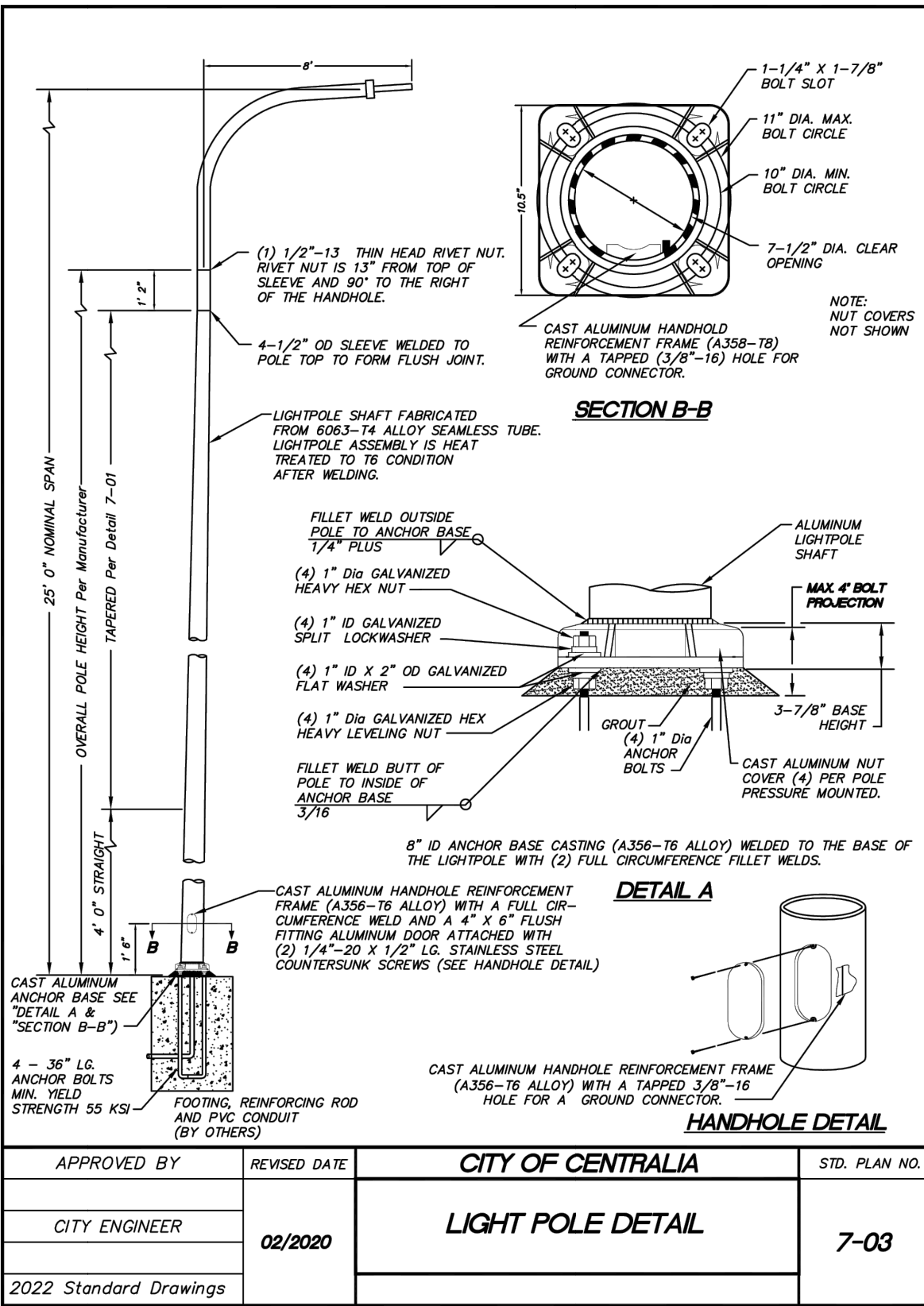
- All workmanship, materials and testing shall be in accordance with WSDOT/APWA, NEC and City of Centralia Design and Development Guidelines and Centralia Street Light Construction guidelines unless otherwise specified below. In cases of conflict the most stringent guideline shall apply.
- A right-of-way permit, electrical permits and inspections are required for all street lighting installations within the City of Centralia. The contractor is responsible for obtaining said permits prior to any type of actual construction. The right-of-way permit is available at the Engineering Department, 1100 N Tower Ave, Centralia. An application for the electrical permit can be obtained from Centralia City Light, 1100 N Tower Ave, Centralia.
- A clearly marked service disconnect shall be provided for every lighting circuit. The location and installation of the disconnect shall conform to National Electric Code (NEC) and City of Centralia Standards. The photo cell window shall face north unless otherwise directed by the City. The service disconnect shall not be mounted on the luminaire pole. The service disconnect shall be of a type equal to a Myers MEUG16-UM-100-31 or Milbank CP381110AZSL1 service, 120/240 VAC, 14.3W, Caltrans Type 3B with conductors, photo electric cell and test switch. Place one spare 1/2" conduit stub-out in service base 1 foot beyond concrete for future expansion. All service disconnects shall be used to their fullest capabilities (i.e. maximum number of luminaires per circuit). See Centralia Standard drawing 7-02.
- All lighting wire shall be copper with a minimum size of #8 UF. All wire shall be suitable for wet locations. All wire shall be installed in schedule 40 PVC conduit with a minimum diameter of 1 1/2". A bushing or bell-end shall be used at the end of a conduit that terminate at a junction box or luminaire pole. Conductor identification shall be an integral part of installation of the conductors throughout the system (i.e. color-coded wire). Equipment grounding conductor shall be #6 UF copper. All splices or taps shall be made by approved methods utilizing epoxy kits rated at 600 volts (i.e. 3-M 82-A2). All splices shall be made with pressure type connectors. Wire nuts will not be allowed. Direct burial wire will not be allowed. All other installation shall conform to NEC, WSDOT/APWA and MUTCD standards.
- Each luminaire pole shall have an in-line, fused, watertight electrical disconnect located at the base of the pole. The hand-hole shall be facing away from oncoming traffic. Additional conductor length shall be left inside the pole at the handhole, pull box, or junction box, equal to a loop having a diameter of 18 inches. Load side of in-line fuse to luminaire head shall be cable and pole mounted and placed within the above mentioned 18 inch loop by approved means. The CREE XSPLE LUMINAIRE (Order No. XSPLE D HT ZME 16L 40K7 UL SV X4) must be used in all installations.
- Approved pull boxes or junction boxes shall be installed when conduit runs are more than 200 feet. In addition, a pull box or junction box shall be located within 10 feet of each luminaire pole and at every road crossing. Boxes shall be clearly and indelibly marked as lighting boxes by the legend "Lighting" or "L.T.". See WSDOT standard plan J-40.10-04 Type 1 and Centralia Standard Drawing 7-01.
- All street light poles shall be spaced at 125 foot intervals and staggered. Any variation from the 125 ft. spacing to accommodate a specific installation must be approved by the City Engineer. All poles shall be HAPCO 25" Round Tapered Aluminum Pole with 8" Single Davit Arm. In existing developed areas, the City may approve/require use of other poles to maintain consistency within the developed area.
- Mounting heights, arm length, power source, luminaire, and bolt patterns shall be as follows:

|                  |  |
|------------------|--|
| Mounting height: | 25' 0" (To top back of sidewalk)                               |
| Arm length:      | 8'   |
| Power source:    | 240 VAC, 14.3 wire   |
| Luminaire type:  | The CREE XSPLE Luminaire (See Centralia Standard drawing 7-01) |
| Bolt pattern:    | 4 Bolt, 10"-11" Diameter Bolt Circle                           |

|                        |              |  |        |
|------------------------|--------------|--|--------|
| APPROVED BY            | REVISED DATE | CITY OF CENTRALIA                          |        |
| CITY ENGINEER          | 06/2020      | STREET LIGHT CONSTRUCTION<br>GENERAL NOTES | 1 of 2 |
| 2022 Standard Drawings |              |  |        |

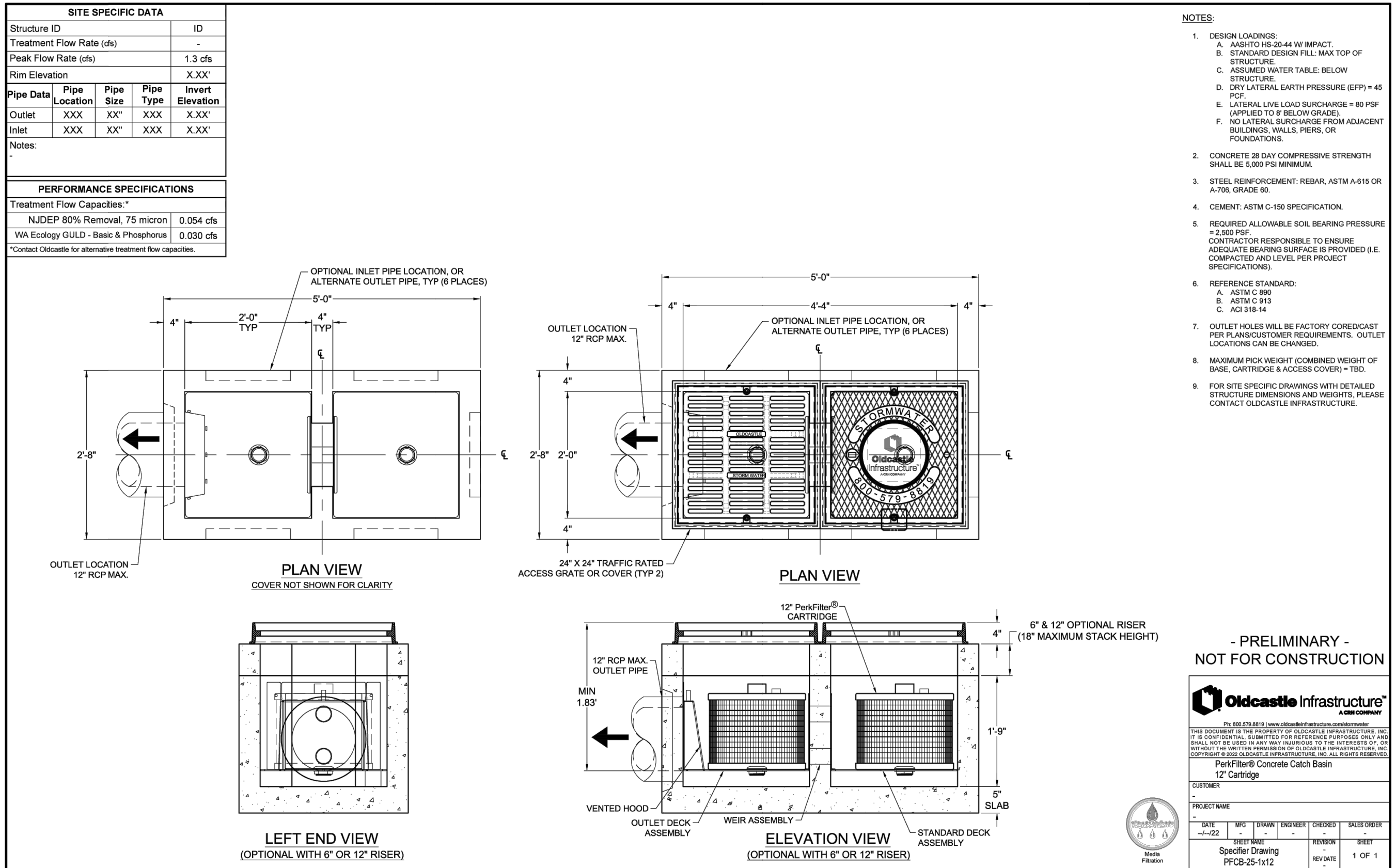
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DETAIL 6



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DETAIL 4



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DETAIL 1

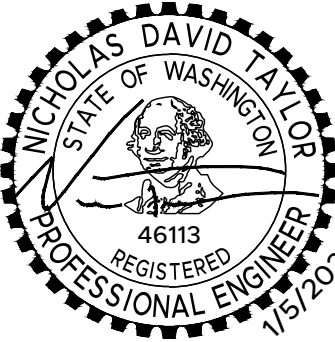
**IRISGROUP**  
civil engineers

BELLA ROSE LANE  
TOWNHOMES  
NW1/4, NW 1/4, S06, T14N, R02W  
LEWIS CO TPN 02107002002  
3005 RUSSELL RD  
CENTRALIA, WA

DETAILS 5

|              |            |
|--------------|------------|
| PROJ. NO:    | BB203      |
| REVIEWED BY: | NDT        |
| DESIGNED BY: | NDT        |
| DRAWN BY:    | RCB        |
| DATE:        | 11-12-2023 |

Know what's BELOW  
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C12

12 of 13







## SITE PLAN REVIEW COMMITTEE (SPRC) Pre-Application Conference Request

**MEETING DATE:** Every Monday (except holidays and subject to submittals)

**TIME:** Meetings begin at 10:00 am and are approximately 30 minutes long. All meetings are scheduled on a first-come basis.

**MEETING LOCATION:** Centralia Public Works Office (City Light), 1100 N. Tower, Centralia

**Parcel Number(s):** 003416058002

**Site Address:** 933 Harrison Ave, Centralia, WA 98531

**Applicant/Agent:** David McLaughlin, Works Progress Architecture

**Phone:** 503.234.2945

**Email:** davidm@worksarchitecture.net

**Name/Type of Business (if applicable):** n/a

**Brief Description of Proposal (attach separate sheet if needed):** Construction of a New Single Story Building

Construction of a New Single Story Building Including Two New Retail Spaces and a Proposed Quick Serve Restaurant with Drive-Thru

- ☒ Description of Proposal (1 – digital or paper copy)
- ☒ Conceptual Site Plan showing existing and proposed uses/structures (1 – digital or paper copy) See Attached
- ☒ Supporting documents including studies (1 – digital or paper copy) See Attached Supplemental Presentation

### SUBMITTAL REQUIREMENTS:

Submittal items must be received no later than 3 PM on the Wednesday preceding the next meeting date, in order to be added on the following weeks' agenda.

The purpose of the pre-application conference is to acquaint the applicant with the review procedures and applicable Centralia Municipal Code provisions to the proposal. A minimum of one meeting is required for all project permit applications related to the same project action.

The SPRC Pre-Application Conference is available to applicants for projects requiring a land use review or if you have utility or other questions about a specific property. The meeting will include representatives from engineering, public works, water, waste-water, electric, stormwater, planning, and building.

**CENTRALIA RETAIL - 933 HARRISON AVE**  
**Pre-Application Conference Presentation**  
January 9th, 2024





Centralia Retail:  
933 Harrison Ave.

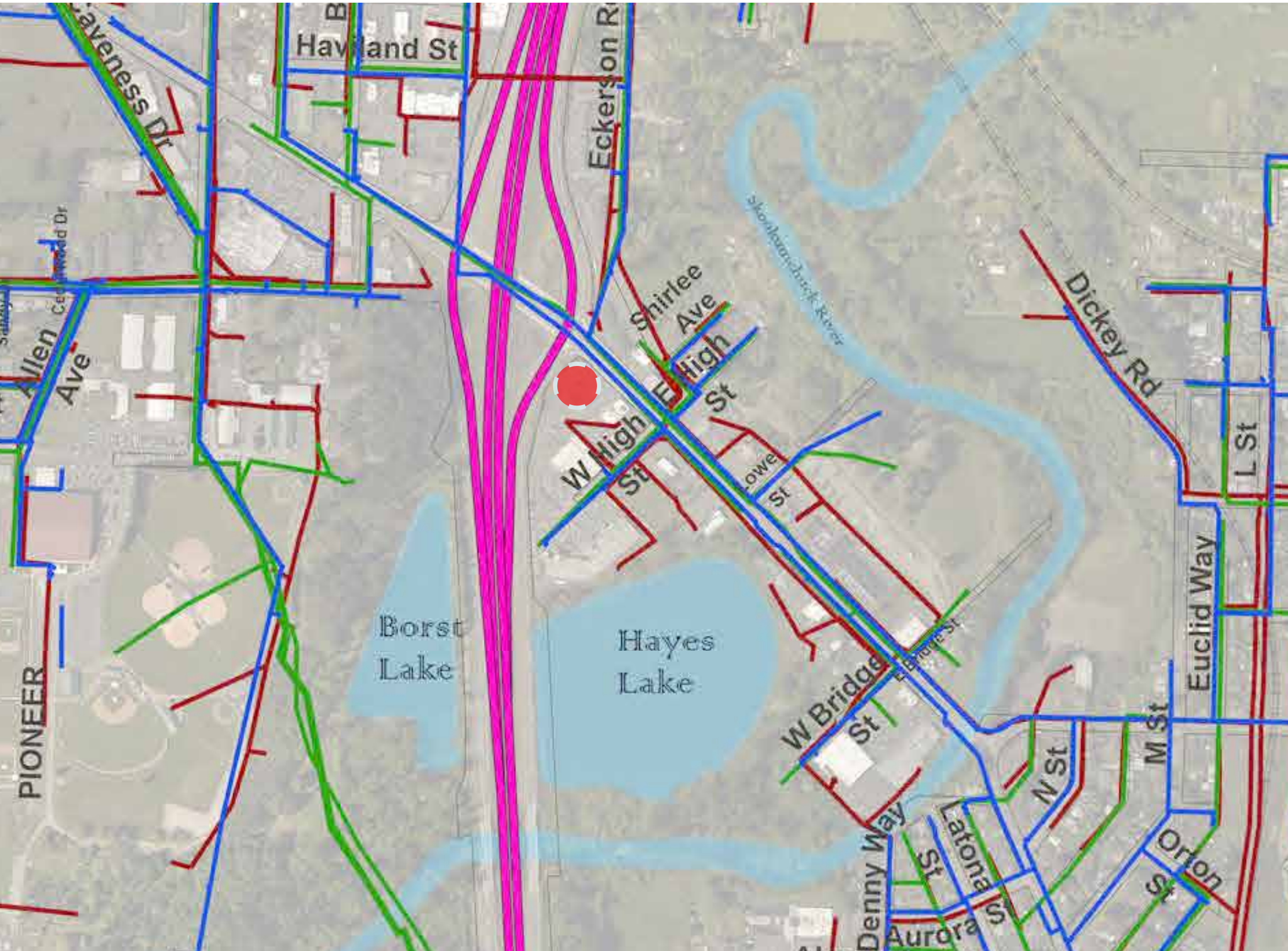
**Site Standards:**

|                    |  |
|--------------------|--|
| Address:           | 933 Harrison Ave.<br>Centralia, WA 98531   |
| Jurisdiction:      | City of Centralia  |
| Parcel ID:         | 003416058002   |
| Legal Description: | Section 06 Township<br>14N Range 02W PT<br>Lots 36, 37 & 39<br>MAPLE GROVE ADD       |
| Site Area:         | 0.92 acres   |
| Ward:              | Centralia Ward 3   |
| Neighborhood:      | Edison District  |
| Zoning:            | C2 HWY Commercial  |
| Overlay:           | 1982 FEMA Flood Plain<br>100 year Flood Plain  |
| Max Bldg Coverage: | 40% Site Area  |
| Min. Landscaping:  | 15% Site Area  |
| Setbacks:          | Front 15 ft Min<br>Side 10 ft Min<br>Rear 15 ft Min                                  |
| Max Bldg Height:   | 40 Feet  |
| Parking:           | Fast Food/Drive-Thru: 1/100 gsf<br>+ 6 stacking spacing<br>Retail - Small: 1/300 gsf |
| Loading:           | < 5,000 gsf 1 space<br>> 5,000 < 25,000 gsf 2 spaces                                 |



**LOCATION MAP**





Legend:

- 933 Harrison Ave, Centralia, WA 98531
- Water Main 2023
- Sewer Main 2023
- Power Line 2023

UTILITIES MAP





**Legend:**

- 933 Harrison Ave, Centralia, WA 98531
- Lakes and Rivers
- City Limits
- UGA Boundary
- Wetland

This Wetlands inventory from the City of Centralia is general and not designed to support permit applications, and does not establish jurisdictional boundaries.

The exact location of the wetland boundary shall be determined by a professional through the performance of a field investigation applying the wetland definition provided in Centralia Municipal Code Title 16. Wetlands shall be rated according to the Washington State Department of Ecology wetland rating system found in the Washington State Wetland Rating System for Western Washington (Department of Ecology Publication Number 4-06-025, August 2004)

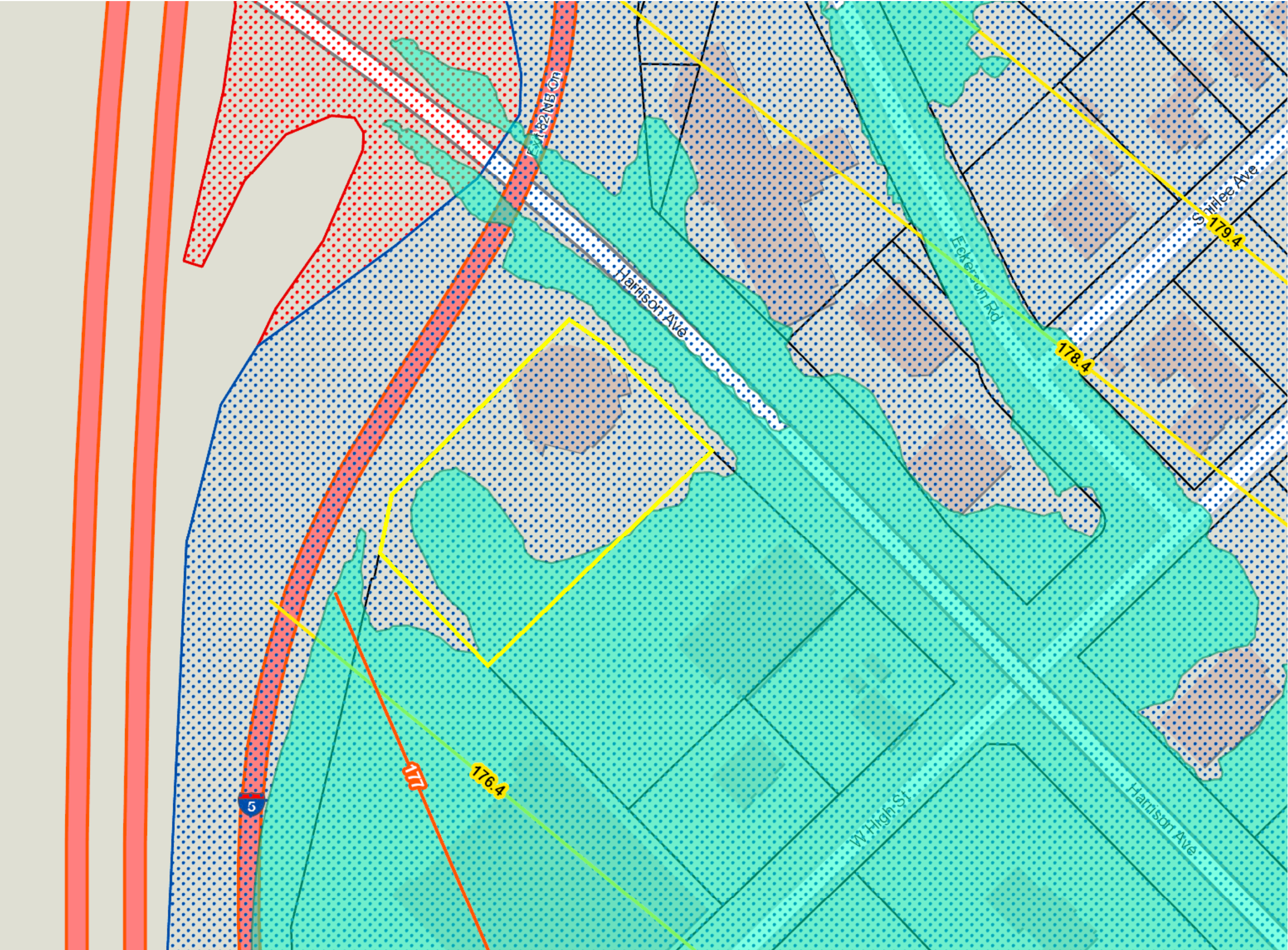
Title 16: <https://www.codepublishing.com/WA/Centralia/#!/Centralia16/Centralia16.html>



Per Centralia Municipal Code Title 16 ENVIRONMENT; Chapter 16.17 WETLANDS PROTECTION:  
Activities may only be permitted in a wetland or wetland buffer if the applicant can show that the proposed activity will not degrade the functions and functional performance of the wetland and other critical areas.  
Development activities and uses shall be prohibited in wetlands and wetland buffers, except as provided for in Title 16.

# WETLANDS MAP





Legend:

- Parcels
- 2007 Water Elevation (NAVD88)
- 2007 Flood Inundation
- FEMA BFE (NAVD88)
- FEMA Panels
- FEMA 100-Year
- FEMA 500-Year
- Floodway
- Parcels

Per City Title 16 ENVIRONMENT;  
Chapter 16.21 FLOODPLAIN MANAGEMENT:

A floodplain development permit shall be obtained before construction or development begins within any area of special flood hazard established in CMC 16.21.060.

The permit shall be for all structures including manufactured homes, as set forth in CMC 16.21.040, Definitions, and for all development including fill and other activities, also as set forth in CMC 16.21.040.

In all areas of special flood hazard, compliance is required w/ General Standards per 16.21.170, Erosion & Sediment Control per 16.21.175, Specific Standards per 16.21.180, Wetlands management per 16.21.200, among other requirements per CMC 16.21.



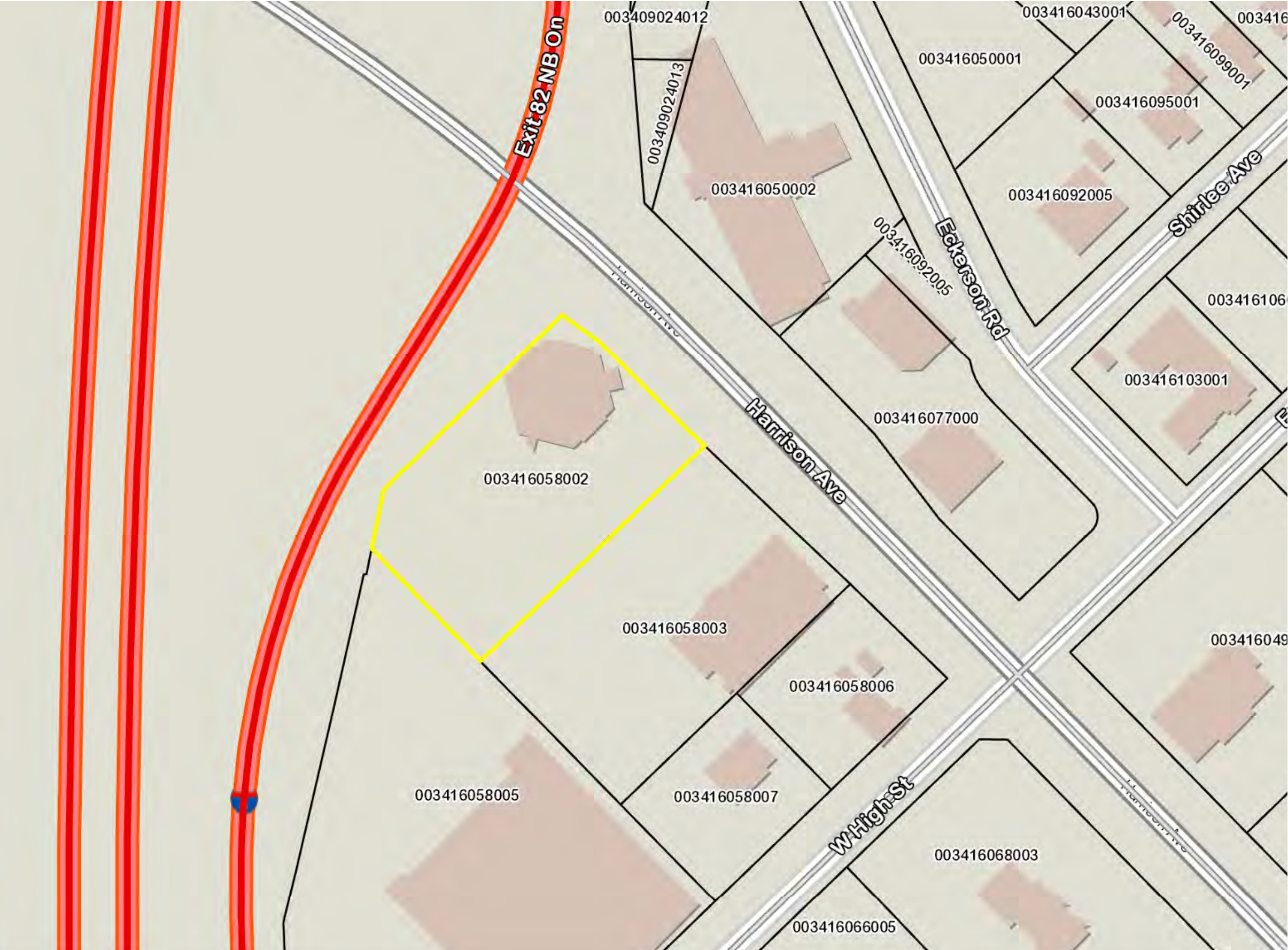
Compliance also required per Chapter 16.18  
CRITICAL AQUIFER RECHARGE AREAS

FLOOD MAP

Lewis County does not guarantee the accuracy of the information shown on this map and is not responsible for any use or misuse by others regarding this material. It is provided for general informational purposes only.

Stormwater Runoff: All stormwater runoff shall be retained and disposed of on site or disposed of in a system designed for such runoff and which does not flood or damage adjacent properties.





Centralia Municipal Code Title 18 BUILDING REGULATIONS; Chapter 18.10 DESIGN AND DEVELOPMENT GUIDELINES:

<https://www.cityofcentralia.com/234/Design-Development-Guidelines>.

Zoning Summary:

C-2 HIGHWAY COMMERCIAL DISTRICT

Permitted Uses: Restaurants w/ drive-through  
Restaurants w/o drive-through

Retail establishments, including but not limited to, grocery stores, pharmacies, television and appliance, and small specialty shops

Environmental Standards: Required per CMC 20.57

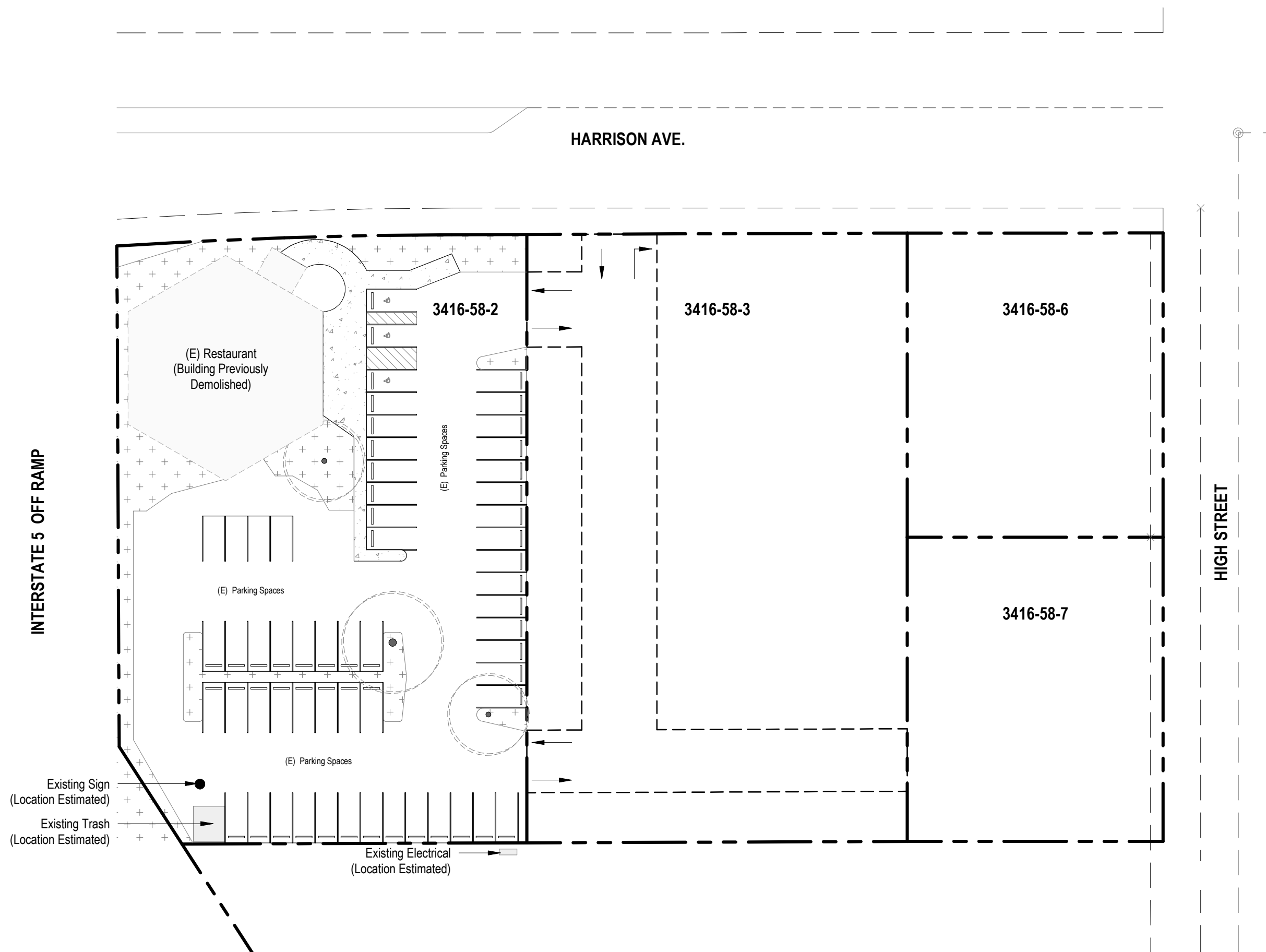
Site Plan Review: Required per CMC 20.84

Design and Development Guidelines: Required per CMC 20.28.070

Performance Standards: Required per CMC 20.28

All building sides facing public streets shall incorporate a substantive use of building elements, as approved by the city, to achieve a distinctive character. A recognizable base treatment of the wall consisting of thicker walls, ledges or sills using integrally textured and colored materials such as stone, masonry, or a decorative concrete or some other architectural feature that breaks up the exterior horizontal and vertical mass of the wall. Building materials such as brick, stone, concrete, tile, steel, wood, and metal are required.





## Existing Site Conditions:

Existing Restaurant Building was Previously Demolished. There are no current Buildings Onsite, and Property has been Fenced Off.

Parking Spaces: 58 Provided

ADA Parking Spaces: 3 Provided

Site is Accessed Through Adjacent Property via Existing Easements.

Existing Trees Onsite to Be Removed = 3

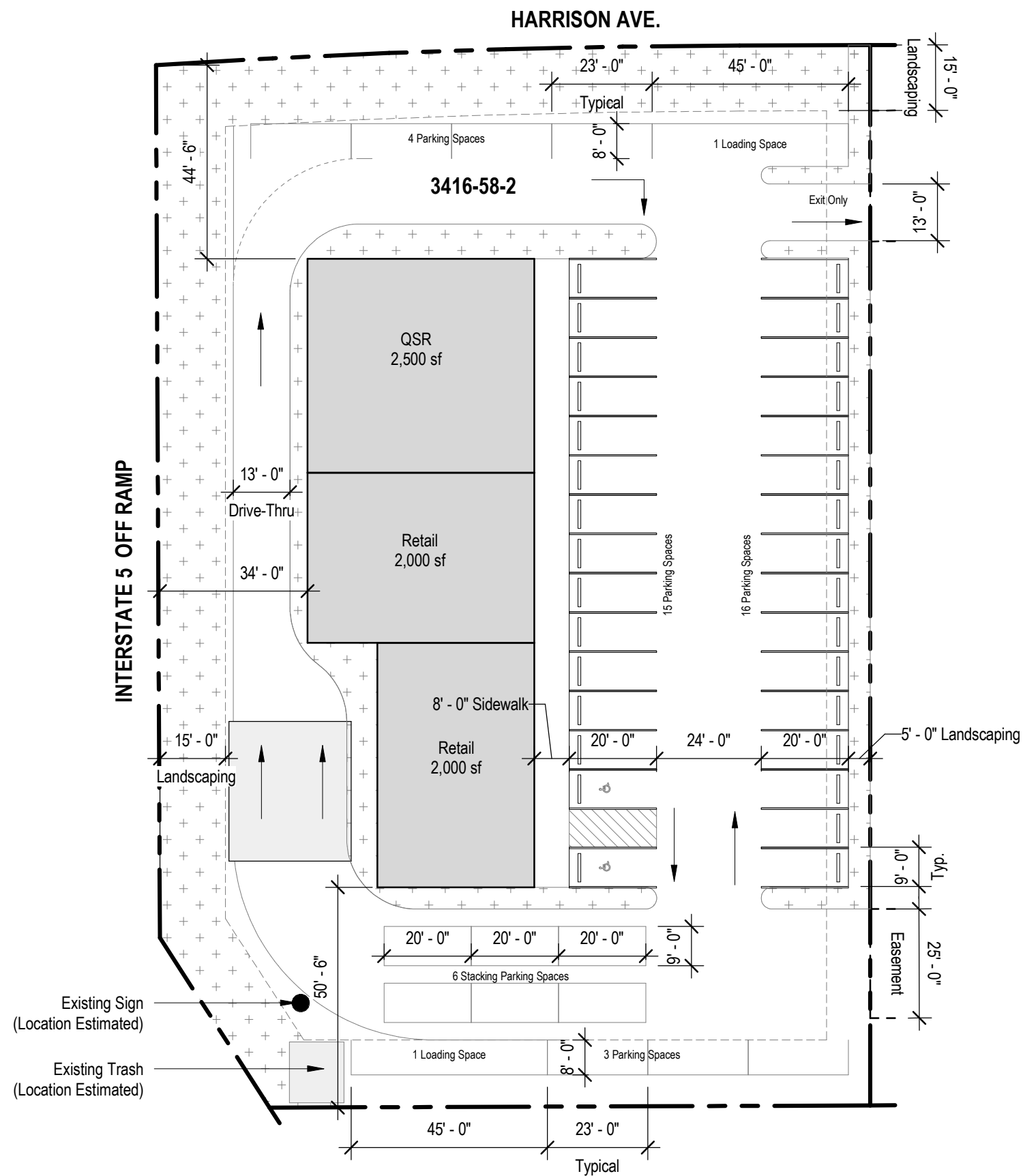
Note: Site Area Boundaries are Approximated and Shall be Verified via a Property Survey.

Scale: 1" = 40'-0"



## SITE PLAN - EXISTING





# Proposed Site Development Pre-Application Conference Questions:

1. Please Confirm Compliance Process for Allowable Development on Site Identified as a Wetland?
2. Please Confirm Compliance Process for Allowable Development in a Flood Zone?
3. Please Confirm all Stormwater Management Requirements for Building(s) and Parking?
4. Is a Direct Pedestrian Access Path Required from Harrison Ave to the Site and/or Buildings?
5. Is Fire Department Access via Adjacent Property Access Easements Acceptable/ Allowable?
6. Is a Single Point of Site Access Allowable through the Existing Adjacent Property Access Easements?
7. Is the Drive-Thru Cover Area included in any Gross Building Area (gsf)? Or just Site Coverage?
8. What are the Trash / Recycling Location and Sizing Requirements?
9. Are there any Compliance Requirements for Existing Tree Removal?
10. Are there any Interior Parking Lot Landscaping Requirements for < 40 spaces?
11. Are there any Perimeter Landscaping or Parking Area Setback Requirements at the Southwest Property Line?
12. Are there any Setback or Location Requirements for Loading Spaces?
13. Do Loading Spaces need to be Located off of Drive Aisles? Are there any Turnaround / Turning Radius Requirements?
14. Are there any Requirements or Compliance Procedures for Modifying the Existing Site Signage?
15. Please Confirm Compliance Process for Meeting the Design and Development Guidelines? Concurrent with Permit Document Review? Or Alternative Land Use Review Required?
16. Are there any System Development Charges for Proposed New Developments on Existing Sites?
17. Please confirm Parking Calculations with GSF and Rounding of Integers?

Scale: 1" = 30'-0"

## CONCEPTUAL SITE PLAN & PRE-APP QUESTIONS