

**Site Plan Review Committee**

**COMMUNITY DEVELOPMENT DEPT.**  
**360-330-7662**

Emil Pierson, CD Director  
[epierson@cityofcentralia.com](mailto:epierson@cityofcentralia.com)

Hillary Hoke, Asst. Director  
[hroke@cityofcentralia.com](mailto:hroke@cityofcentralia.com)

Mike Watilo, Building Official  
[mwatiло@cityofcentralia.com](mailto:mwatiло@cityofcentralia.com)

**PUBLIC WORKS DEPARTMENT**  
**360-330-7512**

Kim Ashmore, PW Director  
[kashmore@cityofcentralia.com](mailto:kashmore@cityofcentralia.com)

Andy Oien, Asst. Director  
[aoien@cityofcentralia.com](mailto:aoien@cityofcentralia.com)

**City Engineering**  
Patty Page, City Engineer  
[ppage@cityofcentralia.com](mailto:ppage@cityofcentralia.com)

**Waste Water Department**  
Holly Fuller, Wastewater Operations Mgr.  
[hfuller@cityofcentralia.com](mailto:hfuller@cityofcentralia.com)

Dee Russell, Pretreatment  
[drussell@cityofcentralia.com](mailto:drussell@cityofcentralia.com)

**Water Department**  
Chris Stone, Water Operations Manager  
[cstone@cityofcentralia.com](mailto:cstone@cityofcentralia.com)

**City Light**  
ML Norton, CCL General Manager  
[mlnorton@cityofcentralia.com](mailto:mlnorton@cityofcentralia.com)

Dave Hayes, Electrical Engineering  
[dhayes@cityofcentralia.com](mailto:dhayes@cityofcentralia.com)

**Administration**  
Kerissa Saucedo, Office Coordinator  
[ksauceda@cityofcentralia.com](mailto:ksauceda@cityofcentralia.com)

**RIVERSIDE FIRE AUTHORITY**  
**360-330-9854**

Kevin Anderson, Asst. Chief/Fire Marshal  
[kanderson@riversidefire.net](mailto:kanderson@riversidefire.net)

**LEGAL DEPARTMENT**  
**360-330-7675**  
**City Attorney**  
Kyle Manley  
[kmanley@cityofcentralia.com](mailto:kmanley@cityofcentralia.com)

## **SITE PLAN REVIEW COMMITTEE**

### **Meeting Agenda**

*Monday, January 22, 2024*

*Join Zoom meeting:*

<https://us02web.zoom.us/j/85356833930?pwd=aFJUanFIRXFwWWM1d0xCQnBqQmxodz09>

*Meeting ID: 853 5683 3930      Passcode: 770823*

*Join by mobile: #1-253-215-8782*

**Applicants should be at the meeting and prepared to discuss their development.**  
**The public is invited to participate in all Site Plan Review meetings.**

#### **9:00 AM      STAFF REVIEW TIME**

1. Weekly Permit List

#### **10:00 AM – Site Plan Review**

**Project Name:** **Bella Rose 3-Lot Short Plat**

**Applicant/Owner:** Brett Bates

**Property Address:** 3005 Russell Road

**Contact Phone:** 360-957-4789

**Email:** [brett@batesmech.com](mailto:brett@batesmech.com)

**Zone:** R:8, Medium Density Residential

**Comp. Plan:** MDR, Medium Density Residential

**Parcel Information:** 021107-002-002, 1 AC, \$113,000

**Request:** Final civil plan approval for a 3-lot residential short plat.

#### **10:30 AM – Pre-Application Conference**

**Project Name:** **Centralia Retail**

**Applicant/Owner:** David McLaughlin, Works Progress Architecture

**Property Address:** 933 Harrison Avenue

**Contact Phone:** 503-234-2945

**Email:** [davidm@worksarchitecture.net](mailto:davidm@worksarchitecture.net)

**Zone:** C-2, Highway Commercial District

**Comp. Plan:** GC, Commercial General District

**Parcel Information:** 003416-058-002, 0.92 acres

**Request:** Construct a quick serve restaurant and two retail spaces.



01/05/2024 - 01/17/2024

Permit #	Building/Land Use	Permit Type	CONSTRUCTION SITE ADDRESS	Description of work being done under this permit	Applicant Name
20240039	Building Permit	Demolition	133 Sunnyside Drive	Demo of wall and drop down ceiling in kitchen	Liz Mohrbacher
20240038	Building Permit	Single Family - Remodel	319 N Diamond Street	Remodeling bathroom. floor, framing, insulation and drywall	Derek Blair
20240037	Building Permit	Reroof	914 W 2Nd Street	tear off re roof front half	Ken Slater
20240036	Building Permit	Accessory Building	1406 Crescent Ave	Construct a 24x24x9 detached garage with 4" concrete floor; Non-heated	Tim Jahner
20240035	Building Permit	Plumbing	1613 Grand Avenue	Replacing plumbing up to code	Derek Dodd
20240034	Building Permit	Plumbing	1013 N Washington Ave	NG Water Heater	Jessica Blye
20240033	Building Permit	Mechanical	1107 Johnson Rd	trane gas pack	Chehalis Sheet Metal
20240032	Building Permit	Single Family - Remodel	122 Sunnyside Drive	Change dining room to a bedroom and add ramp.	Jose Perez
20240031	Building Permit	Mechanical	112 Harrison Ave Centralia, WA 98531	replace existing gas furnace	Mills Northwest Heating and Cooling Inc.
20240030	Building Permit	Commercial - Remodel	604 S Tower Avenue	Remove ceramic tile flooring, open 1 wall, remove kiosks	Chris Shumway
20240029	Building Permit	Plumbing	1012 Mellen Street	Plumbing-repiping	Fung Tran
20240028	Building Permit	Reroof	500 River Road Centralia, Wa 98532	Remove and replace asphalt shingles	Brittany Sanders
20240027	Building Permit	Reroof	609 S Cedar Street	Re roof	Cheyenne Allen

20240026	Land Use Application	Rezone	2100 Van Wormer Street	Rezone from R:4 to M-2	Joshua Henderson
20240025	Building Permit	Commercial - Remodel	4020 Harrison Avenue	Remodel of building for the door company	Jeff Haskins
20240024	Building Permit	Single Family - Addition	611 S Rock Street	Construct 20' x 26' cover over existing concrete slab	Thomas Waggoner
20240023	Building Permit	Sign	2312 N Pearl St	Install (1) Flag mount sign	Seth Taylor
20240022	Building Permit	Foundation Only	113 N Diamond Street Centralia WA 98531	Foundation repair to existing structure. Crew will install (7) Helical Piles and lift home to maximum allowable recovery	Ty-Lynn Hespe
20240021	Building Permit	Solar Panels	302 Goodrich Road Centralia 98531	Installation of 24 Solar panels	Rosie Rumsey
20240020	Building Permit	Solar Panels	354 river heights rd Centralia 98531	Installation of 10 Solar Panels on the roof.	Rosie Rumsey
20240019	Building Permit	Mechanical	910 Johnson Rd	install carrier package unit	Chehalis Sheet Metal
20240018	Building Permit	Single Family - Remodel	821 H Street	Enlarge existing bathroom/add a shower	Doug Hawes
20240017	Building Permit	Mechanical	915 G STREET CENTRALIA WA	REPLACE GAS FURNACE, TSTAT AND ADD AC UNIT	MELISSA BUTLER
20240016	Building Permit	Accessory Dwelling Unit	732 S Silver	Convert a garage into an adu	Jose Triana
20240015	Building Permit	Commercial - Remodel	604 S Tower Avenue	Scrap floors to subfloor, erect walls, add bathroom, doors (including e-exit) add laminate flooring, paint	Chris Shumway
20240014	Building Permit	Reroof	507 South Street, Centralia WA	Replace existing roof	Andrea Hall

20240012	Building Permit	Commercial - Remodel	303 W Pine Street Centralia, WA 98531	Make repairs from fire damage to (2) units 202 and 302	Loren Voie
20240011	Building Permit	Demolition	303 W Pine Street	Remove drywall and insulation in units 202 and 302	Loren Voie
20240010	Building Permit	Mechanical	600 S Pearl St, Centralia WA	install reznor heater in place of old one	Elissa Carbajal

**Total Records: 29**

**1/17/2024**

**PROJECT SPECIFICATIONS**

THE WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE 2020 STANDARD SPECIFICATIONS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) (HEREAFTER "STANDARD SPECIFICATIONS")

ALSO INCORPORATED INTO THESE CONTRACT DOCUMENTS BY REFERENCE ARE:

- A. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
- B. CITY/COUNTY ROW STANDARDS
- C. CITY/COUNTY DRAINAGE STANDARDS
- D. THE INTERNATIONAL BUILDING CODE (IBC)
- E. THE INTERNATIONAL PLUMBING CODE (IPC)
- F. THE INTERNATIONAL FIRE CODE (IFC)
- G. DEPARTMENT OF ECOLOGY STORMWATER MANAGEMENT MANUAL FOR WESTERN WASHINGTON

CURRENT EDITIONS OF THESE STANDARDS SHALL BE USED WHICH EXIST ON THE DATE OF CONTRACT ACCEPTANCE.

CONTRACTOR SHALL OBTAIN COPIES OF THESE PUBLICATIONS AT CONTRACTOR'S OWN EXPENSE.

THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, TRANSPORTATION, SUPPLIES, AND INCIDENTALS REQUIRED TO COMPLETE ALL WORK SHOWN ON THESE DRAWINGS AND TO OBTAIN ACCEPTANCE BY THE COUNTY AND THE PROJECT OWNER.

THE INTENT OF THESE DRAWINGS IS TO PRESCRIBE A COMPLETE WORK. OMISSIONS FROM THE DRAWINGS OF DETAILS OF WORK WHICH ARE NECESSARY TO CARRY OUT THE INTENT OF THE DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM PERFORMING THE OMITTED WORK.

ANY PROPOSED ALTERATIONS BY THE CONTRACTOR AFFECTING THE REQUIREMENTS AND INFORMATION IN THESE DRAWINGS SHALL BE IN WRITING AND WILL REQUIRE APPROVAL OF THE ENGINEER AND INSPECTOR.

**WORK IN RIGHT OF WAY**

CONTRACTOR SHALL OBTAIN A RIGHT OF WAY PERMIT PRIOR TO COMMENCING ANY WORK LOCATED IN THE RIGHT OF WAY. ALL WORK PERFORMED IN THE RIGHT OF WAY SHALL ADHERE TO DRAWINGS, STANDARD SPECIFICATIONS, AND REQUIREMENTS OUTLINED IN THE RIGHT OF WAY PERMIT.

**RECORD DRAWINGS**

THE IRIS GROUP IS REQUIRED BY THE CITY TO PROVIDE RECORD DRAWING CERTIFICATION PRIOR TO FINAL COUNTY ACCEPTANCE. THE IRIS GROUP WILL NOT CERTIFY RECORD DRAWINGS WITHOUT INSPECTION OF BELOW GRADE UTILITIES AND STRUCTURES. PRIOR TO BACKFILLING, CONTRACTOR SHALL NOTIFY THE IRIS GROUP OF NECESSARY INSPECTIONS. CONTRACTOR SHALL MAINTAIN A PLAN SET ON SITE (ASBUILT PLAN SET) AND SHALL INDICATE IN RED INK ON THE ASBUILT PLAN SET ANY DEVIATIONS FROM THE CONTRACT PLANS. CONTRACTOR SHALL PROVIDE ASBUILT PLANS TO THE IRIS GROUP PRIOR TO FINAL INSPECTION BY THE IRIS GROUP.

**REMOVAL OF UNSUITABLE MATERIALS**

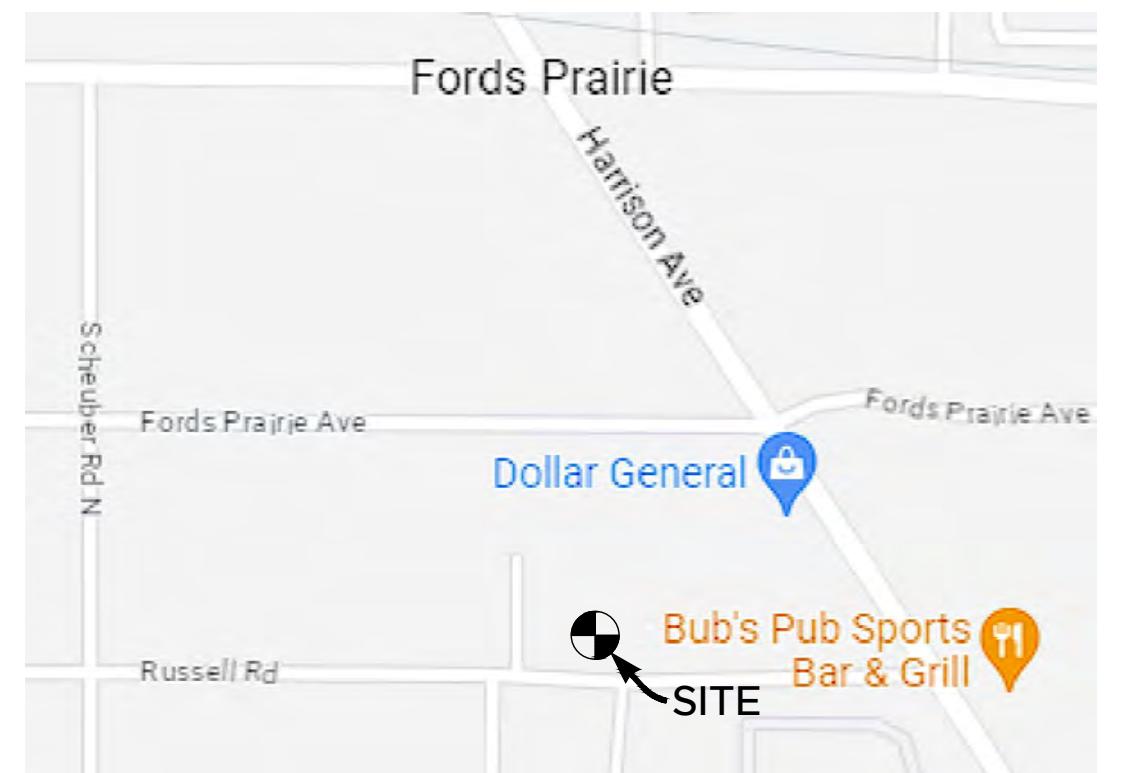
IF UNSUITABLE MATERIALS AS DEFINED BY THE STANDARD SPECIFICATIONS ARE ENCOUNTERED, THIS MATERIAL SHALL BE REMOVED TO THE DEPTH REQUIRED BY THE ENGINEER OR INSPECTOR AND REPLACED WITH SUITABLE MATERIALS.

UNSUITE MATERIAL SHALL BE REMOVED FROM THE SITE AND HAULED TO A WASTE SITE OBTAINED BY THE CONTRACTOR. PRIOR TO REMOVAL, CONTRACTOR SHALL NOTIFY PROJECT OWNER.

**CONSTRUCTION NOTES**

1. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR BEING FAMILIAR WITH THE PROVISIONS AND REQUIREMENTS CONTAINED IN JURISDICTIONAL STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL HAVE A COPY AVAILABLE AT THE JOB SITE AT ALL TIMES.
2. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
3. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC OR PRIVATE UTILITY COMPANIES 48 HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO EXISTING UTILITY LINES UNLESS AN ENCROACHMENT PERMIT SPECIFIES OTHERWISE.
4. THE CONTRACTOR SHALL PROVIDE EMERGENCY TELEPHONE NUMBERS TO THE POLICE, FIRE, AND PUBLIC WORKS DEPARTMENTS AND KEEP THEM INFORMED DAILY REGARDING STREETS UNDER CONSTRUCTION AND DETOURS. TEMPORARY TRAFFIC CONTROL AND ROAD DETOURS MUST BE APPROVED BY THE CITY ENGINEER.
5. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SUFFICIENT BARRICADES TO PROVIDE FOR THE SAFETY OF THE GENERAL PUBLIC TO THE SATISFACTION OF THE CITY ENGINEER.
6. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL CONFORM TO EXISTING STREETS,
8. THE CONTRACTOR SHALL COORDINATE ALL NECESSARY UTILITY RELOCATIONS, IF REQUIRED, WITH THE APPROPRIATE UTILITY COMPANIES.
9. THE CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT AND DUST AND RELATED DAMAGE TO NEIGHBORING PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST IS REQUIRED AT ALL TIMES. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL IF THE DUST CONTROL IS INADEQUATE AS DETERMINED BY THE CITY ENGINEER OR HIS DESIGNATED REPRESENTATIVE. THE CONSTRUCTION WORK SHALL BE TERMINATED UNTIL SUCH CORRECTIVE MEASURES ARE TAKEN.
10. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCIES AND DEPARTMENTS FOR ALL REQUIRED INSPECTIONS PRIOR TO PLACING ANY UTILITIES INTO SERVICE.
11. SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE CITY OF CENTRALIA DEVELOPMENT GUIDELINES AND PUBLIC WORKS

# BELLA ROSE LANE TOWNHOMES CENTRALIA, WA

**VICINITY MAP**

N.T.S.

**PROJECT DATA**

PRE-PLAT PARCELS: 021107002002  
APPLICANT: BRETT BATES  
SITE ADDRESS: 3005 RUSSELL RD  
CENTRALIA, WA 98531  
1.05 AC  
ROW DEDICATION: 0.04 AC  
GRADING QUANTITIES: CUT: 390 CY  
FILL: 687 CY  
NET: 297 CY (FILL)

**BELLA ROSE LANE  
TOWNHOMES**  
NW1/4, NW1/4, S06, T14N, R02W  
LEWIS CO, PN 021107002002  
3005 RUSSELL RD  
CENTRALIA, WA

**ABBREVIATIONS**

ACC	ASPHALTIC CEMENT CONCRETE	ID	INSIDE DIAMETER
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	IE	INVERT ELEVATION
APPROX	APPROXIMATE(LY)	L	LEFT
ARCH	ARCHITECT(URAL)	LAT	LATERAL
BLDG	BUILDING	LB	POUND(S)
BFCB	BAYFILTER CATCH BASIN	LF	LINEAR FEET
BNDRY	BOUNDARY	MAX	MAXIMUM
BVC	BEGINNING OF VERTICAL CURVE	ME	MATCH EXISTING ELEVATION
BW	BUTT WELDED	MFR	MANUFACTURER
CB	CATCH BASIN	MH	MANHOLE
CF	CUBIC FEET (FOOT)	MJ	MECHANICAL JOINT
CI	CAST IRON	MIN	MINIMUM
CL	CLASS	MISC	MISCELLANEOUS
CMP	CORRUGATED METAL PIPE	MON	MONUMENT
CO	CLEANOUT	N	NORTH(ING)
CONC	CONCRETE	NO (#)	NUMBER
CPEP	CORRUGATED POLYETHYLENE PIPE	OC	ON CENTER
CY	CUBIC YARD	OFF	OFFSET
DCVA	DOUBLE CHECK VALVE ASSEMBLY	PCC	PORTLAND CEMENT CONCRETE
DDCV	DOUBLE DETECTOR CHECK VALVE	PIV	POST INDICATOR VALVE
DEPT	DEPARTMENT	PSF	POUNDS PER SQUARE FOOT
DI	DUCTILE IRON	PSI	POUNDS PER SQUARE INCH
DIA (Ø)	DIAMETER	PT	POINT OF TANGENCY
DS	DOWNSPOUT	PVC	POLYVINYL CHLORIDE
E	EAST(ING)	PVI	POINT OF VERTICAL INFLECTION
ECC	EXTRUDED CONCRETE CURB	R	RIGHT
ELEV	ELEVATION	RCP	REINFORCED CONCRETE PIPE
EOP	EDGE OF PAVEMENT	REF	REFERENCE
W/	WITH	REQD	REQUIRED
WWF	WELDED WIRE FABRIC	ROW	RIGHT OF WAY
EVC	END OF VERTICAL CURVE	SAN	SANITARY SEWER
FDC	FIRE DEPARTMENT CONNECTION	SHT	SHEET
FFE	FINISH FLOOR ELEVATION	SPEC	SPECIFICATION(S)
FG	FINISHED GRADE	STA	STATION
FH	FIRE HYDRANT	SS	SANITARY SEWER
FL	FLANGED (PIPING)	SD	STORM DRAIN
FL	FLOWLINE (GRADING)	STD	STANDARD
FOC	FACE OF CURB	TC	TOP OF CURB
FT (')	FOOT (FEET)	TEMP	TEMPORARY
GV	GATE VALVE	TPN	TAX PARCEL NUMBER
HDPE	HIGH DENSITY POLYETHYLENE	TYP	TYPICAL
HORIZ(H)	HORIZONTAL	VC	VERTICAL CURVE
HMA	HOT MIX ASPHALT	WM	WATER METER

**LEGEND**

FEATURE	EXISTING	PROPOSED
BUILDING		
CENTERLINE		
SAWCUT		
PAVEMENT		
CONCRETE		
GRAVEL		
WOOD		
VEGETATION		
ROOF OUTLINE		
CONTOUR MAJOR	230	230
CONTOUR MINOR	225	225
SUBJECT PROPERTY		
ADJACENT PROPERTY		
WOOD FENCE		
CHAIN FENCE		
WALL		
DEMOLITION		
LIMITS OF DISTURBANCE		
SWALE/DITCH		
SETBACKS		
EASEMENT		
DISPERSION AREA		
SILT FENCE		
STORM DRAIN		
ROOF DRAIN		
FOOTING DRAIN		
GAS-LINE		
OVERHEAD POWER		
UNDERGROUND POWER		
FORCE MAIN		
SEWER PIPE		
OVERHEAD TELE		
UNDERGROUND TELE		
WATER PIPE		
SS MANHOLE		
TYPE 1 CB		
SS CO		
CAP		
POWER PEDESTAL		
TRANSFORMER		
OVERHEAD TELE		
UNDERGROUND TELE		
WATER PIPE		
MAILBOX BANK		
SD CO		
POWER METER		

**SHEET INDEX**

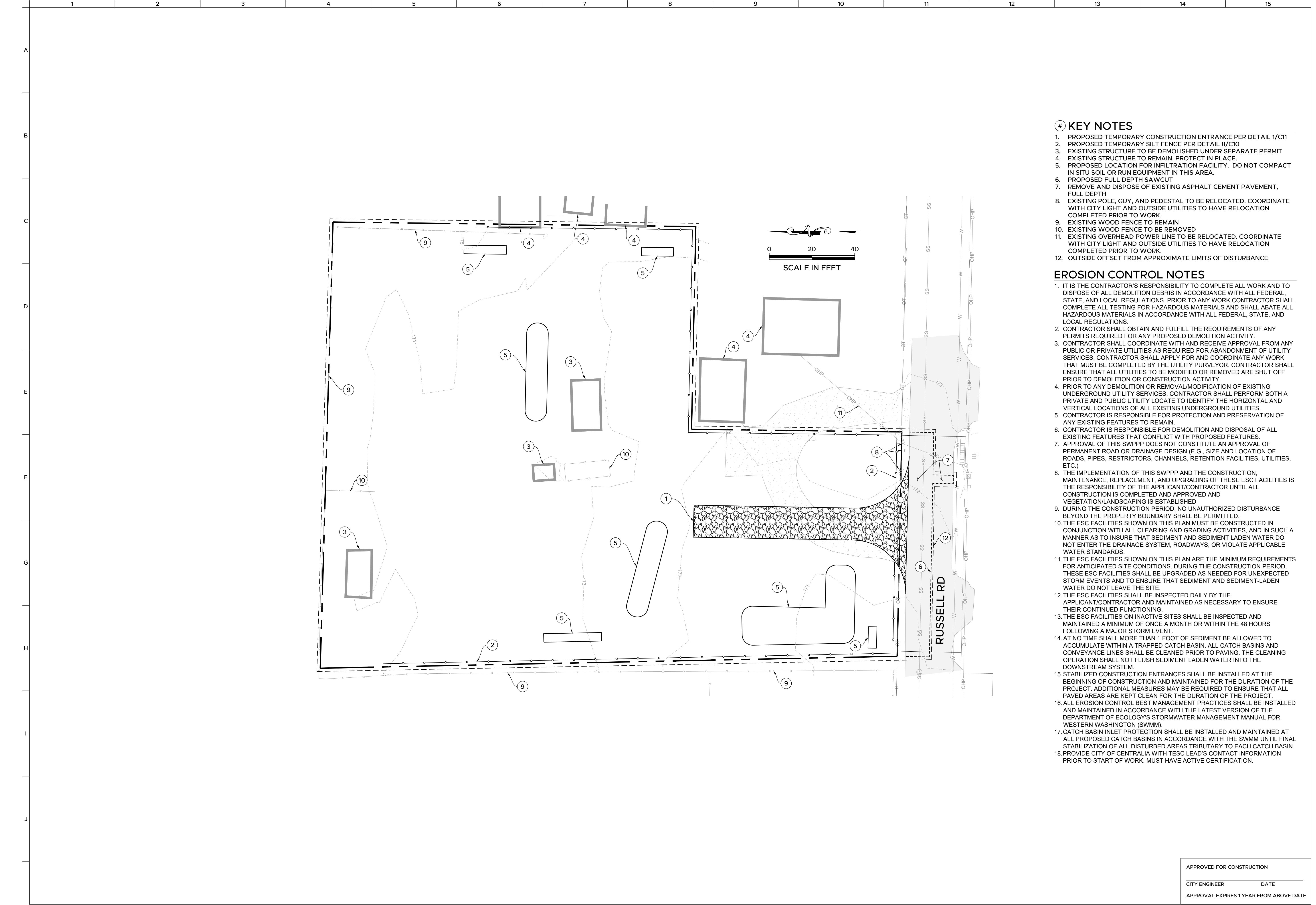
PAGE #	SHEET #	SHEET NAME
1	C1	COVER
2	C2	DEMOLITION AND TESC PLAN
3	C3	SITE AND HORIZONTAL CONTROL PLAN
4	C4	DRAINAGE PLAN
5	C5	GRADING PLAN
6	C6	UTILITY PLAN
7	C7	FRONTAGE IMPROVEMENT PLAN
8	C8	DETAILS 1
9	C9	DETAILS 2
10	C10	DETAILS 3
11	C11	DETAILS 4
12	C12	DETAILS 5
13	C13	DETAILS 6

PROJ. NO.: BB203  
REVIEWED BY: NDT  
DESIGNED BY: NDT  
DRAWN BY: RCB  
DATE: 11-12-2023

Know what's BELOW  
Call 811 before you dig.



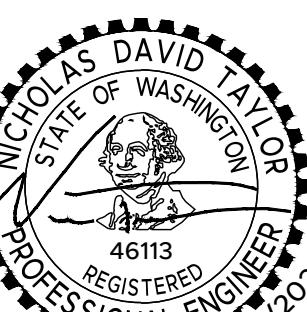
APPROVED FOR CONSTRUCTION  
CITY ENGINEER DATE  
APPROVAL EXPIRES 1 YEAR FROM ABOVE DATE  
C1  
1 of 13



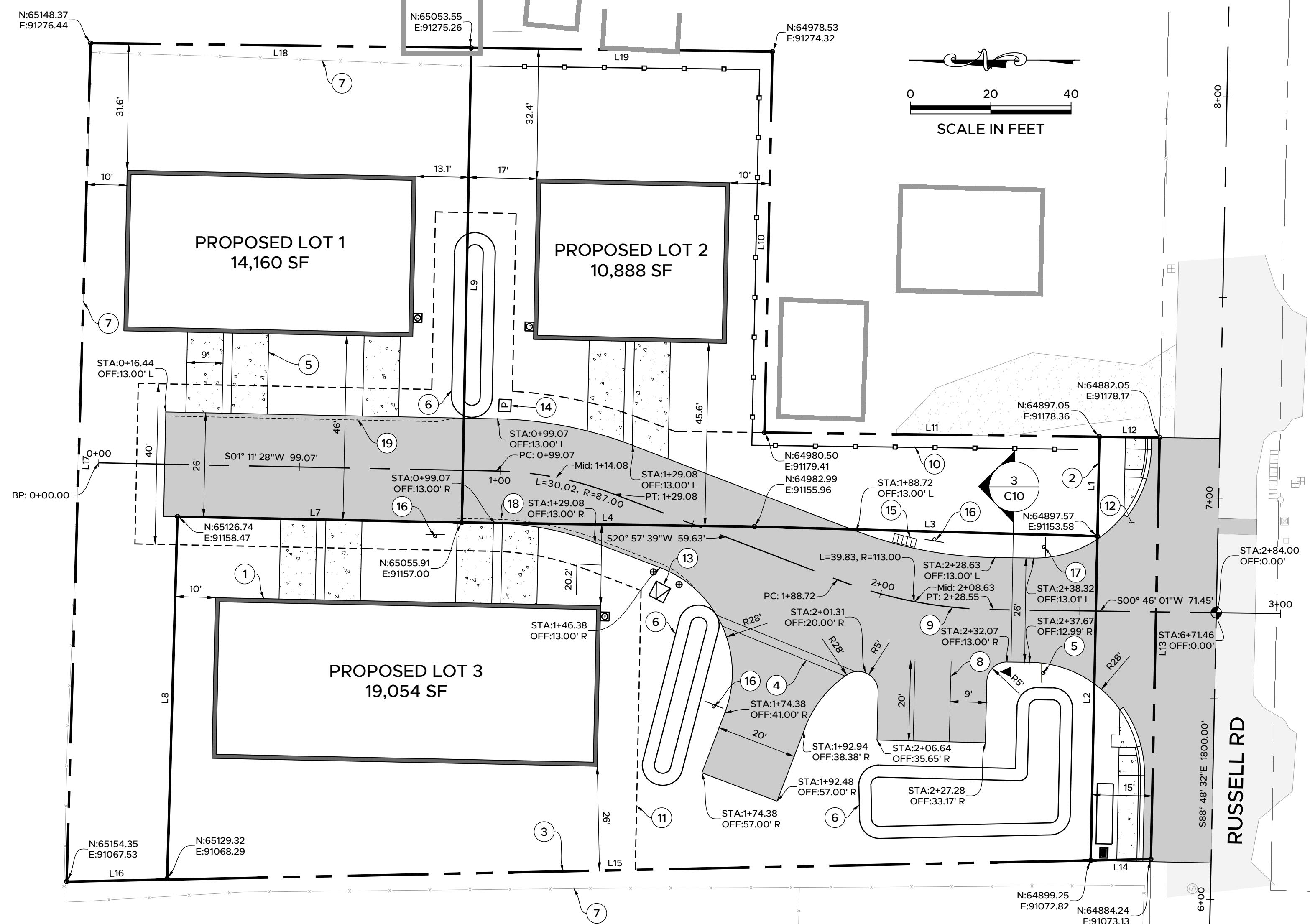
**SITE & HORIZONTAL CONTROL PLAN**

PROJ. NO.:	BB203
REVIEWED BY:	NDT
DESIGNED BY:	NDT
DRAWN BY:	RCB
DATE:	11-12-2023

Know what's BELOW  
Call 811 before you dig.



APPROVED FOR CONSTRUCTION  
CITY ENGINEER DATE  
APPROVAL EXPIRES 1 YEAR FROM ABOVE DATE  
C3  
3 of 13



LINE TABLE		
#	DISTANCE	BEARING
L1	24.77	S88° 48' 31.82"E
L2	80.80	S88° 48' 31.82"E
L3	83.45	S01° 36' 09.67"W
L4	77.08	S00° 50' 07.14"W
L7	68.69	S01° 11' 28.03"W
L8	90.46	S88° 21' 38.58"E
L9	118.28	N88° 51' 34.58"W
L10	94.93	S88° 48' 31.82"E
L11	83.46	N00° 42' 58.71"E
L12	15.00	N00° 42' 58.71"E
L13	105.07	S88° 48' 31.82"E
L14	15.01	S01° 11' 18.24"E
L15	230.13	S01° 11' 18.24"E
L16	25.03	S01° 11' 18.24"E
L17	209.00	N88° 21' 38.58"W
L18	94.83	N00° 42' 58.71"E
L19	75.03	N00° 42' 58.71"E

## # KEY NOTES

1. PROPOSED ROOF DRAIN CLEANOUT PER DETAIL 6/C11
2. PROPOSED ROOF DRAIN PER DETAIL 6/C11
3. PROPOSED TYPE 1 CATCH BASIN WITH SOLID LOCKING LID PER DETAIL 8/C9
4. PROPOSED 4' X 30' INFILTRATION TRENCH PER DETAIL 3/C11
5. PROPOSED 4' X 22.5' INFILTRATION TRENCH PER DETAIL 3/C11
6. PROPOSED 4' X 40.5' INFILTRATION TRENCH PER DETAIL 3/C11
7. PROPOSED FOOTING DRAIN CONNECTION
8. PROPOSED 4" - 6" QUARRY SPALL PAD UNDERLAIN BY MIRAFI 140N OR EQUIVALENT GEOTEXTILE, 1'-DEEP, GRADED TO DIRECT STORMWATER FROM THE ROAD TO THE PROPOSED BIORETENTION FACILITIES
9. PROPOSED BIORETENTION FACILITY WITH 3:1 SIDE SLOPES PER DETAIL 5/C11  
BOTTOM AREA: 180 SF  
BOTTOM ELEVATION: 171.23
10. PROPOSED BIORETENTION FACILITY WITH 3:1 SIDE SLOPES PER DETAIL 5/C11  
BOTTOM AREA: 180 SF  
BOTTOM ELEVATION: 170.50
11. PROPOSED BIORETENTION FACILITY WITH 3:1 SIDE SLOPES PER DETAIL 5/C11  
BOTTOM AREA: 680 SF  
BOTTOM ELEVATION: 168.45
12. PROPOSED OFFSITE INFILTRATION TRENCH PER FRONTAGE IMPROVEMENT PLAN
13. PROPOSED ASPHALT WEDGE CURB

# GRADING AND DRAINAGE NOTES

1. AFTER EXCAVATION TO THE BOTTOM ELEVATION OF THE BIORETENTION FACILITIES AND INFILTRATION TRENCHES, CONTRACTOR SHALL HAVE PERFORMED, BY OR WITH OVERSIGHT FROM A GEOTECHNICAL ENGINEER, AN INFILTRATION TEST AT EACH FACILITY AND TRENCH LOCATION AS NECESSARY TO VERIFY THAT A MINIMUM DESIGN/FACTORED INFILTRATION RATE OF 26 IN/HR IS AVAILABLE AT EACH TEST LOCATION. CONTRACTOR SHALL PROVIDE RESULTS OF THE INFILTRATION TESTS TO THE PROJECT CIVIL ENGINEER PRIOR TO BACKFILL OF THE INFILTRATION FACILITIES WITH ANY MATERIAL.
2. ROOF DRAIN PIPE SHALL BE SDR 35 PVC AND SHALL BE AT A MINIMUM 2% GRADE TO DRAIN TO DISCHARGE LOCATION.
3. PIPE TRENCHING AND BACKFILL SHALL BE PER PIPE MANUFACTURER SPECIFICATIONS.
4. ALL PIPE SHALL BE CLEANED VIA FLUSHING PRIOR TO CONNECTION TO DISCHARGE LOCATION.
5. DRAIN FITTINGS SHALL BE SDR 35 PVC FITTINGS.
6. ROOF DRAIN PIPE SHALL BE LAID STRAIGHT WITH NO SAGS OR BENDS IN PIPE. BENDS SHALL BE CONSTRUCTED WITH WATERTIGHT FITTINGS. 45-DEGREE WYE CLEANOUTS SHALL BE INSTALLED UPSTREAM OF ALL BENDS AND SHALL BE PER DETAIL 6/C11.
7. CONNECT ALL DOWNSPOUTS TO ROOF DRAINS WITH SDR 35 PVC FITTINGS PER DETAIL 6/C11.
8. DO NOT CONNECT ROOF DRAIN PIPE TO FOOTING DRAIN PIPE. FOOTING DRAINS SHALL BE TIGHTLINED DIRECTLY TO THE CATCH BASIN AT THE PROPOSED INFILTRATION TRENCH FOR EACH RESPECTIVE BUILDING.
9. BOTTOM ELEVATION OF INFILTRATION TRENCHES SHALL BE SET BASED ON DETAIL 3/C11 AND DEPTH OF ROOF DRAIN AND FOOTING DRAIN INVERTS
10. PLANT BIORETENTION FACILITIES PER DETAIL 2/C11 AND APPROVED LANDSCAPE PLAN

O.J. NO: **BB203**

---

VIEWED BY: **NDT**

---

SIGNED BY: **NDT**

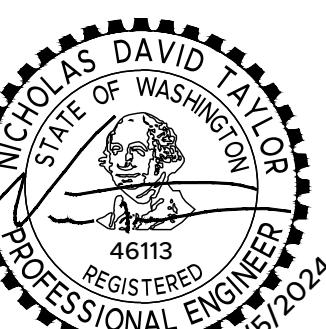
---

AWN BY: **RCB**

---

ATE: **12-19-2023**

Know what's BELOW  
Call 811 before you dig.



MOVED FOR CONSTRUCTION  
\_\_\_\_\_

ENGINEER DATE

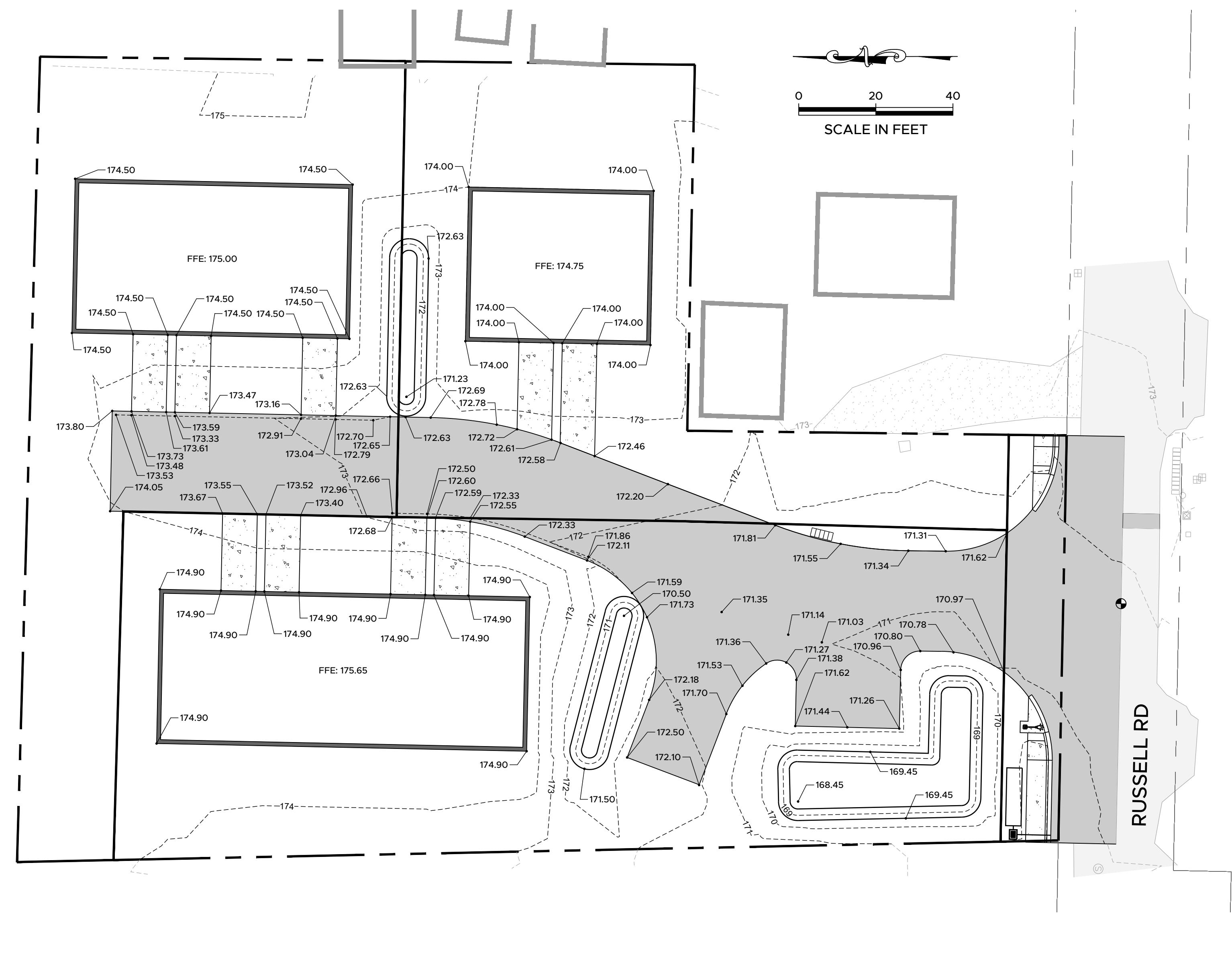
\_\_\_\_\_

OVAL EXPIRES 1 YEAR FROM ABOVE DATE

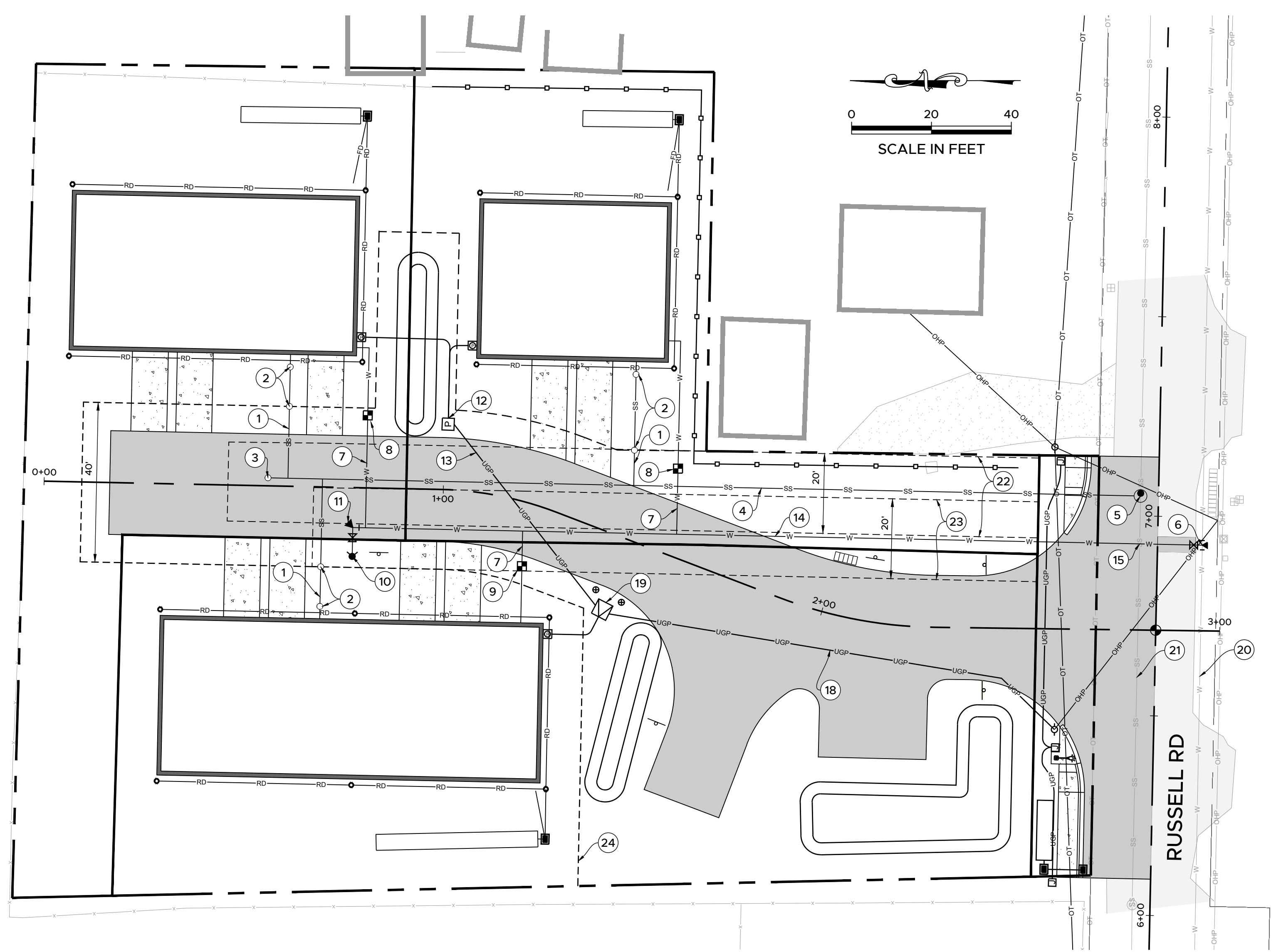
C4

**GRADING PLAN**

BELLA ROSE LANE  
TOWNHOMES  
NW1/4, NW 1/4, S06, T14N, R02W  
LEWIS CO PPN 02107062002  
3005 RUSSELL RD  
CENTRALIA, WA

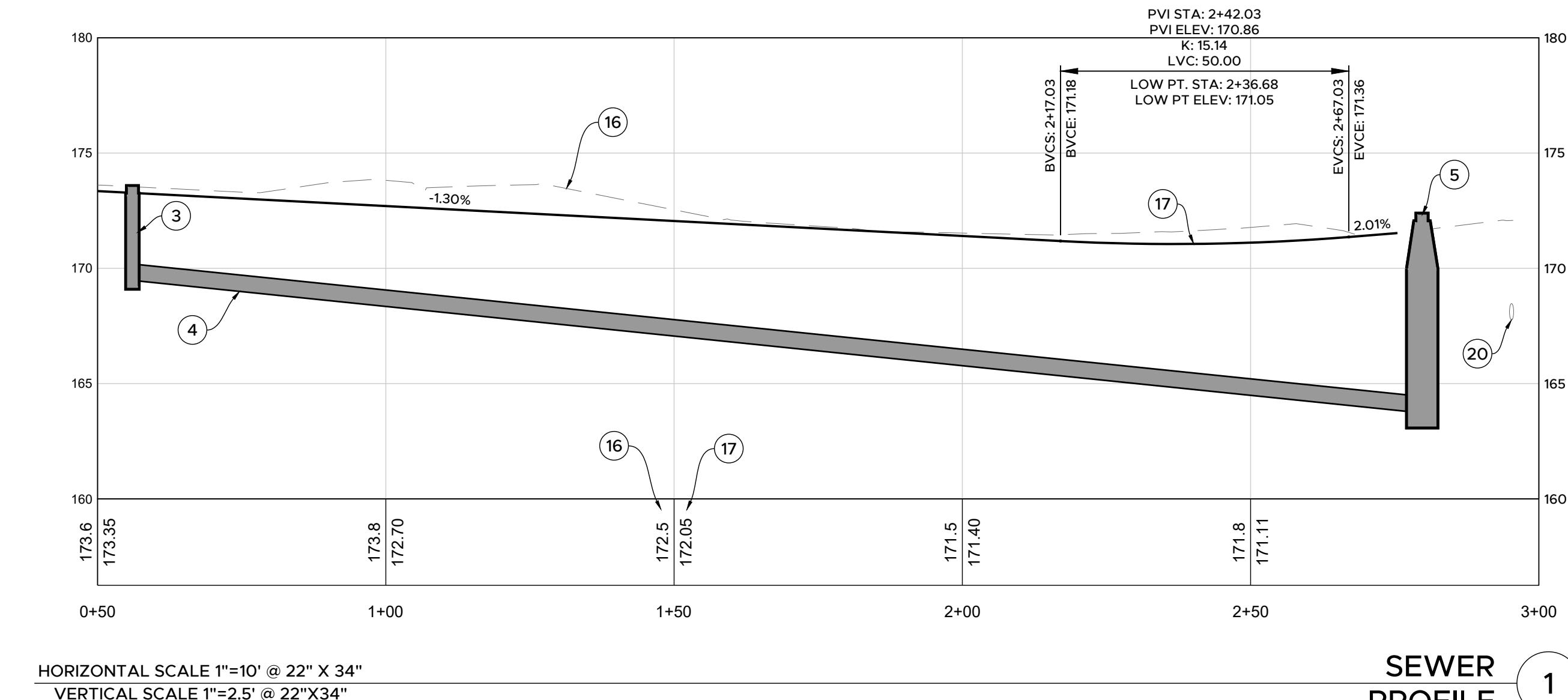
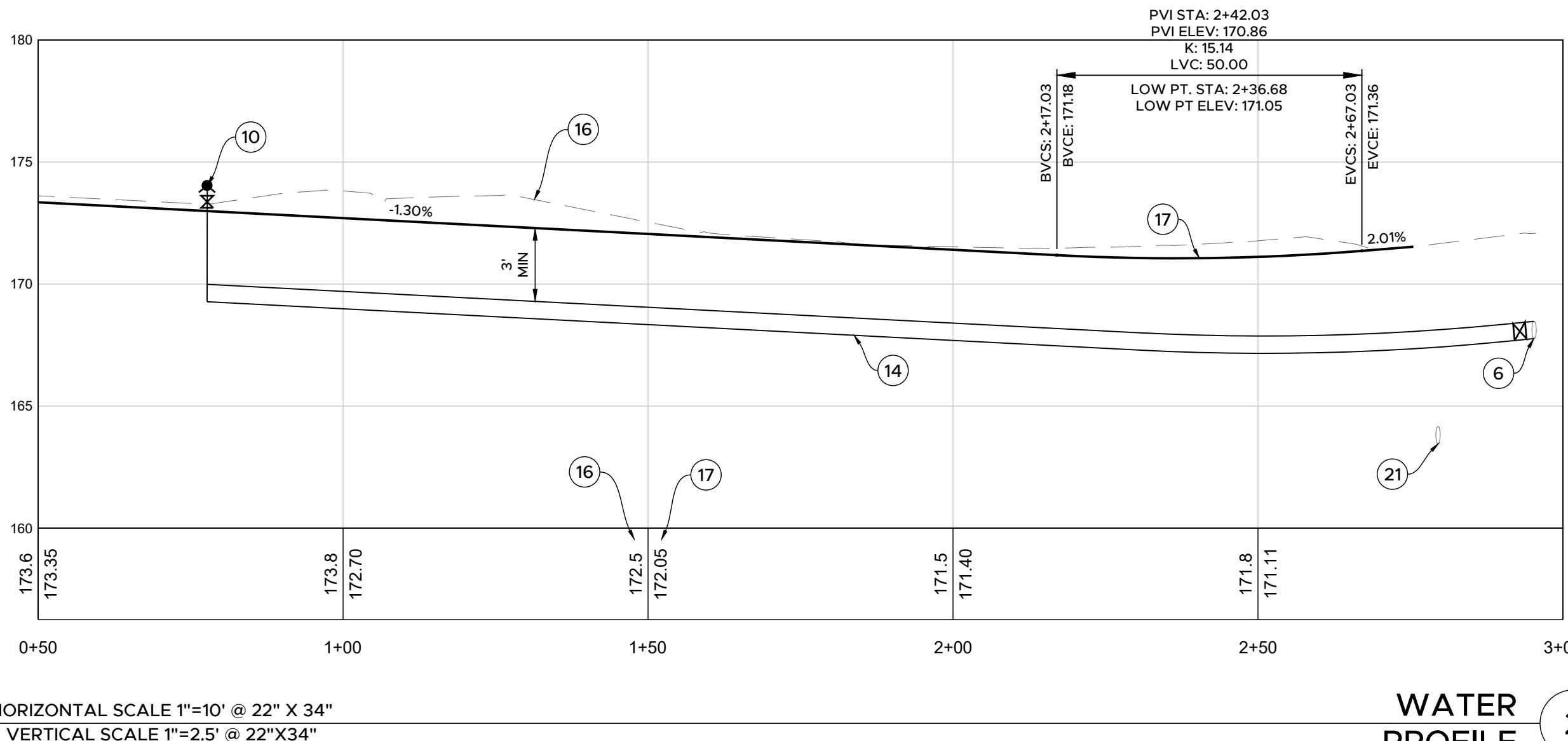


## UTILITY PLAN



## UTILITY NOTES

- ALL PIPES IN PAVED AREAS SHALL BE INSTALLED PER DETAIL 1/C10.
- ALL PIPES IN UNPAVED AREAS SHALL BE INSTALLED PER DETAIL 6/C9.
- ALL POWER WORK SHALL BE IN ACCORDANCE WITH THE PLAN PREPARED BY THE CITY OF CENTRALIA.
- OWNER/CONTRACTOR IS RESPONSIBLE FOR OBTAINING EASEMENTS AS NECESSARY FOR ALL PROPOSED AND MODIFIED UTILITIES.
- ALL THRUST BLOCKING SHALL BE PER DETAILS 6.8/C8
- SEE CENTRALIA CITY LIGHT PLANS FOR REQUIRED CONDUIT SIZE AND INSTALLATION REQUIREMENTS.



PROJ. NO.:	BB203
REVIEWED BY:	NDT
DESIGNED BY:	NDT
DRAWN BY:	RCB
DATE:	11-12-2023

Know what's BELOW  
Call 811 before you dig.



APPROVED FOR CONSTRUCTION	
CITY ENGINEER	DATE
APPROVAL EXPIRES 1 YEAR FROM ABOVE DATE	

C6

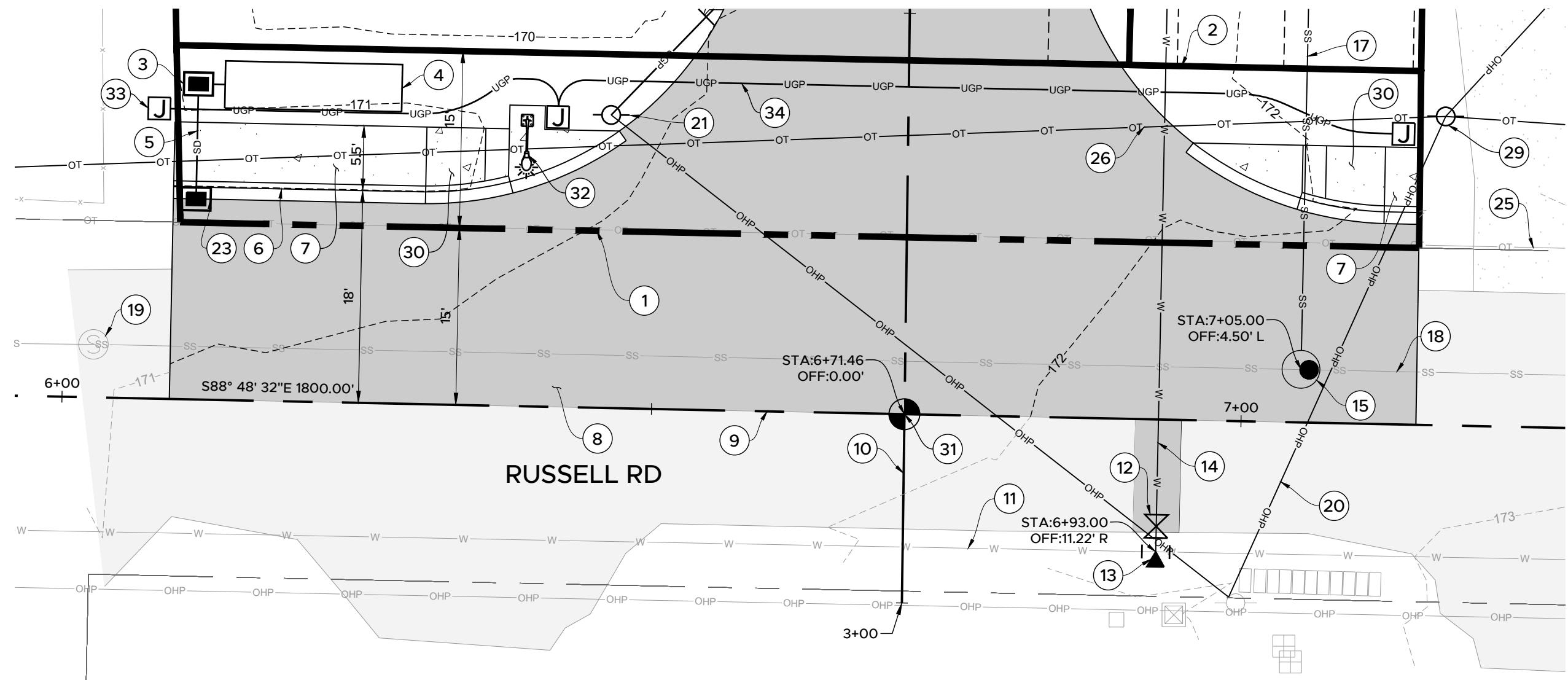
6 of 13

**UTILITY NOTES**

- ALL PIPES IN PAVED AREAS SHALL BE INSTALLED PER DETAIL 6/C9.
- ALL PIPES IN UNPAVED AREAS SHALL BE INSTALLED PER DETAIL 1/C10.
- ALL POWER WORK SHALL BE IN ACCORDANCE WITH THE PLAN PREPARED BY THE CITY OF CENTRALIA.
- OWNER/CONTRACTOR IS RESPONSIBLE FOR OBTAINING EASEMENTS AS NECESSARY FOR ALL PROPOSED AND MODIFIED UTILITIES.

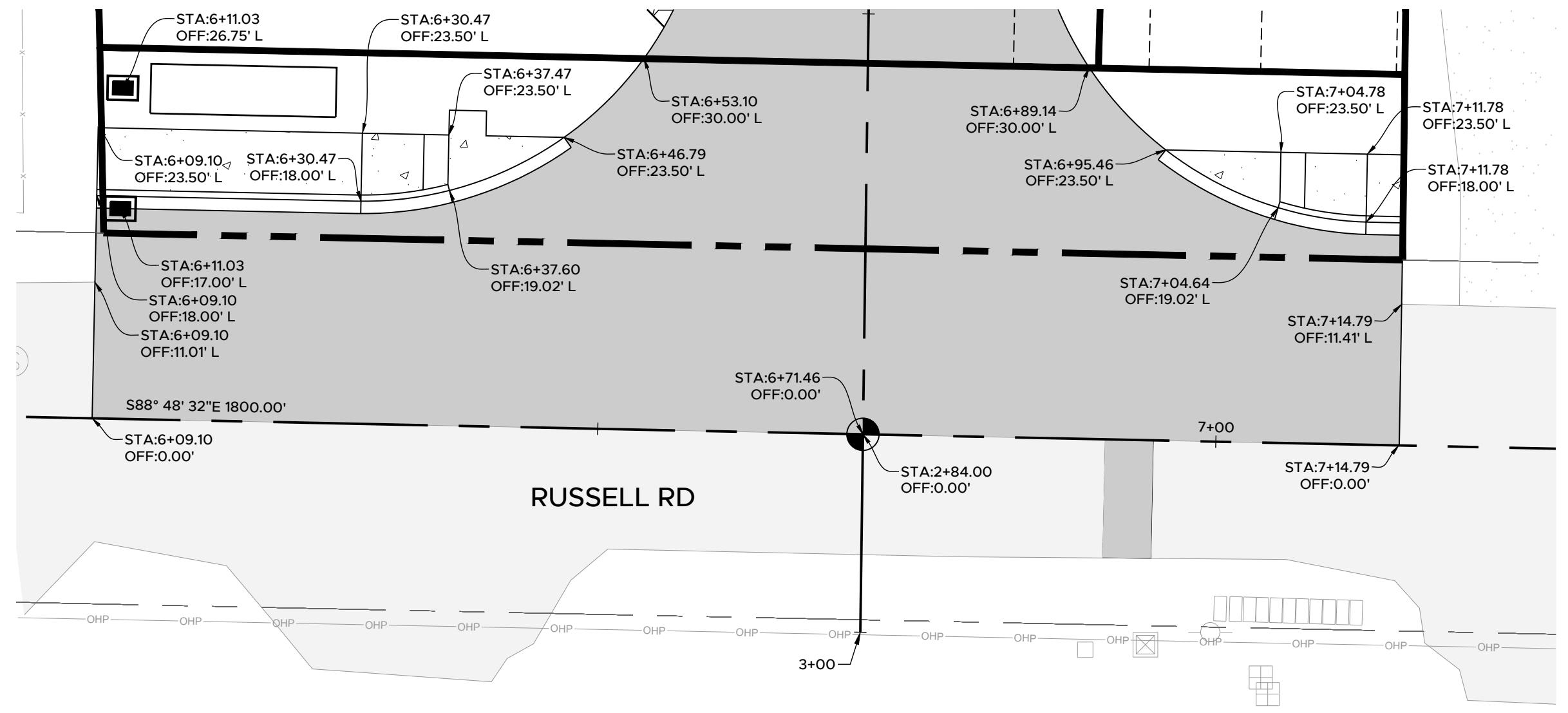
**# KEY NOTES**

- EXISTING PROPERTY BOUNDARY
- PROPOSED PROPERTY BOUNDARY AFTER ROW DEDICATION
- PROPOSED CATCH BASIN PER DETAIL 8/C9  
RIM: 170.79  
8" IE IN (S): 167.92  
8" IE OUT (E): 167.92
- PROPOSED 4' X 15' INFILTRATION TRENCH PER DETAIL 2/C12
- PROPOSED 10 LF 12" ADS N-12 AT 0.5% GRADE TO DRAIN
- PROPOSED CURB AND GUTTER PER DETAIL 4/C11 (TYP)
- PROPOSED SIDEWALK PER DETAIL 5/C10 (TYP)
- PROPOSED ASPHALT WIDENING AND FULL DEPTH REPLACEMENT TO CENTERLINE PER DETAIL 2/C10
- EXISTING RUSSELL RD ROADWAY CENTERLINE
- PROPOSED BELLA ROSE LANE CENTERLINE
- EXISTING 6" PVC WATER MAIN; DEPTH UNKNOWN
- PROPOSED 8" GATE VALVE PER DETAIL 7/C8 WITH VALVE BOX PER DETAIL 5/C8
- PROPOSED CUT-IN TEE PER DETAIL 7/C8. PROVIDE WATER
- DEPARTMENT 1 WEEK NOTICE PRIOR TO WATER MAIN SHUT DOWN PRIOR TO CUTTING IN TEE. WATER DEPARTMENT WILL PROVIDE NOTIFICATION TO AREA RESIDENTS AFFECTED AND ASSIST WITH SHUTDOWN OF VALVES ON EXISTING SYSTEM.
- PROPOSED 213 LF 8" C900 PVC WATER MAIN
- PROPOSED TYPE 1 SANITARY SEWER MANHOLE PER DETAIL 5/C13  
RIM: 172.31  
8" IE (W/E): 163.65  
8" IE (N): 163.75
- NOT USED
- PROPOSED 8" SDR35 PVC SANITARY SEWER MAIN @ 0.0263 FT/FT
- EXISTING 8" PVC SANITARY SEWER MAIN AT 0.0052 FT/FT
- EXISTING SANITARY SEWER MANHOLE  
RIM: 170.78  
8" IE IN (E): 163.12  
8" IE OUT (W): 163.04
- PROPOSED RELOCATED OVERHEAD POWER LINE
- PROPOSED POWER POLE

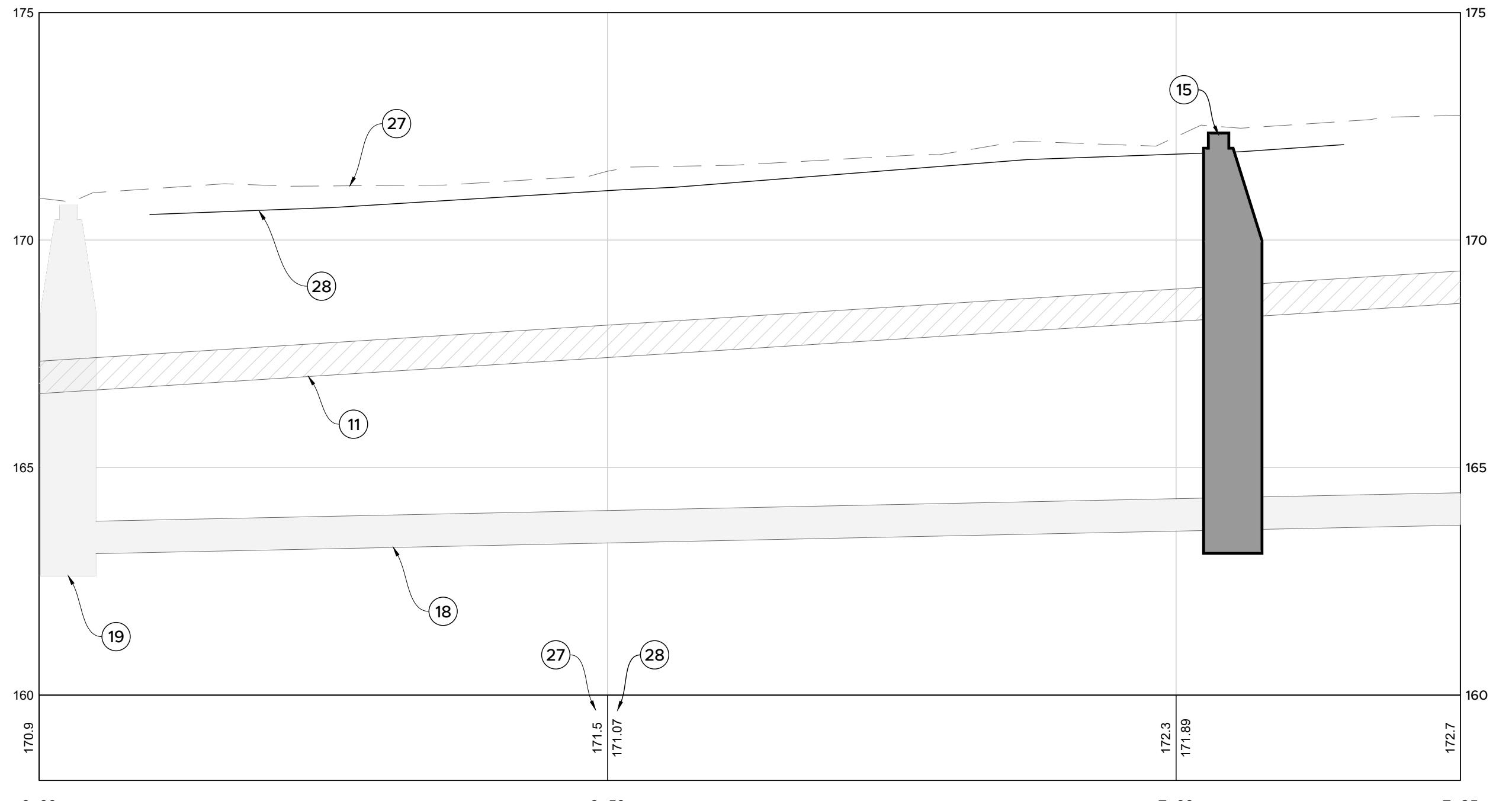


FRONTAGE PLAN 4

SCALE IN FEET

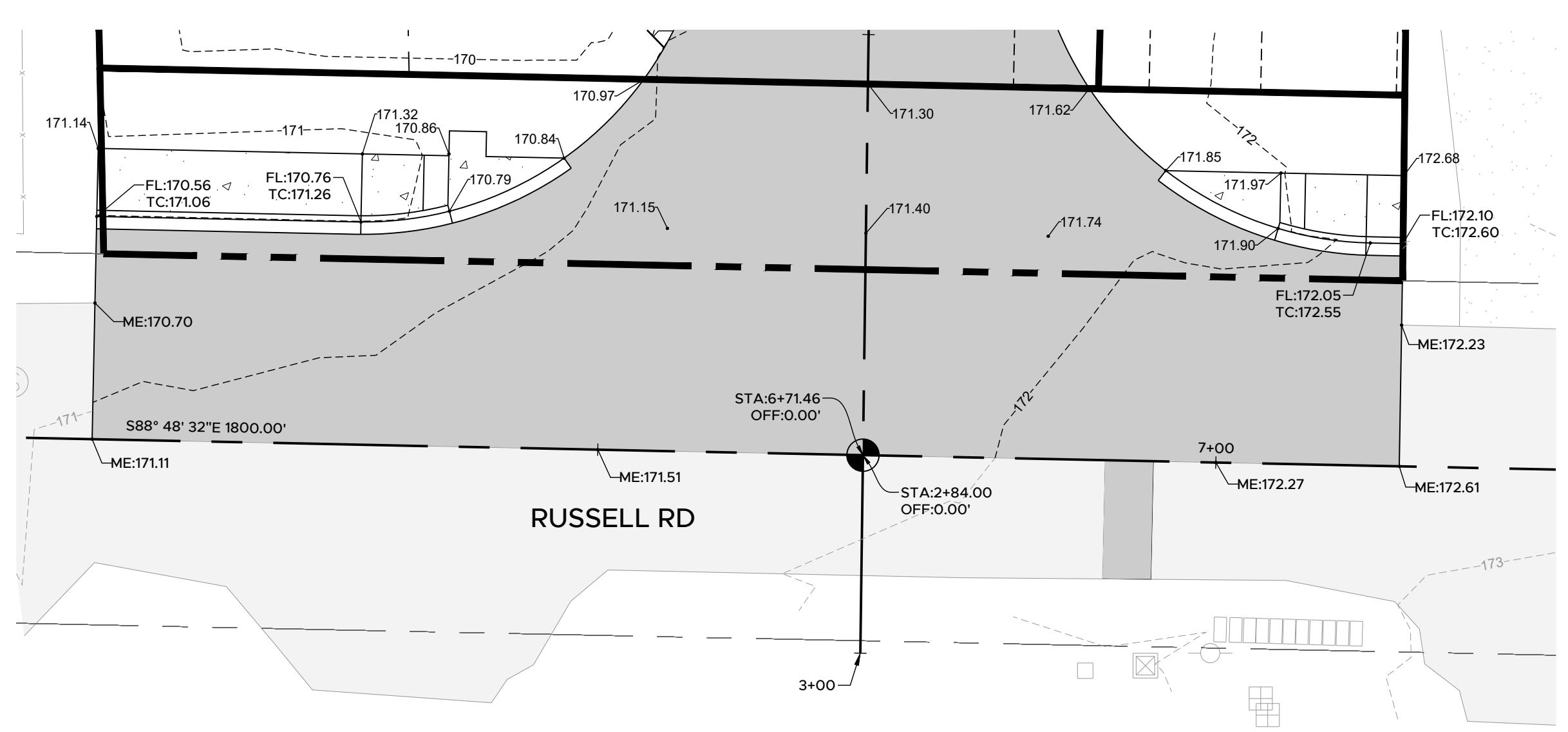


FRONTAGE HORIZONTAL CONTROL DETAIL 2



FRONTAGE PROFILE 3

SCALE IN FEET



FRONTAGE GRADING DETAIL 1

PROJ. NO.: BB203  
REVIEWED BY: NDT  
DESIGNED BY: NDT  
DRAWN BY: RCB  
DATE: 11-12-2023

Know what's BELOW  
Call 811 before you dig.

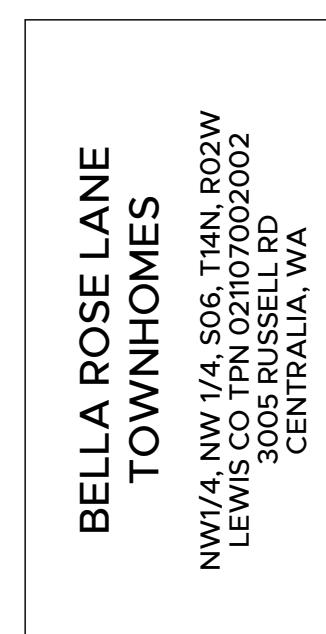
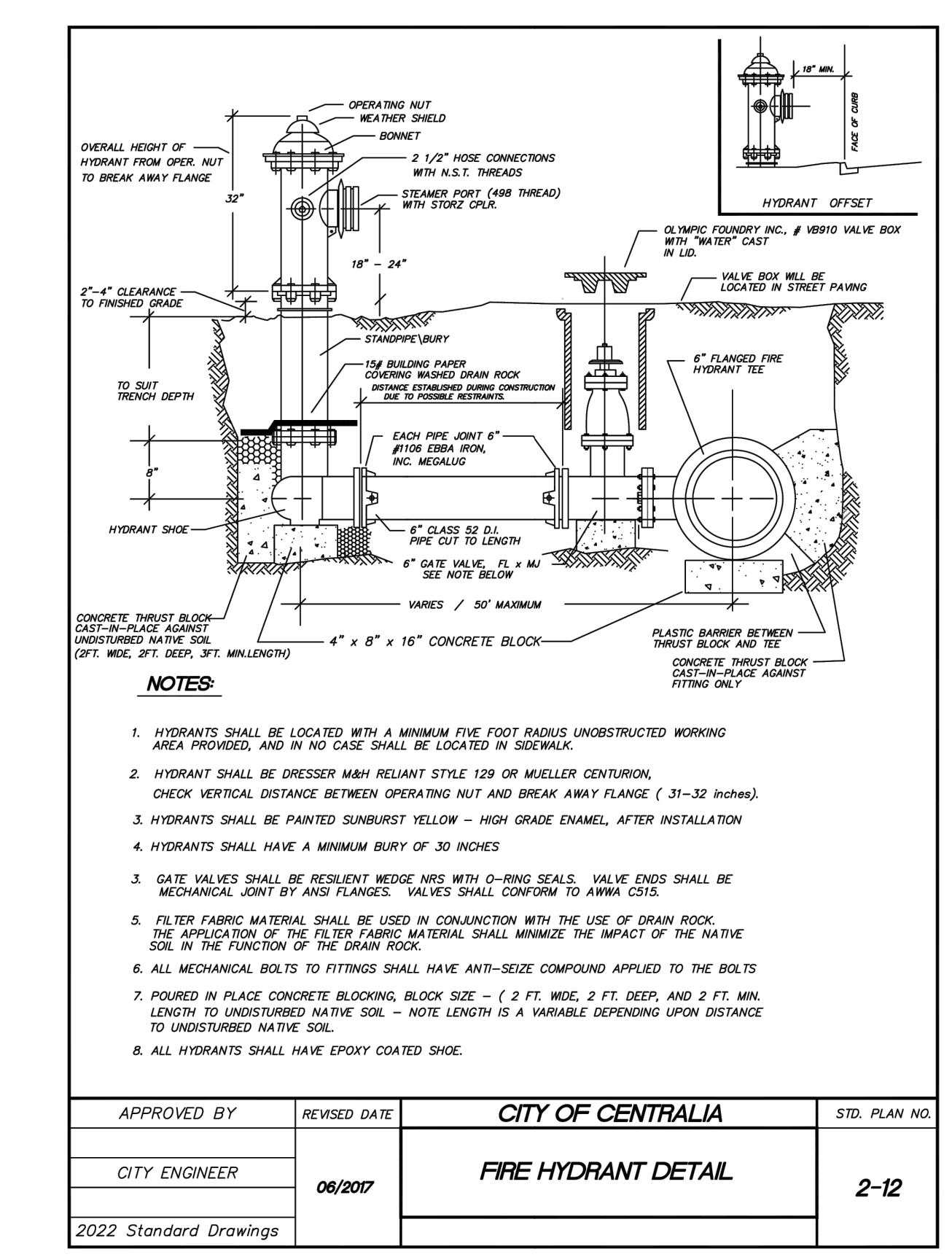
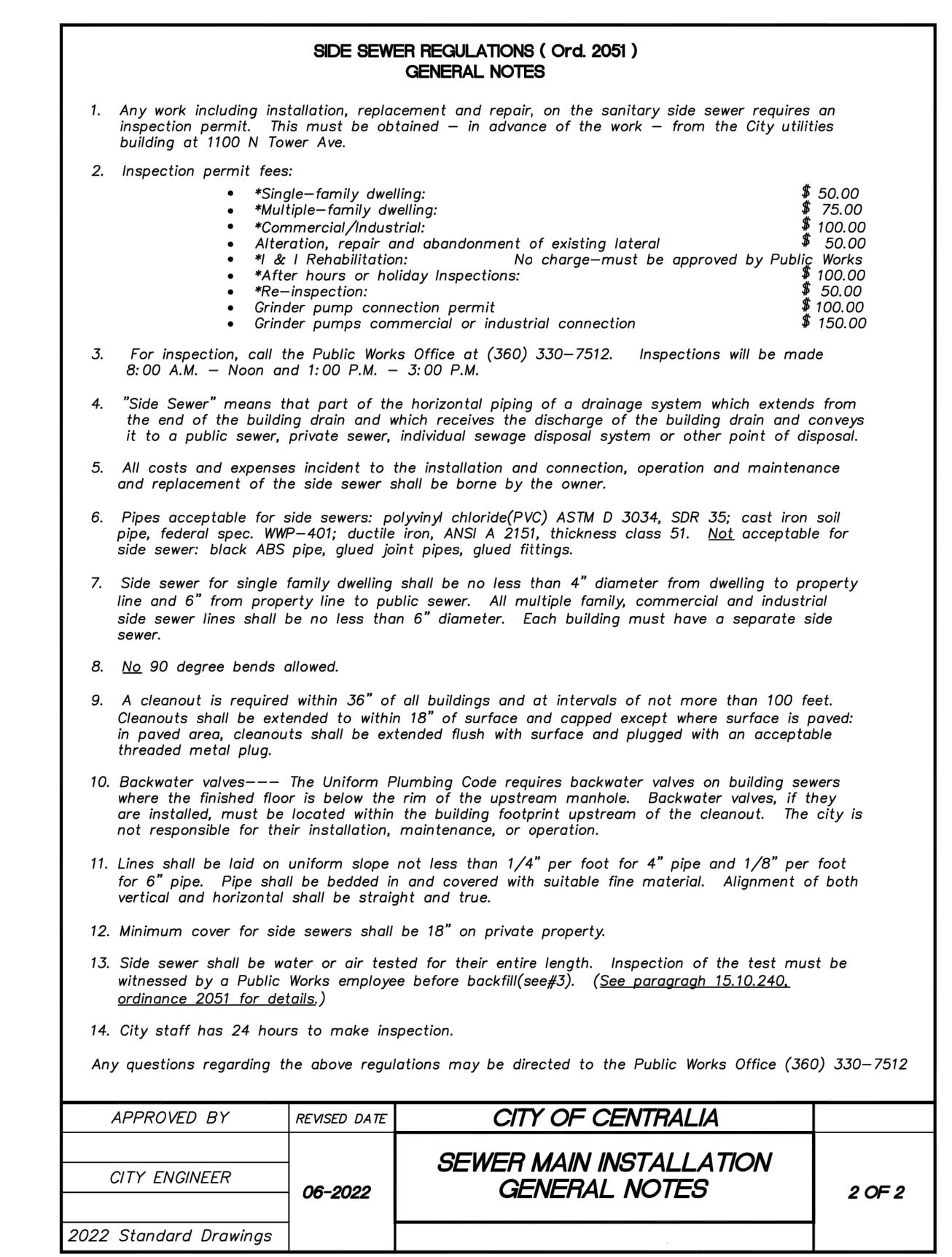
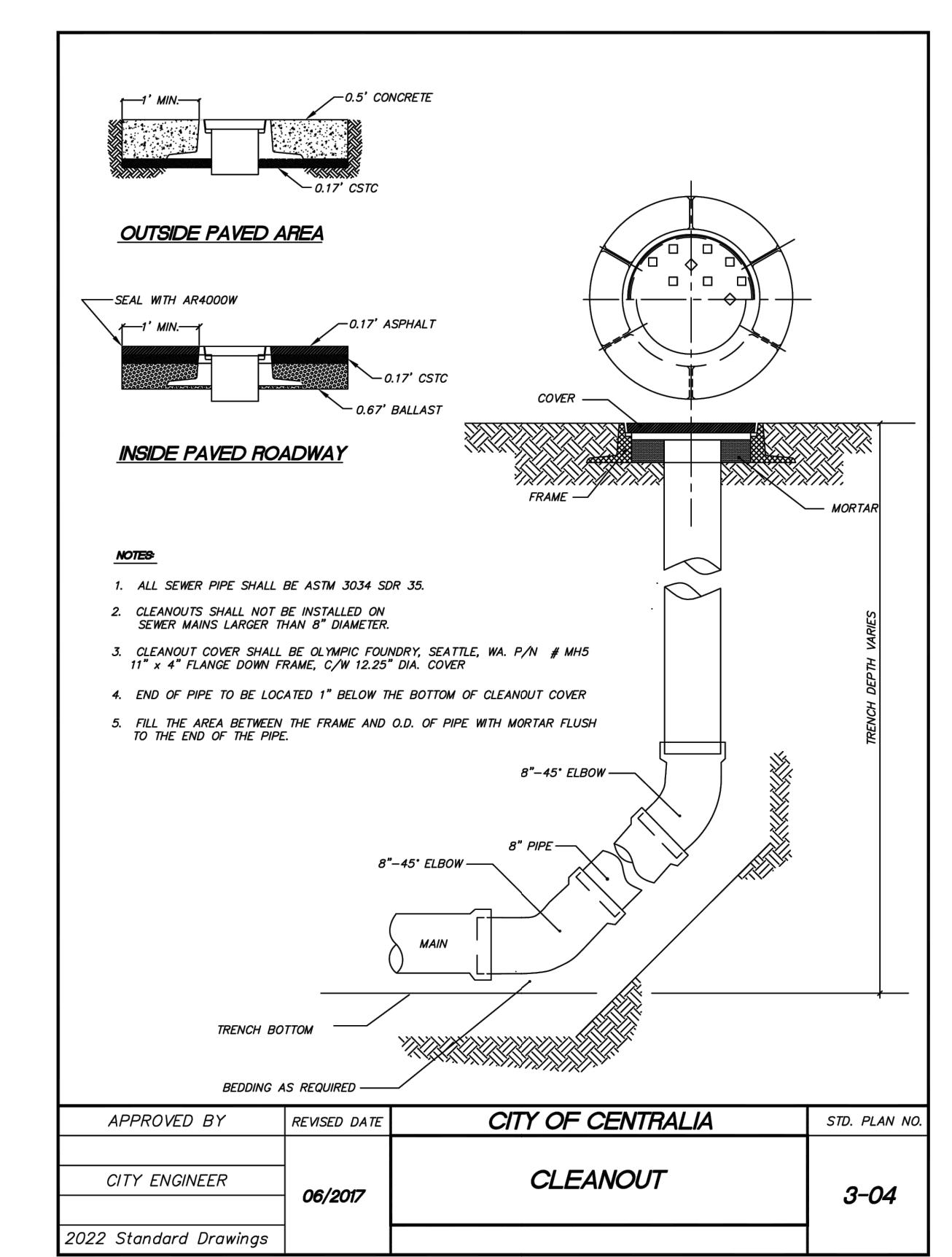
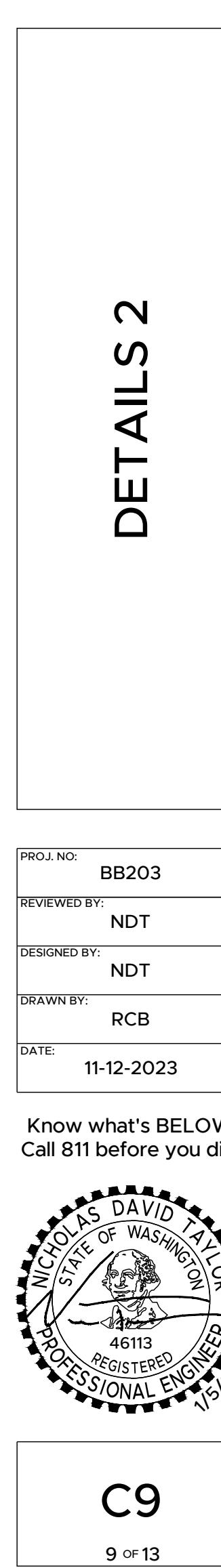
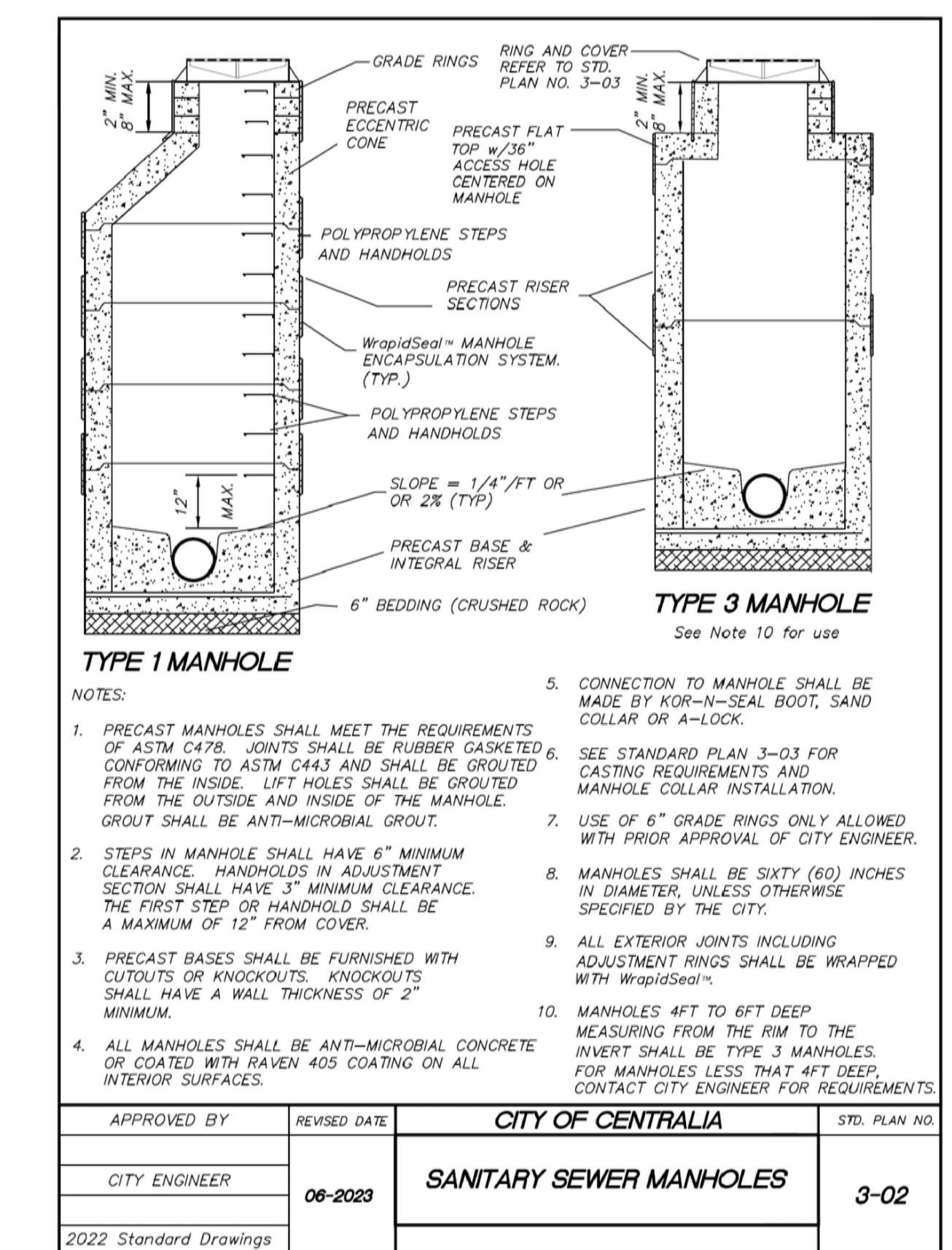
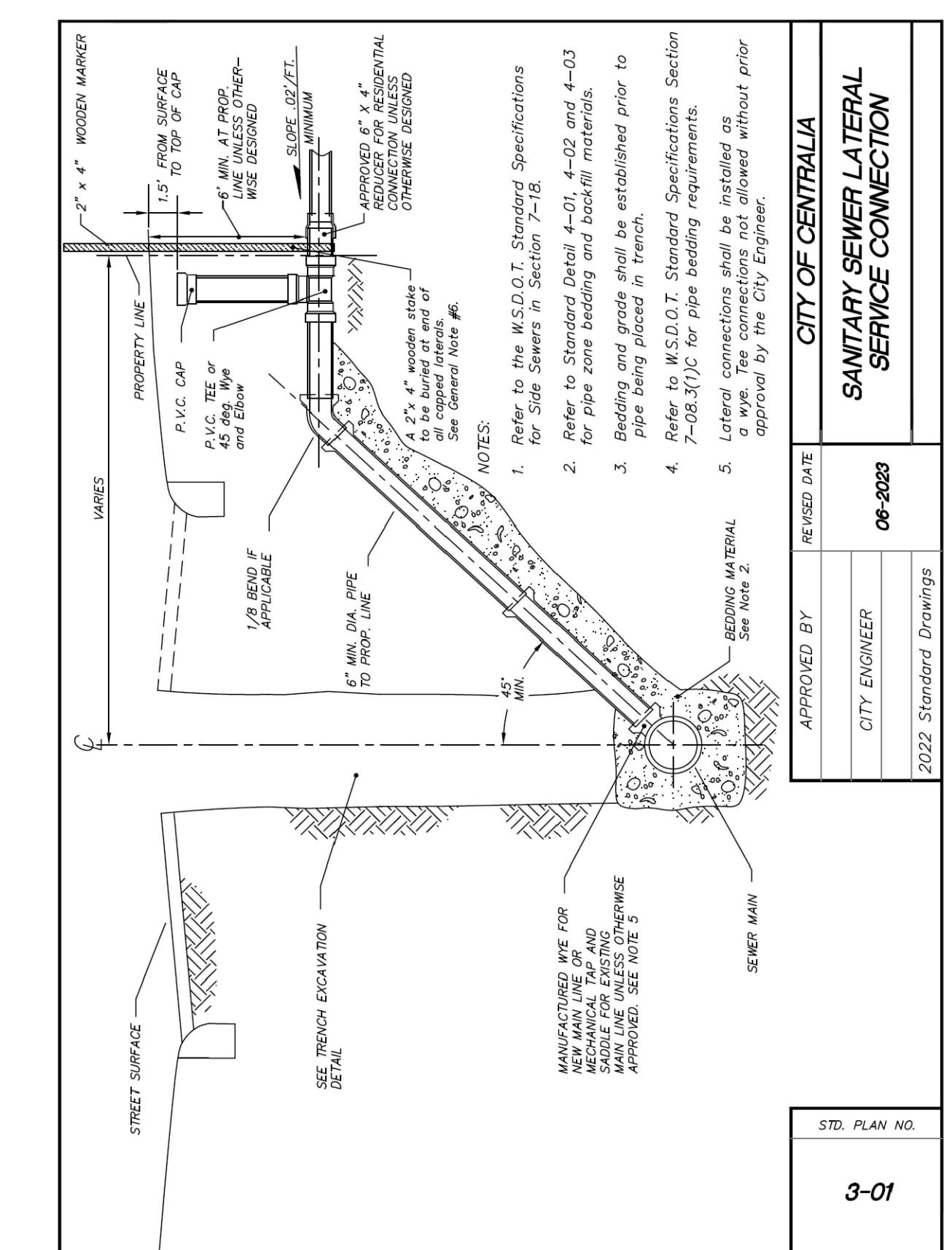
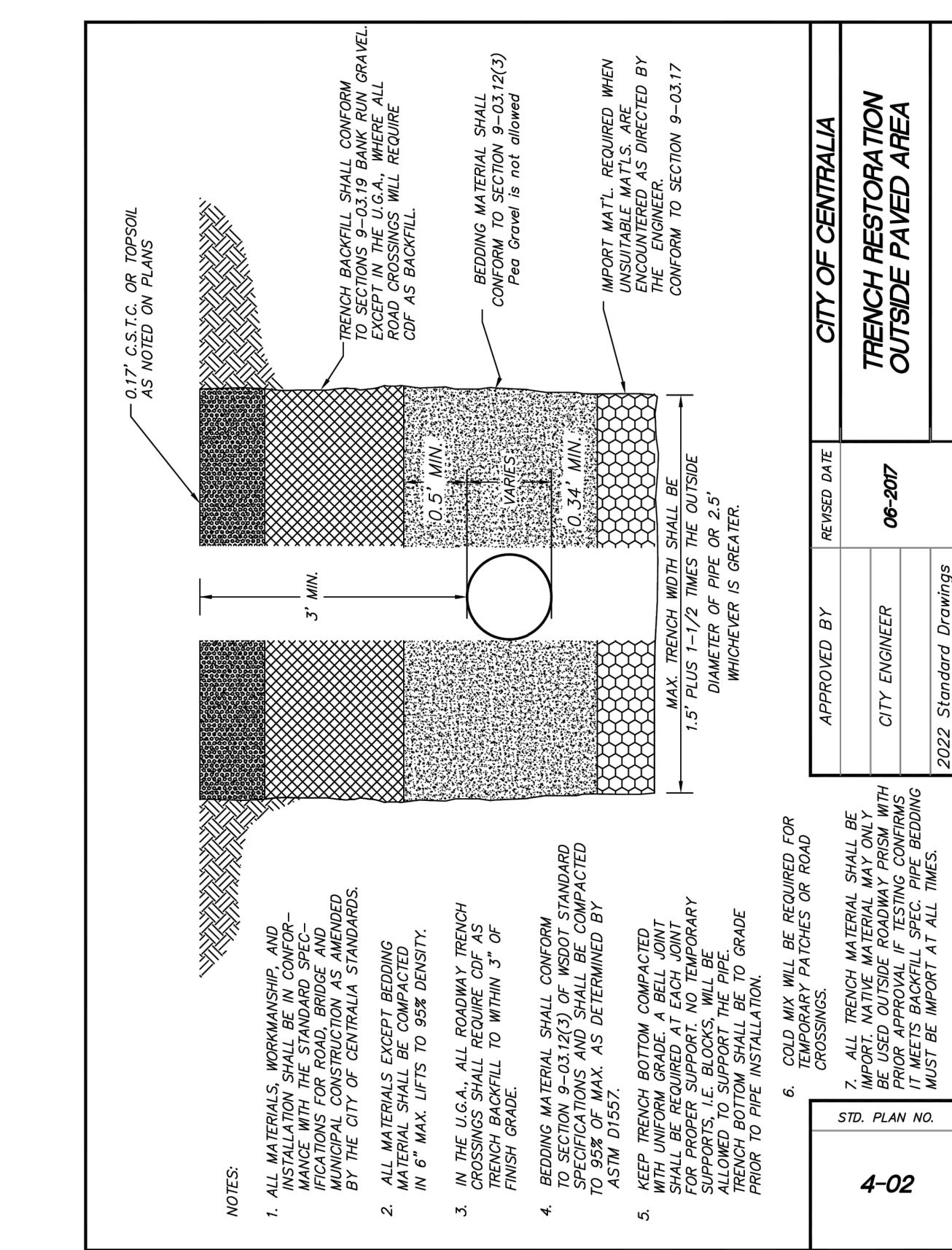


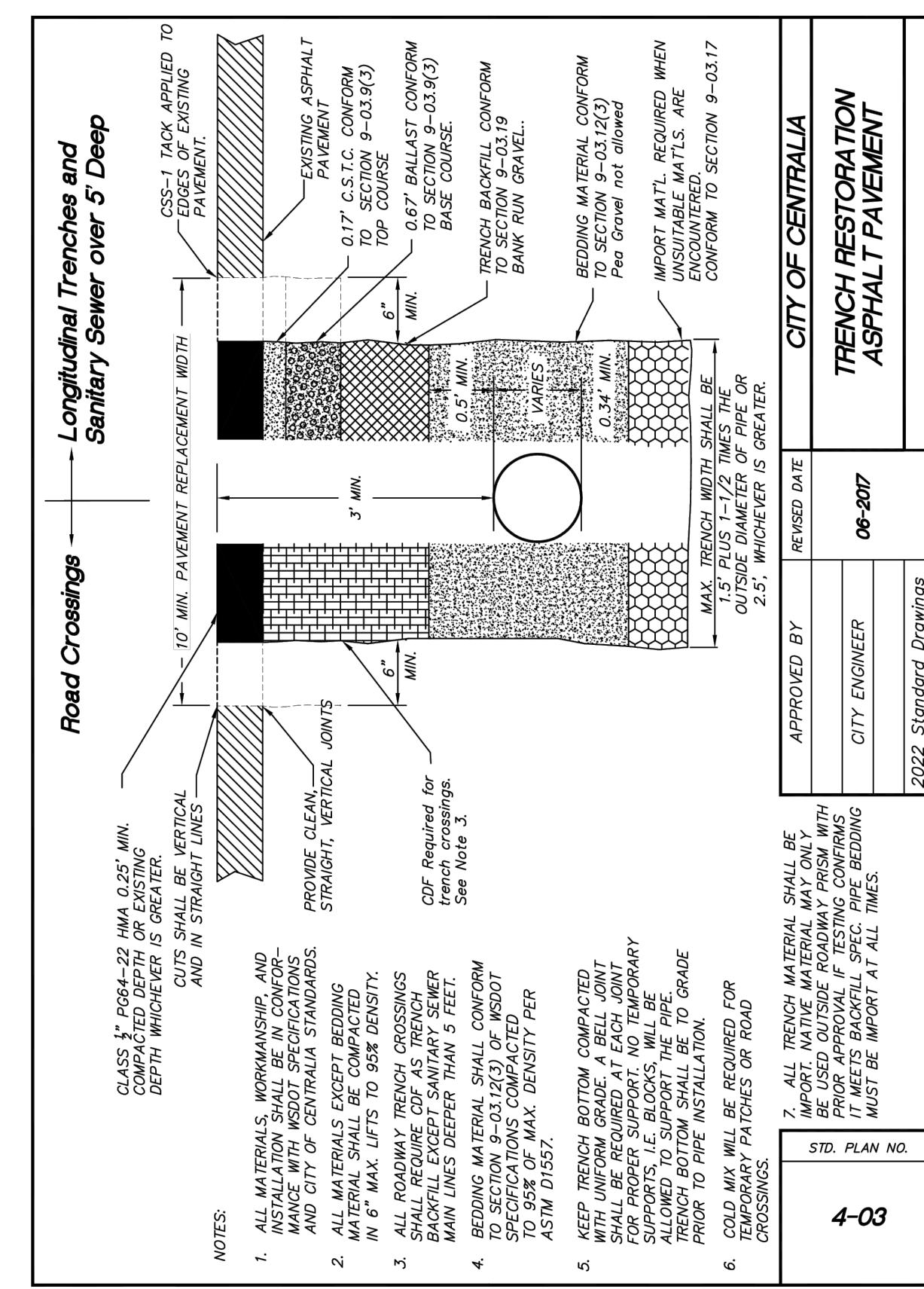
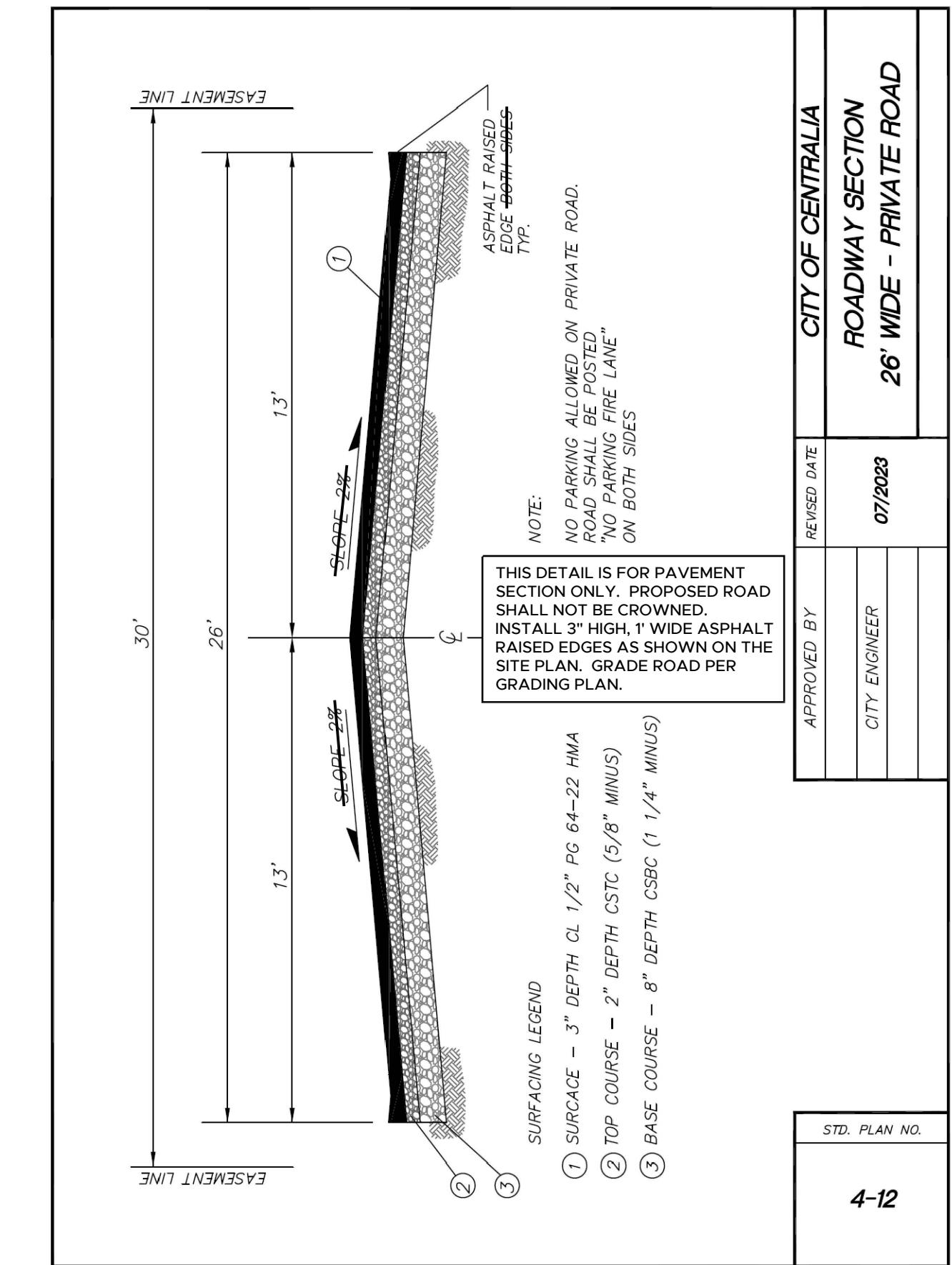
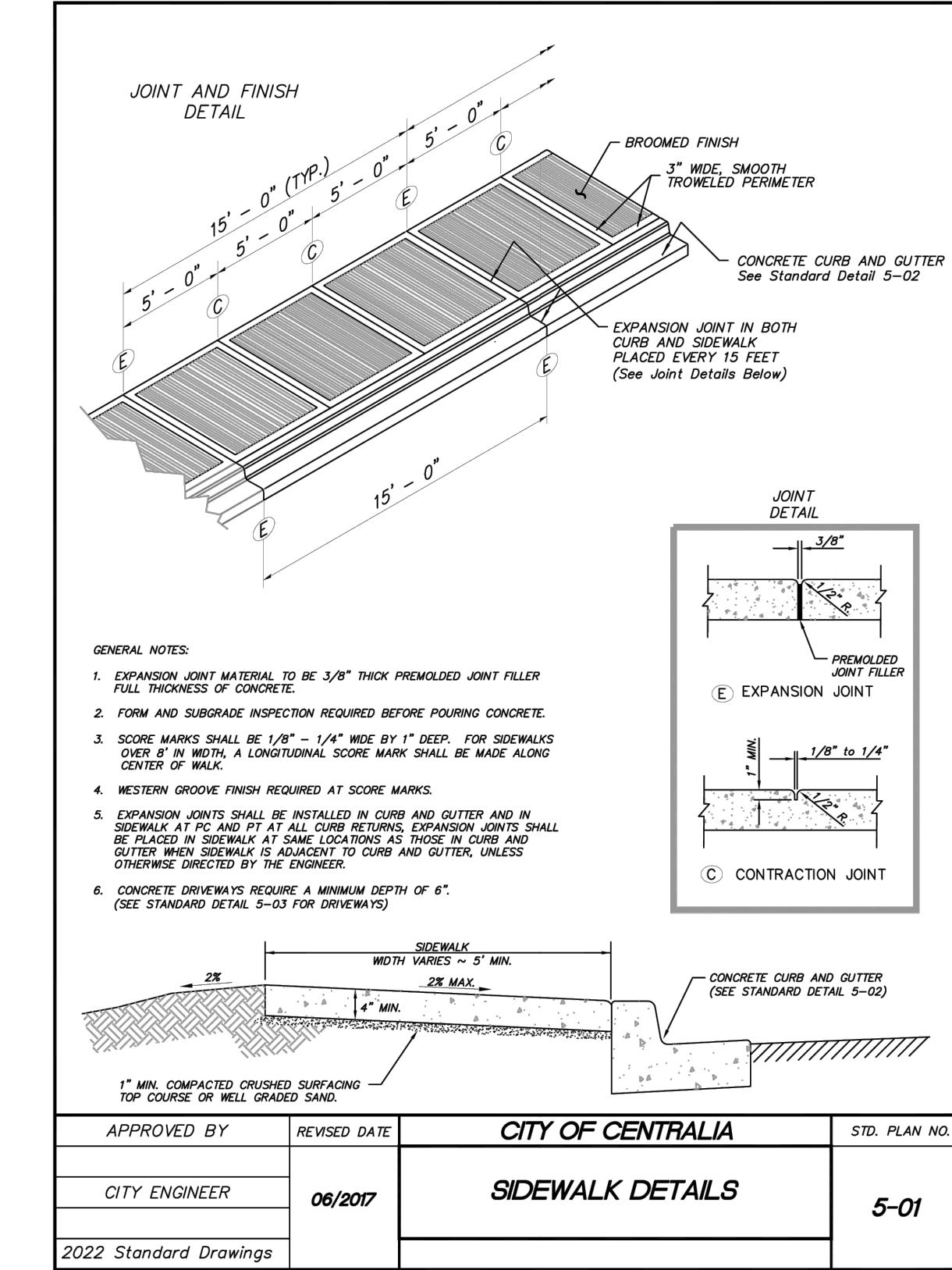
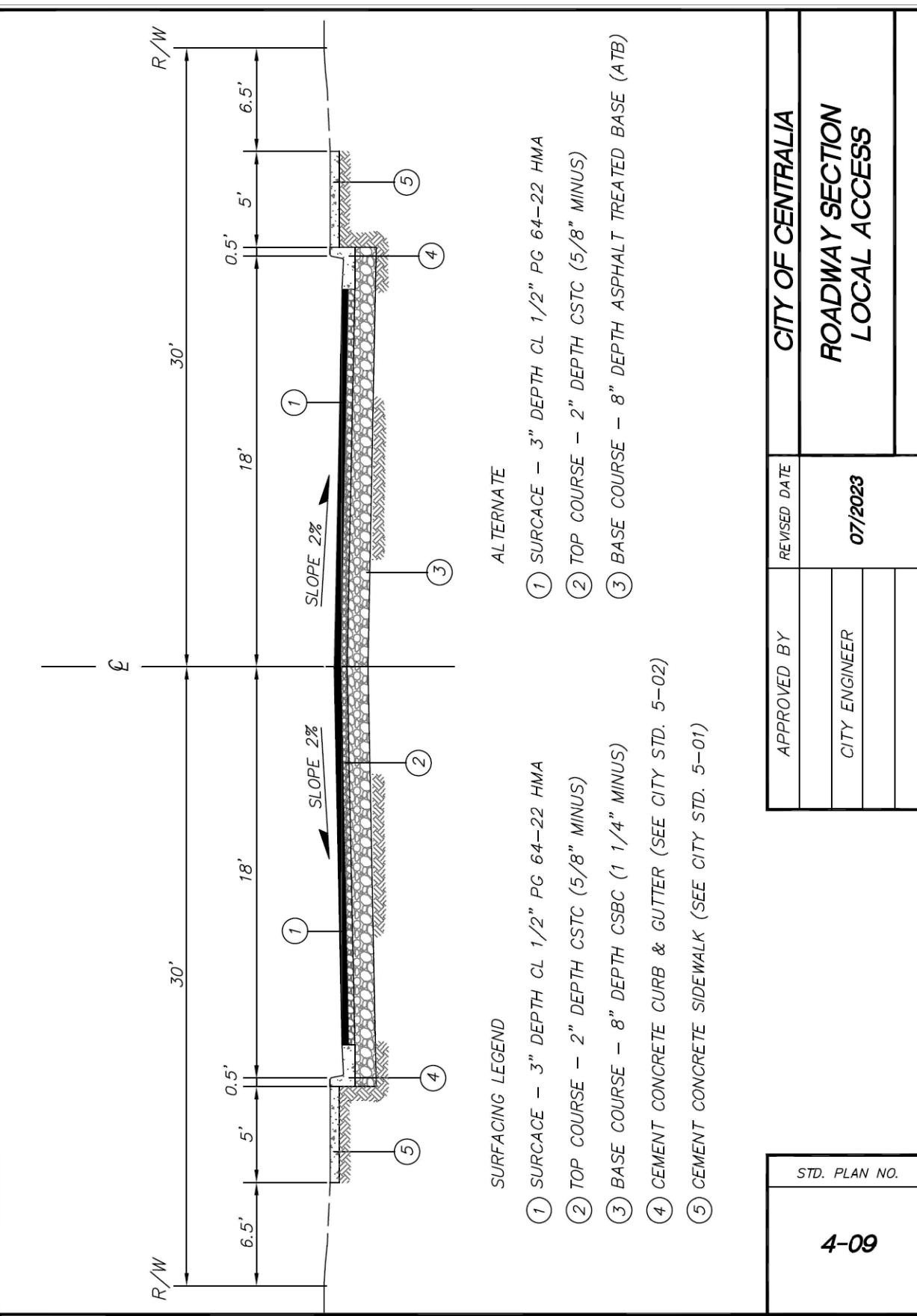
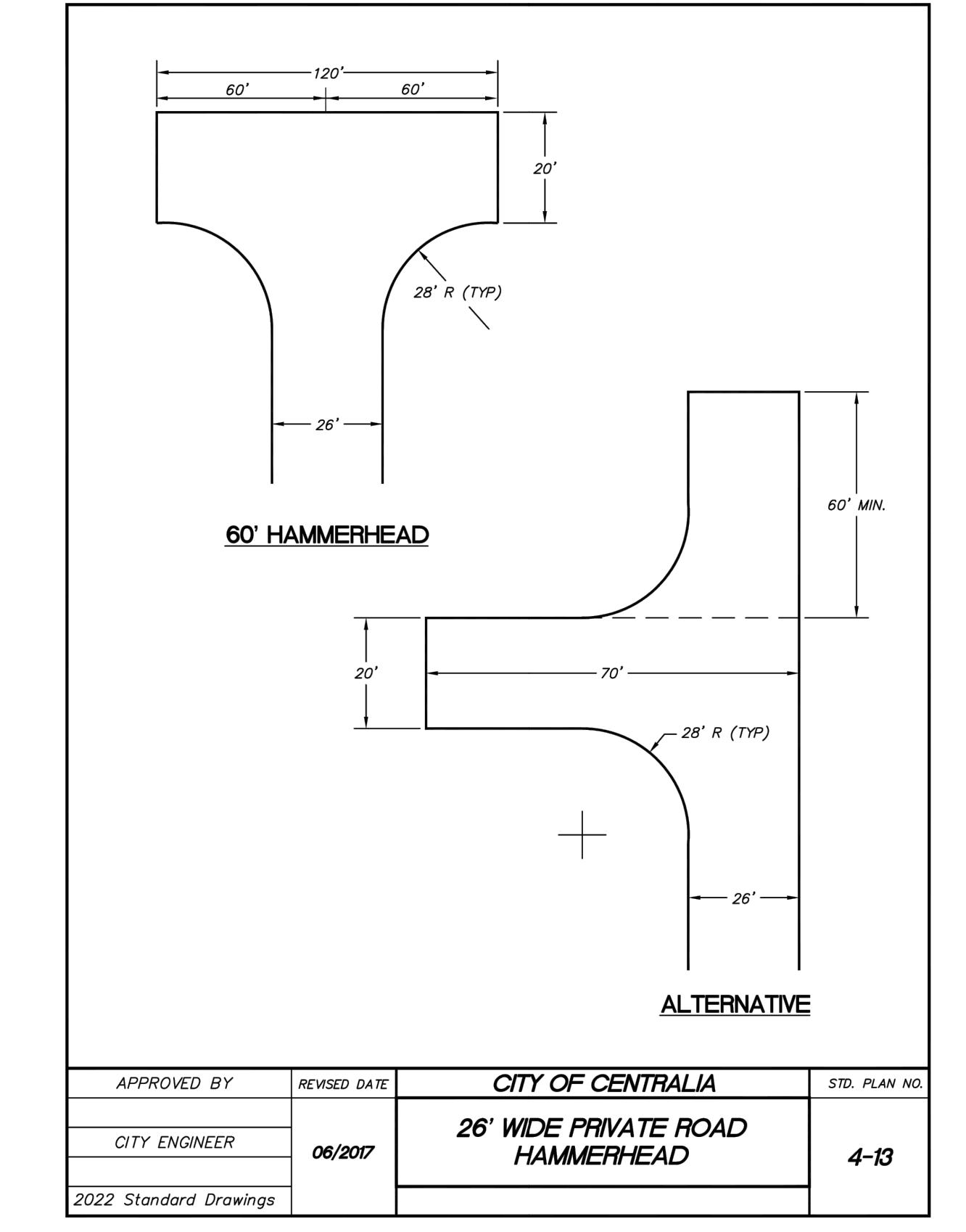
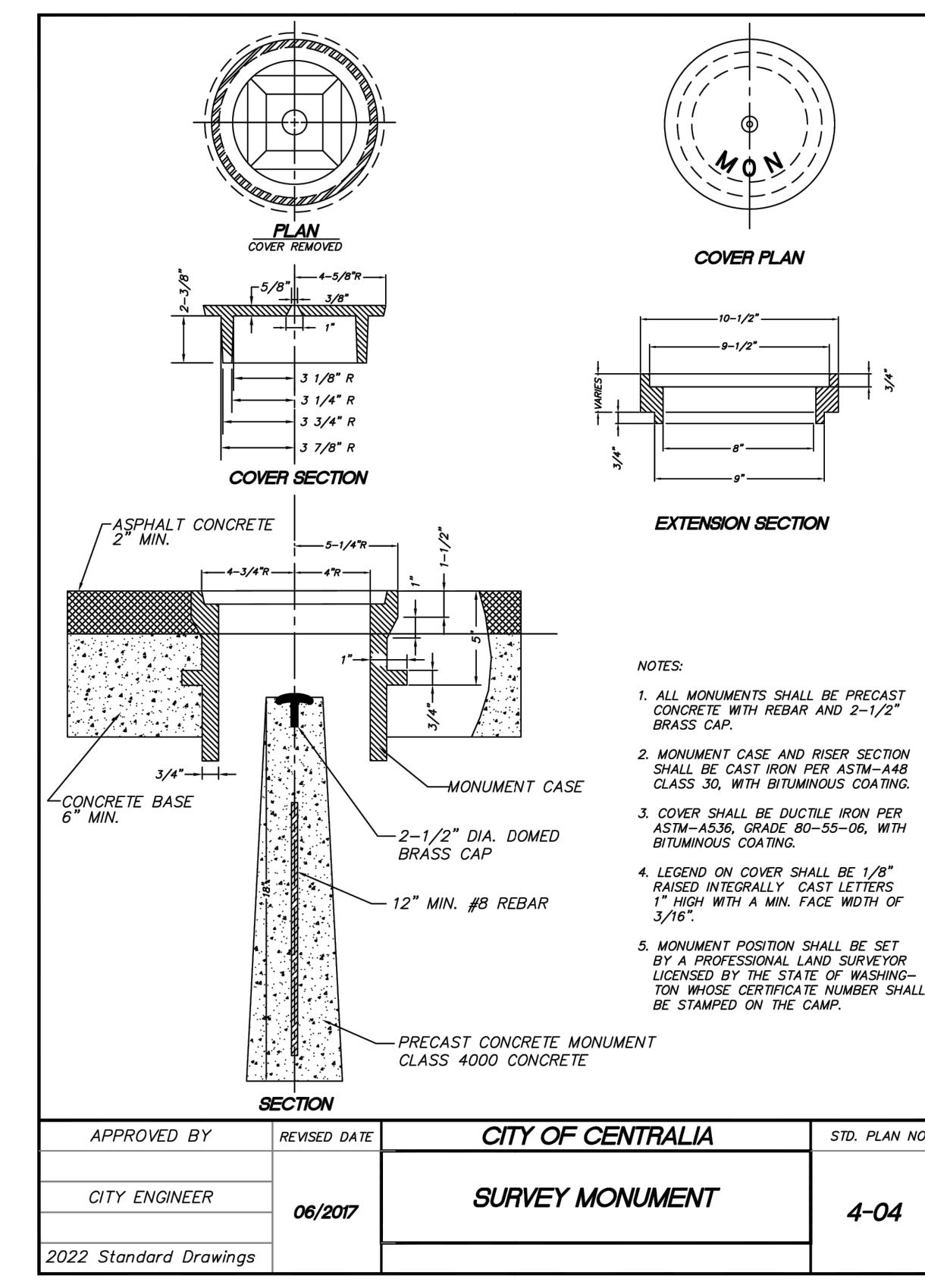
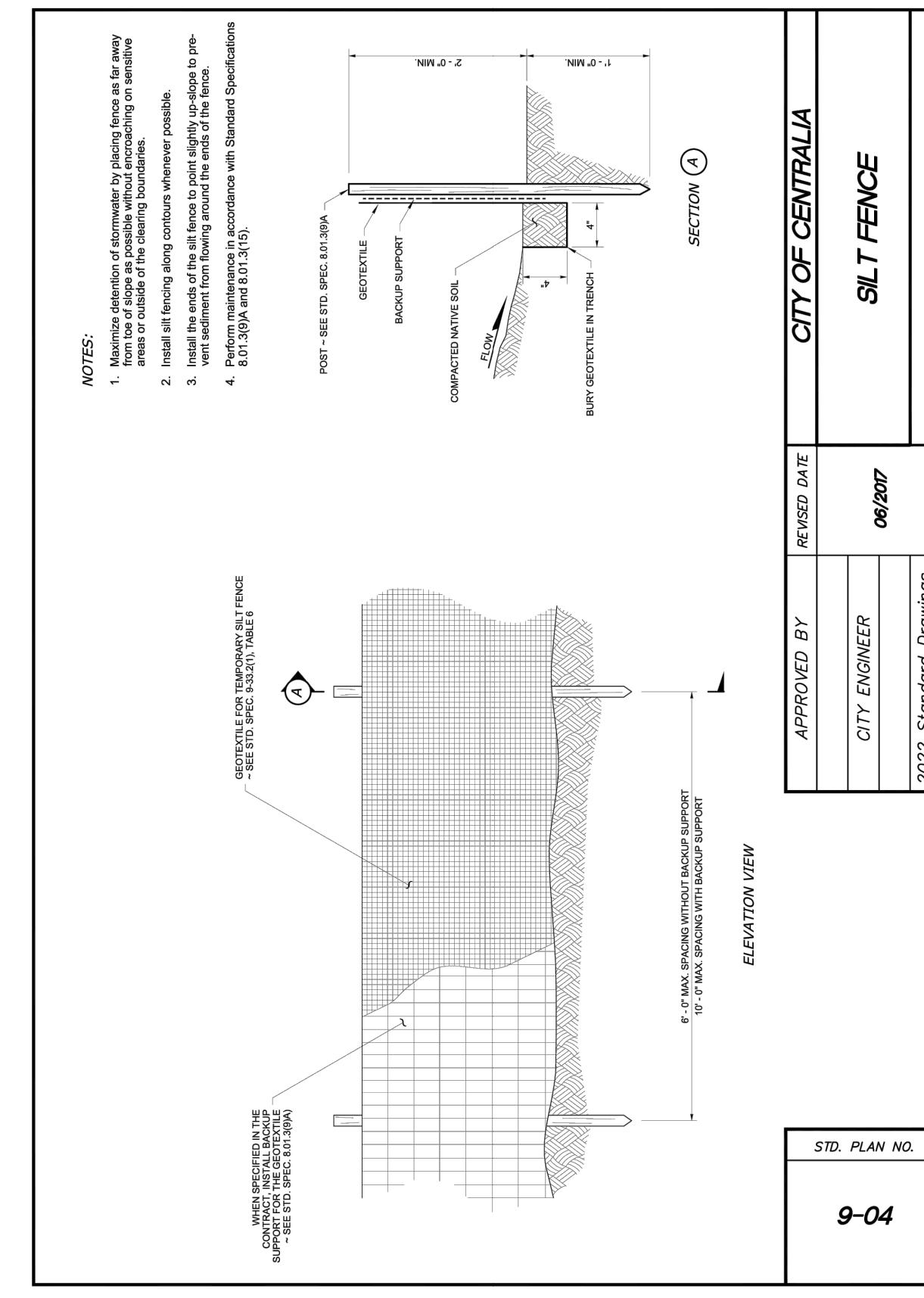
APPROVED FOR CONSTRUCTION  
CITY ENGINEER DATE  
APPROVAL EXPIRES 1 YEAR FROM ABOVE DATE

C7

7 of 13







**IRIS GROUP**  
civil engineers

BELLA ROSE LANE  
TOWNHOMES  
NW 1/4, NW 1/4, S06, T14N, R02W  
LEWIS CO IPN 02107062002  
3005 RUSSELL RD  
CENTRALIA, WA

**DETAILS 3**

PROJ. NO.: BB203  
REVIEWED BY: NDT  
DESIGNED BY: NDT  
DRAWN BY: RCB  
DATE: 11-12-2023

Know what's BELOW  
Call 811 before you dig.



C10

10 of 13

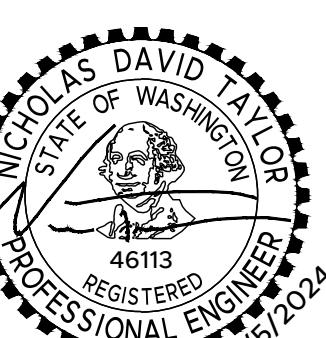


BELLA ROSE LANE  
TOWNHOMES  
NW 1/4, NW 1/4, S06, T14N, R02W  
LEWIS CO, PN 0210702002  
3005 RUSSELL RD  
CENTRALIA, WA

DETAILS 5

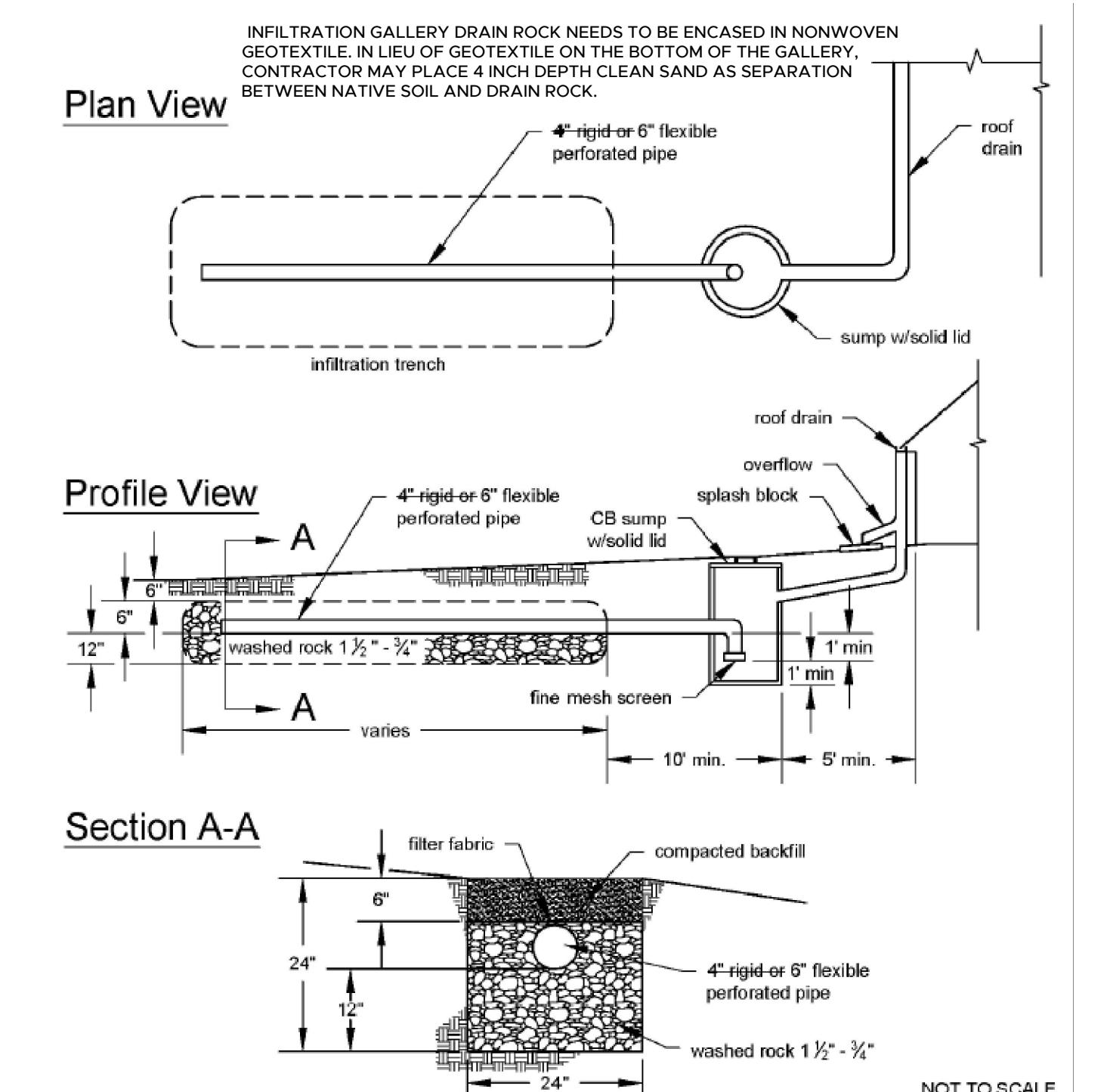
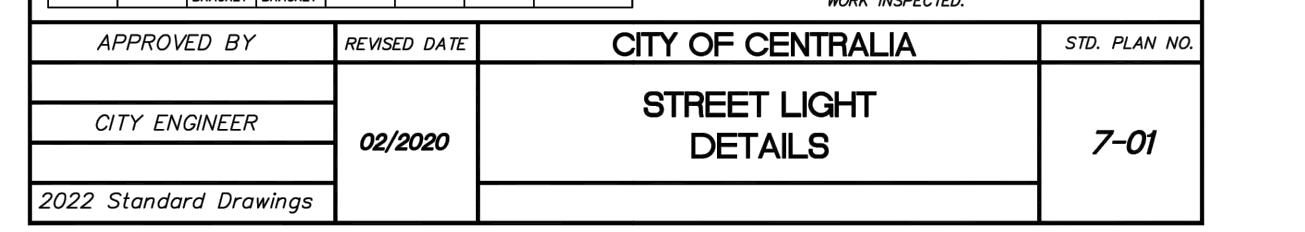
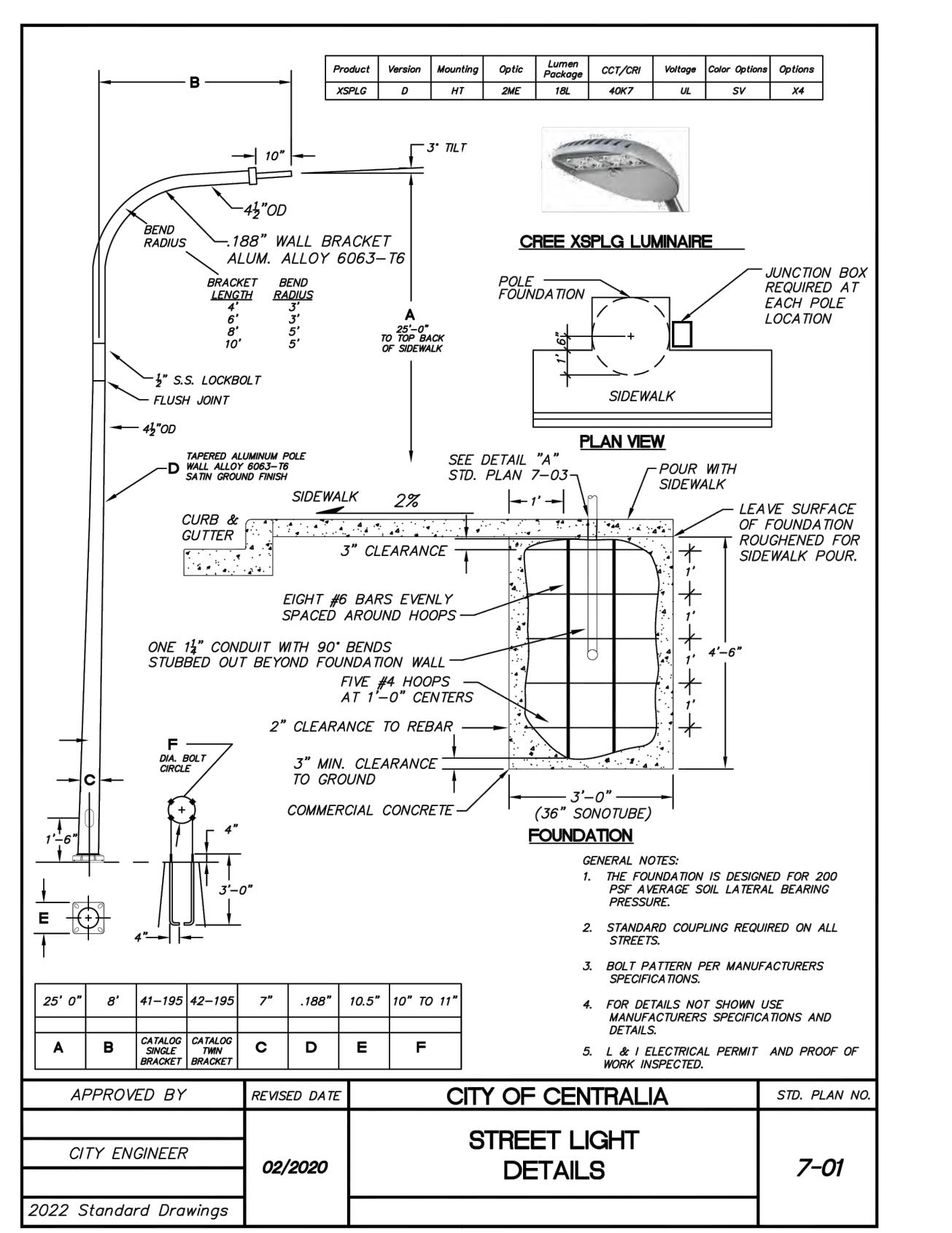
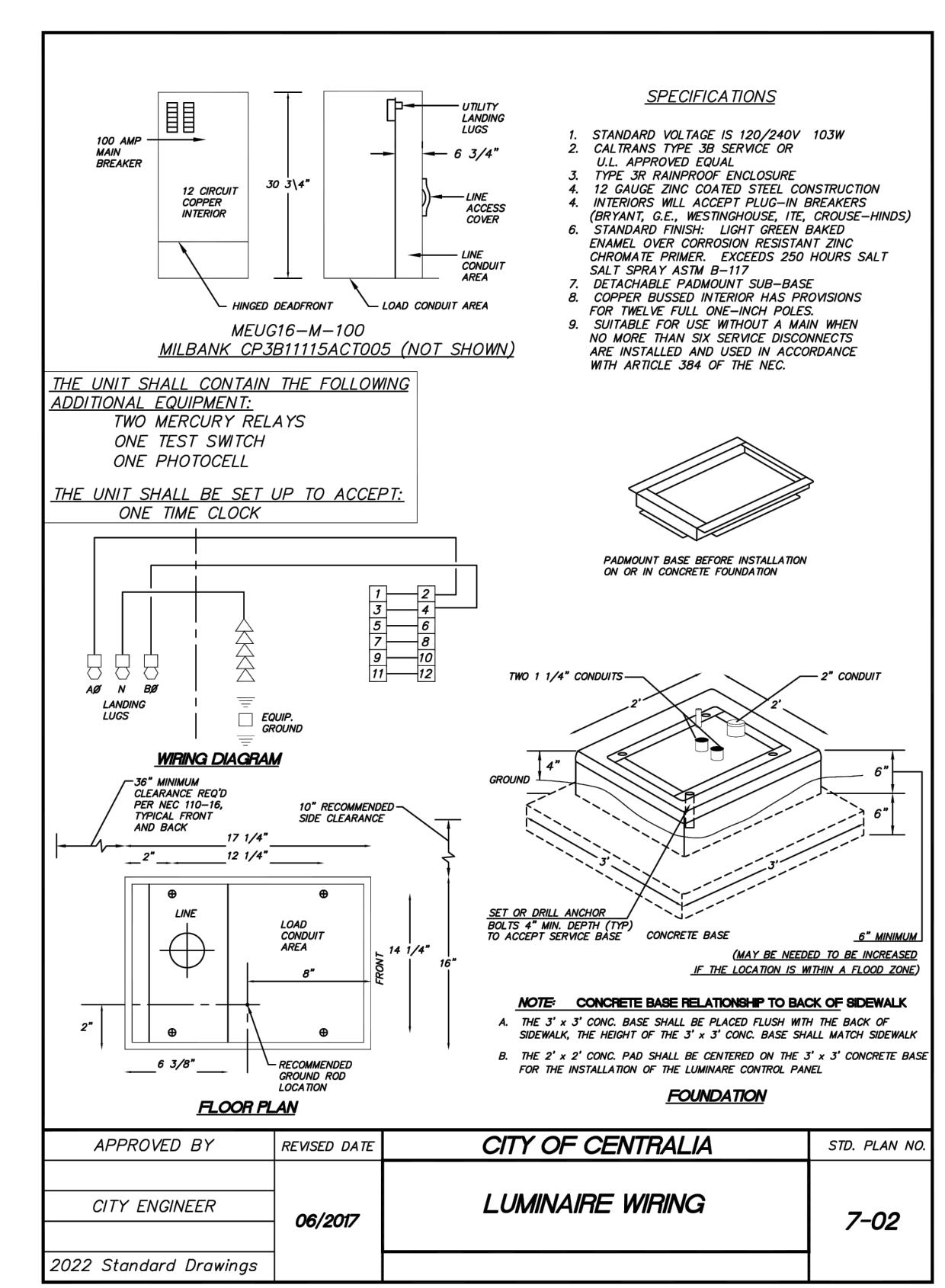
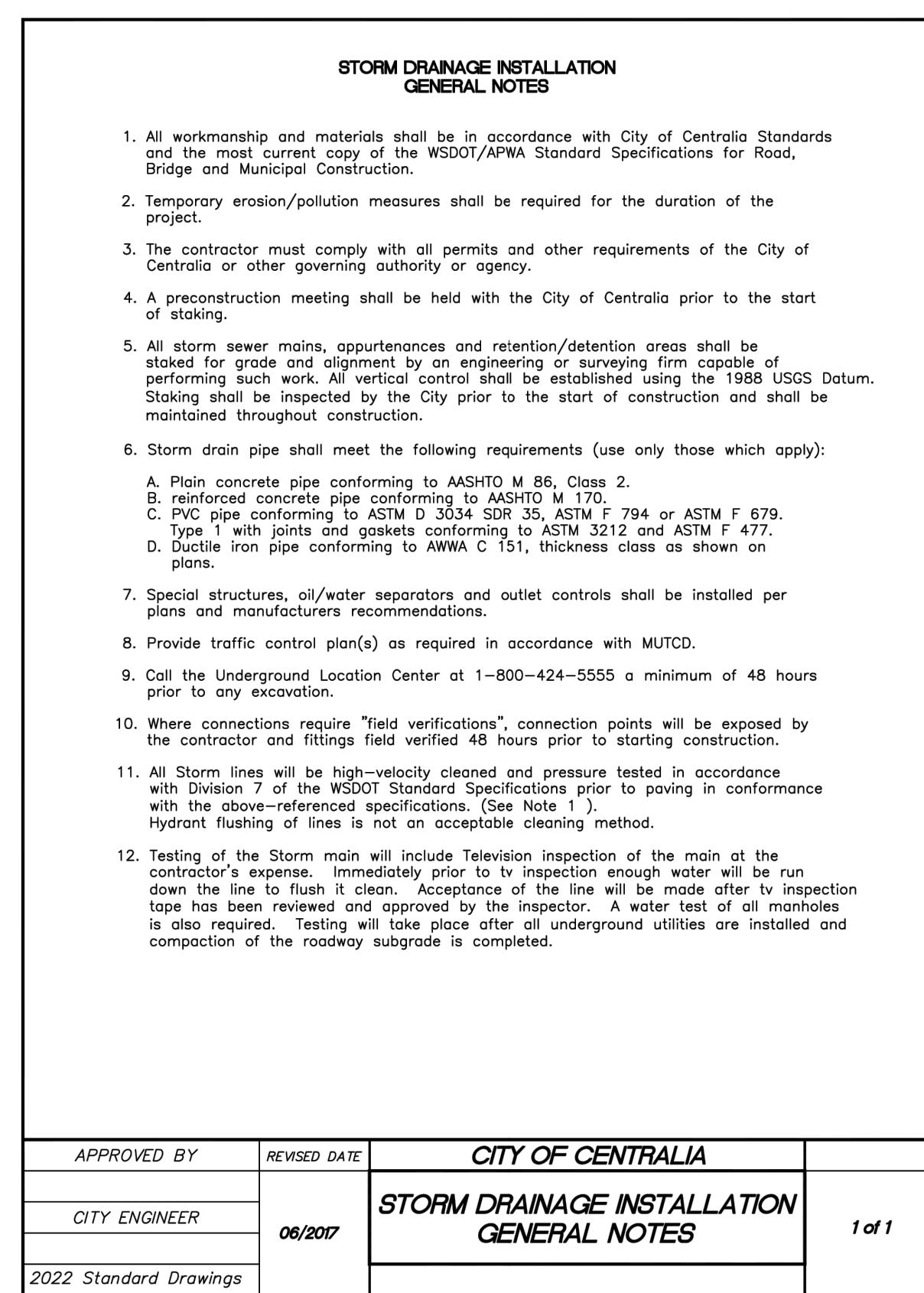
PROJ. NO.: BB203  
REVIEWED BY: NDT  
DESIGNED BY: NDT  
DRAWN BY: RCB  
DATE: 11-12-2023

Know what's BELOW  
Call 811 before you dig.



C12

12 of 13



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

A

B

C

D

E

F

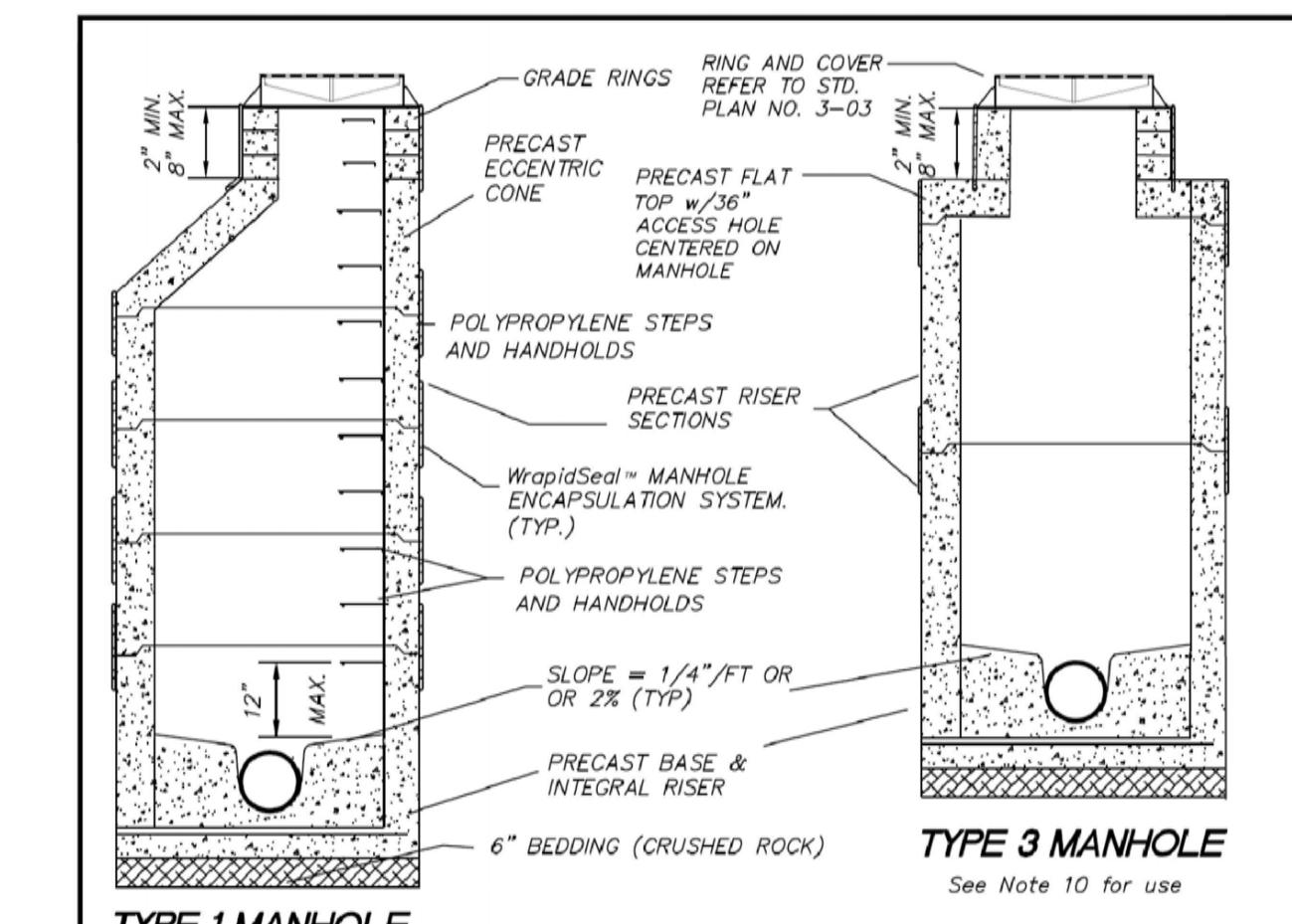
G

H

I

L

J



## NOTES:

1. PRECAST MANHOLES SHALL MEET THE REQUIREMENTS OF ASTM C478. JOINTS SHALL BE RUBBER GASKETED 6. SEE STANDARD PLAN 3-03 FOR CONFORMING TO ASTM C443 AND SHALL BE GROUTED FROM THE INSIDE. LIFT HOLES SHALL BE GRouted FROM THE OUTSIDE AND INSIDE OF THE MANHOLE. GROUT SHALL BE ANTI-MICROBIAL GROUT.
2. STEPS IN MANHOLE SHALL HAVE 6" MINIMUM CLEARANCE. HANDHOLDS IN ADJUSTMENT SECTION SHALL HAVE 3" MINIMUM CLEARANCE. THE FIRST STEP OR HANDHOLD SHALL BE A MAXIMUM OF 12" FROM COVER.
3. PRECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2" MINIMUM.
4. ALL MANHOLES SHALL BE ANTI-MICROBIAL CONCRETE OR COATED WITH RAVEN 405 COATING ON ALL INTERIOR SURFACES.
5. CONNECTION TO MANHOLE SHALL BE MADE BY KOR-N-SEAL BOOT, SAND COLLAR OR A-LOCK.
6. SEE STANDARD PLAN 3-03 FOR CASTING REQUIREMENTS AND MANHOLE COLLAR INSTALLATION.
7. USE OF 6" GRADE RINGS ONLY ALLOWED WITH PRIOR APPROVAL OF CITY ENGINEER.
8. MANHOLES SHALL BE SIXTY (60) INCHES IN DIAMETER, UNLESS OTHERWISE SPECIFIED BY THE CITY.
9. ALL EXTERIOR JOINTS INCLUDING ADJUSTMENT RINGS SHALL BE WRAPPED WITH WrapSeal™.
10. MANHOLES 4FT TO 6FT DEEP MEASURING FROM THE RIM TO THE INVERT SHALL BE TYPE 3 MANHOLES. FOR MANHOLES LESS THAN 4FT DEEP, CONTACT CITY ENGINEER FOR REQUIREMENTS.

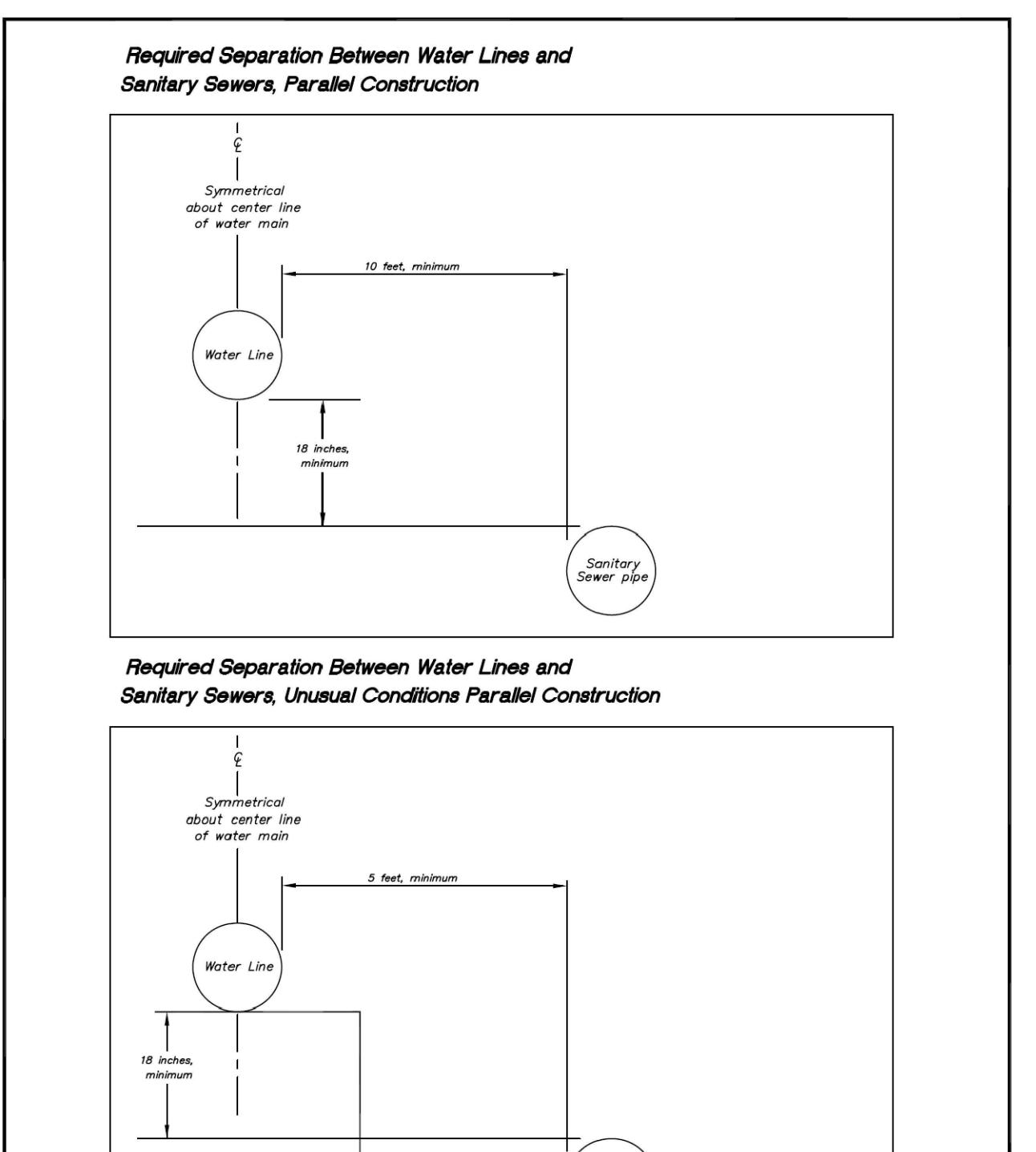
APPROVED BY	REVISED DATE	CITY OF CENTRALIA	STD. PLAN NO.
CITY ENGINEER	06-2023	SANITARY SEWER MANHOLES	3-02

2022 Standard Drawings

NOT TO SCALE

DETAIL

5



APPROVED BY	REVISED DATE	CITY OF CENTRALIA	STD. PLAN NO.
CITY ENGINEER	06/2017	WATER AND SEWER SEPARATION DETAIL	2-19

2022 Standard Drawings

NOT TO SCALE

DETAIL

3

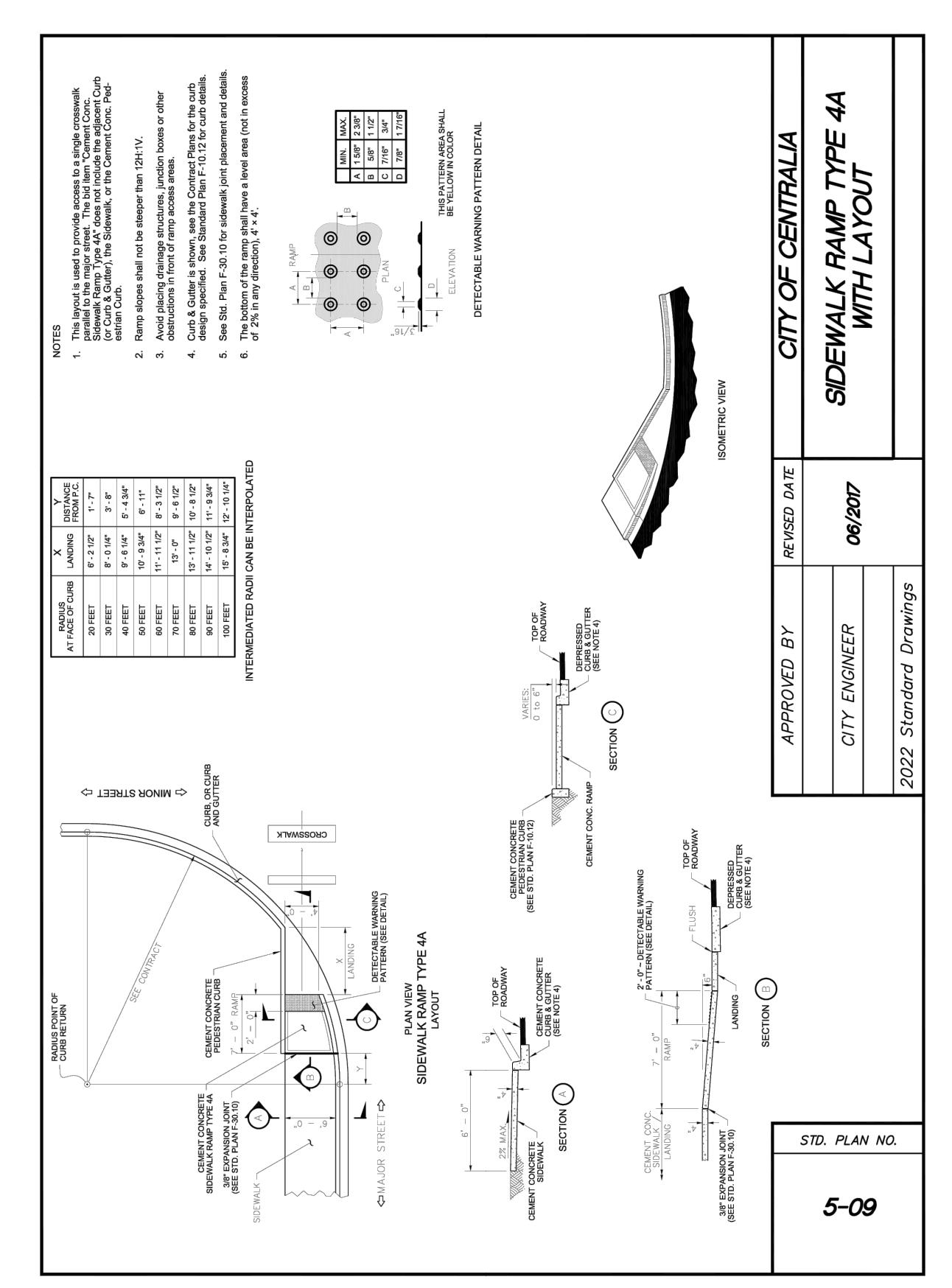
APPROVED BY	REVISED DATE	CITY OF CENTRALIA	STD. PLAN NO.
CITY ENGINEER	06/2017	SIDEWALK RAMP TYPE 4A WITH LAYOUT	4-09

2022 Standard Drawings

NOT TO SCALE

DETAIL

4



NOT USED

PROJ. NO.:	BB203
REVIEWED BY:	NDT
DESIGNED BY:	NDT
DRAWN BY:	RCB
DATE:	11-12-2023

Know what's BELOW  
Call 811 before you dig.

**IRISGROUP**  
civil engineers

360-890-8955 | 299 N Market Blvd, Chehalis, WA 98532

BELLA ROSE LANE  
TOWNHOMES  
NW 1/4, NW 1/4, S06, T14N, R02W  
LEWIS CO PPN 02107062002  
3005 RUSSELL RD  
CENTRALIA, WA

**DETAILS 6**

**1**  
C13  
13 of 13



## SITE PLAN REVIEW COMMITTEE (SPRC) Pre-Application Conference Request

**MEETING DATE:** Every Monday (except holidays and subject to submittals)

**TIME:** Meetings begin at 10:00 am and are approximately 30 minutes long. All meetings are scheduled on a first-come basis.

**MEETING LOCATION:** Centralia Public Works Office (City Light), 1100 N. Tower, Centralia

**Parcel Number(s):** 003416058002

**Site Address:** 933 Harrison Ave, Centralia, WA 98531

**Applicant/Agent:** David McLaughlin, Works Progress Architecture

**Phone:** 503.234.2945      **Email:** davidm@worksarchitecture.net

**Name/Type of Business (if applicable):** n/a

**Brief Description of Proposal (attach separate sheet if needed):** Construction of a New Single Story Building

Construction of a New Single Story Building Including Two New Retail Spaces and a Proposed

Quick Serve Restaurant with Drive-Thru

- Description of Proposal (1 – digital or paper copy)
- Conceptual Site Plan showing existing and proposed uses/structures (1 – digital or paper copy) See Attached
- Supporting documents including studies (1 – digital or paper copy) See Attached Supplemental Presentation

### SUBMITTAL REQUIREMENTS:

Submittal items must be received no later than 3 PM on the Wednesday *preceding* the next meeting date, in order to be added on the following weeks' agenda.

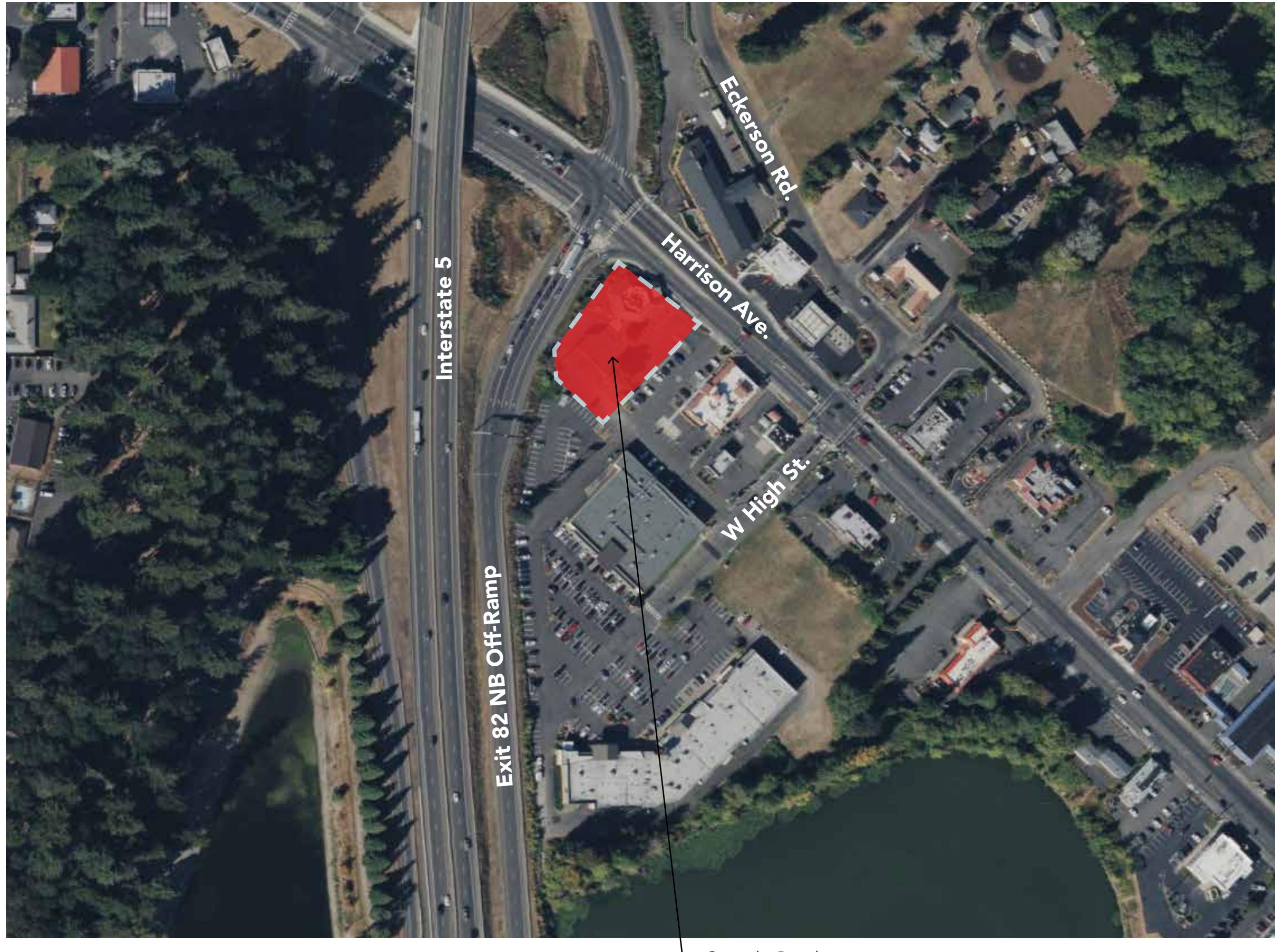
The purpose of the pre-application conference is to acquaint the applicant with the review procedures and applicable Centralia Municipal Code provisions to the proposal. A minimum of one meeting is required for all project permit applications related to the same project action.

The SPRC Pre-Application Conference is available to applicants for projects requiring a land use review or if you have utility or other questions about a specific property. The meeting will include representatives from engineering, public works, water, waste-water, electric, stormwater, planning, and building.

# **CENTRALIA RETAIL - 933 HARRISON AVE**

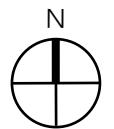
## Pre-Application Conference Presentation

January 9th, 2024

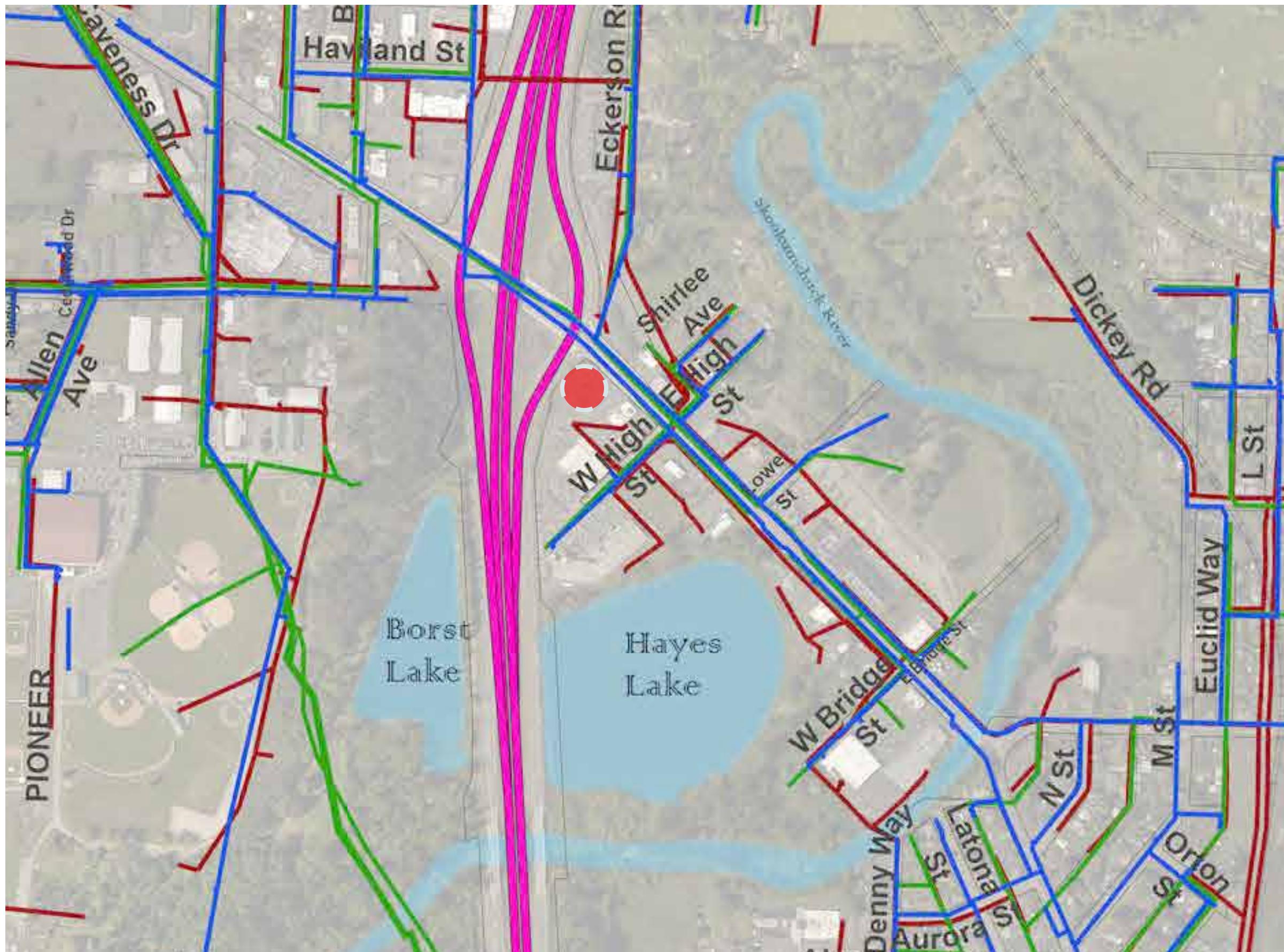


### Site Standards:

Address:	933 Harrison Ave. Centralia, WA 98531
Jurisdiction:	City of Centralia
Parcel ID:	003416058002
Legal Description:	Section 06 Township 14N Range 02W PT Lots 36, 37 & 39 MAPLE GROVE ADD
Site Area:	0.92 acres
Ward:	Centralia Ward 3
Neighborhood:	Edison District
Zoning:	C2 HWY Commercial
Overlay:	1982 FEMA Flood Plain 100 year Flood Plain
Max Bldg Coverage:	40% Site Area
Min. Landscaping:	15% Site Area
Setbacks:	Front 15 ft Min Side 10 ft Min Rear 15 ft Min
Max Bldg Height:	40 Feet
Parking:	Fast Food/Drive-Thru: 1/100 gsf + 6 stacking spacing Retail - Small: 1/300 gsf
Loading:	< 5,000 gsf 1 space > 5,000 < 25,000 gsf 2 spaces



## LOCATION MAP



### Legend:

- 933 Harrison Ave, Centralia, WA 98531
- Water Main 2023
- Sewer Main 2023
- Power Line 2023



Legend:

- 933 Harrison Ave, Centralia, WA 98531
- Lakes and Rivers
- City Limits
- UGA Boundary
- Wetland

This Wetlands inventory from the City of Centralia is general and not designed to support permit applications, and does not establish jurisdictional boundaries.

The exact location of the wetland boundary shall be determined by a professional through the performance of a field investigation applying the wetland definition provided in Centralia Municipal Code Title 16. Wetlands shall be rated according to the Washington State Department of Ecology wetland rating system found in the Washington State Wetland Rating System for Western Washington (Department of Ecology Publication Number 4-06-025, August 2004)

Title 16: <https://www.codepublishing.com/WA/Centralia/#!/Centralia16/Centralia16.html>

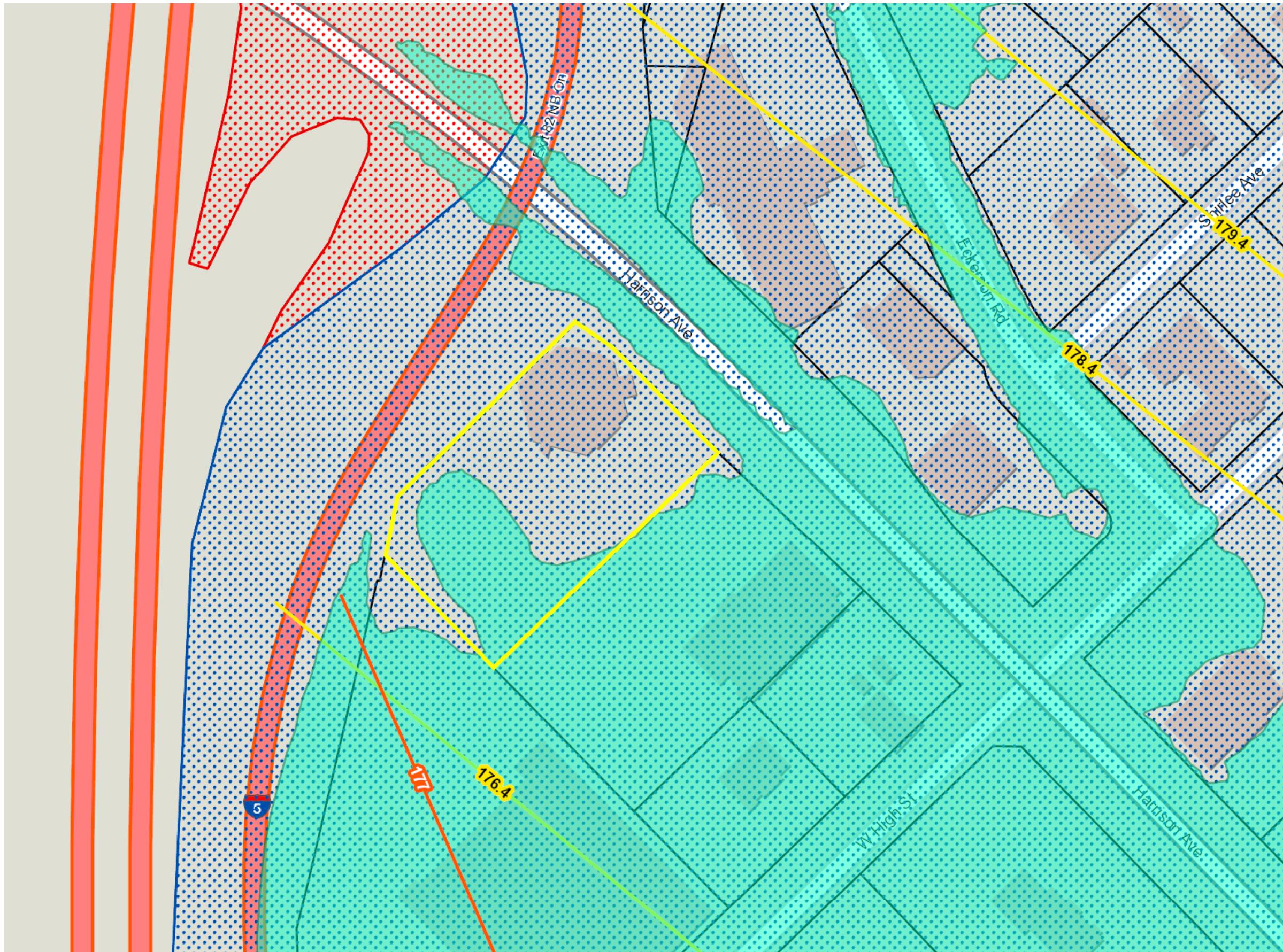


**Per Centralia Municipal Code Title 16 ENVIRONMENT; Chapter 16.17 WETLANDS PROTECTION:**

Activities may only be permitted in a wetland or wetland buffer if the applicant can show that the proposed activity will not degrade the functions and functional performance of the wetland and other critical areas.

Development activities and uses shall be prohibited in wetlands and wetland buffers, except as provided for in Title 16.

## WETLANDS MAP



Legend:

- Parcels
- 2007 Water Elevation (NAVD88)
- 2007 Flood Inundation
- FEMA BFE (NAVD88)
- FEMA Panels
- FEMA 100-Year
- FEMA 500-Year
- Floodway
- Parcels

Per City Title 16 ENVIRONMENT;  
Chapter 16.21 FLOODPLAIN MANAGEMENT:

A floodplain development permit shall be obtained before construction or development begins within any area of special flood hazard established in CMC 16.21.060.

The permit shall be for all structures including manufactured homes, as set forth in CMC 16.21.040, Definitions, and for all development including fill and other activities, also as set forth in CMC 16.21.040.

In all areas of special flood hazard, compliance is required w/ General Standards per 16.21.170, Erosion & Sediment Control per 16.21.175, Specific Standards per 16.21.180, Wetlands management per 16.21.200, among other requirements per CMC 16.21.

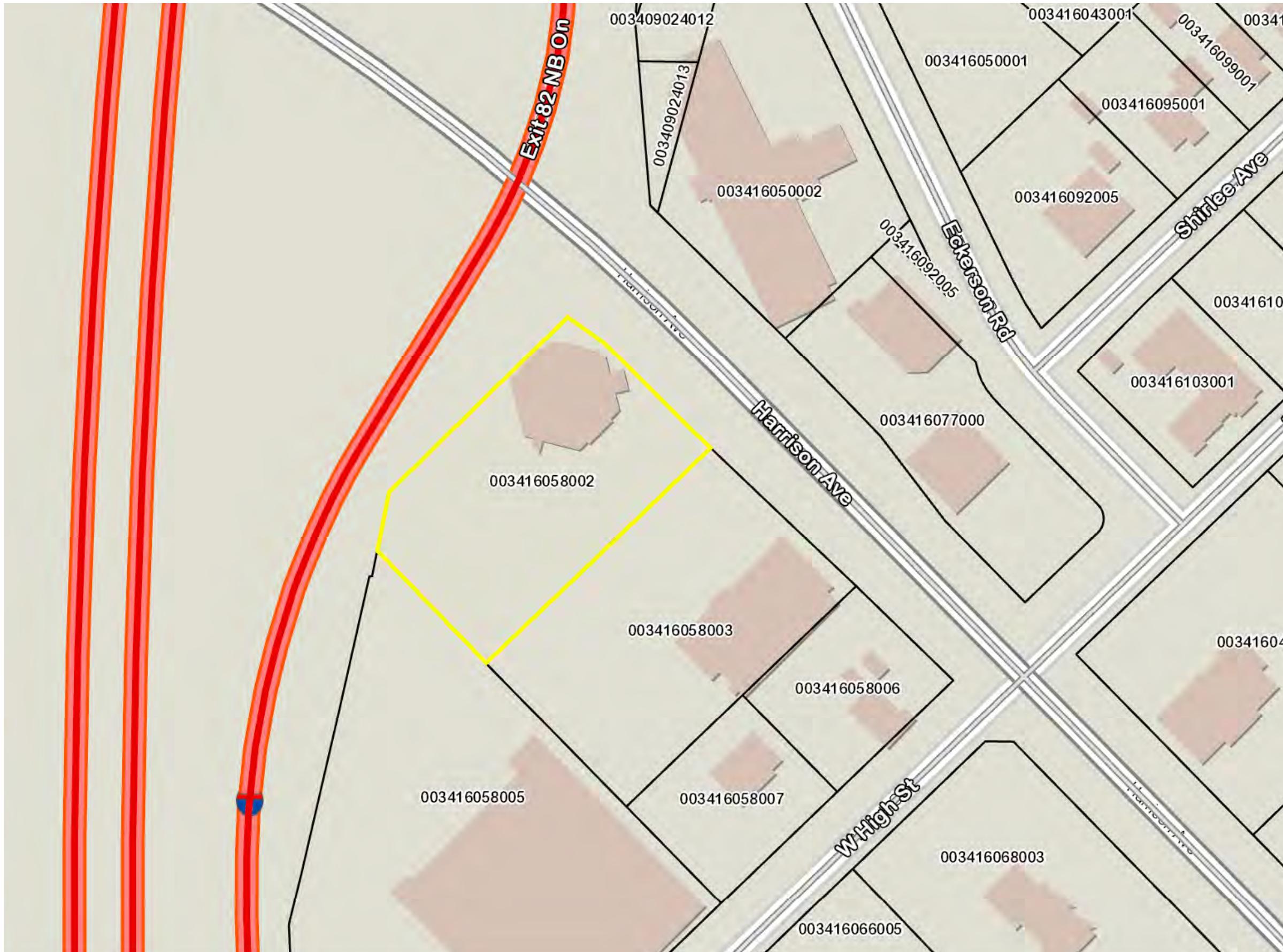


Lewis County does not guarantee the accuracy of the information shown on this map and is not responsible for any use or misuse by others regarding this material. It is provided for general informational purposes only.

Stormwater Runoff: All stormwater runoff shall be retained and disposed of on site or disposed of in a system designed for such runoff and which does not flood or damage adjacent properties.

Compliance also required per Chapter 16.18  
CRITICAL AQUIFER RECHARGE AREAS

## FLOOD MAP



Centralia Municipal Code Title 18 BUILDING REGULATIONS; Chapter 18.10 DESIGN AND DEVELOPMENT GUIDELINES:

<https://www.cityofcentralia.com/234/Design-Development-Guidelines>.

## Zoning Summary:

### C-2 HIGHWAY COMMERCIAL DISTRICT

Permitted Uses: Restaurants w/ drive-through  
Restaurants w/o drive-through

Retail establishments, including  
but not limited to, grocery  
stores, pharmacies, television  
and appliance, and small  
specialty shops

Environmental Standards: Required per CMC 20.57

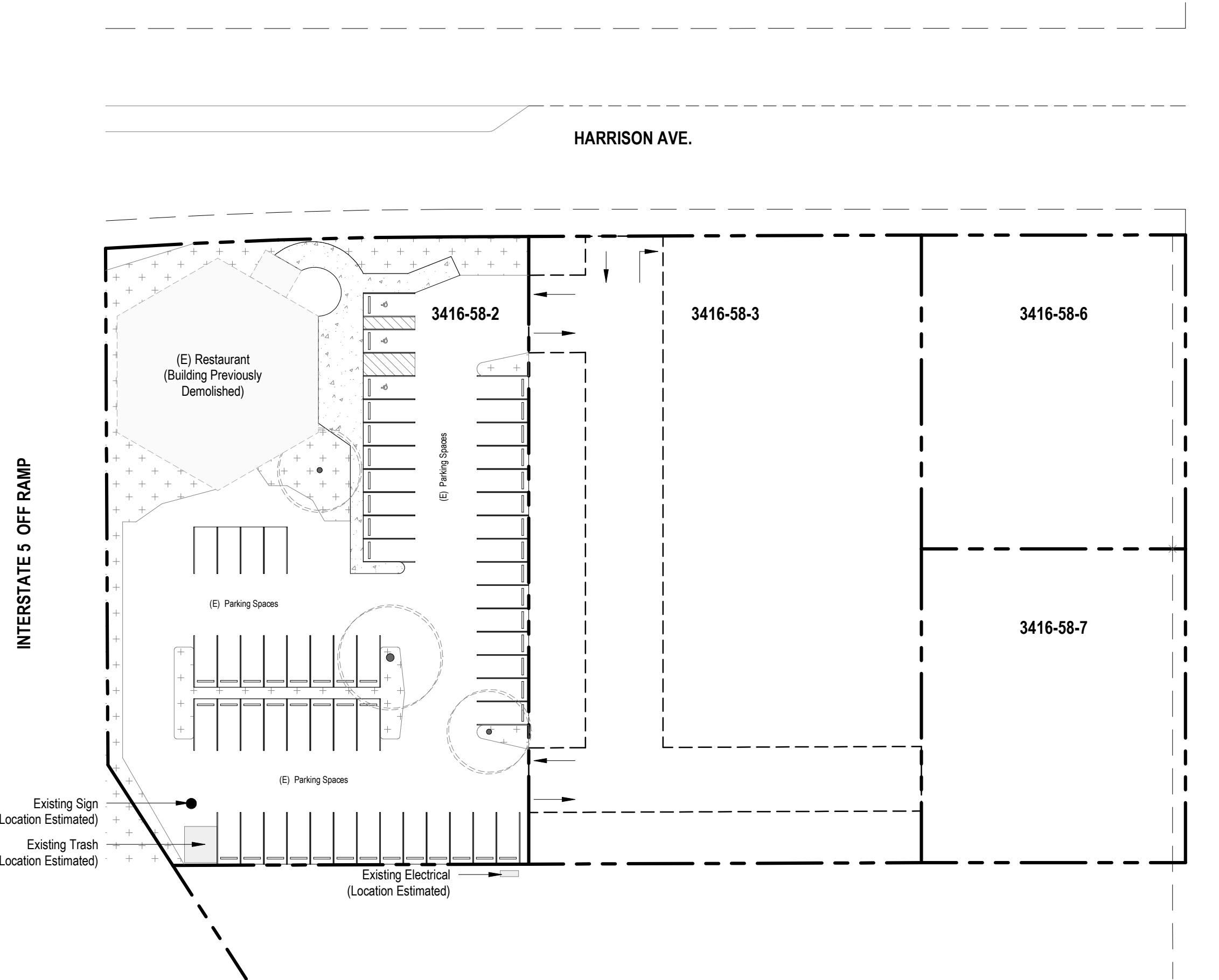
Site Plan Review: Required per CMC 20.84

Design and Development Guidelines: Required per CMC 20.28.070

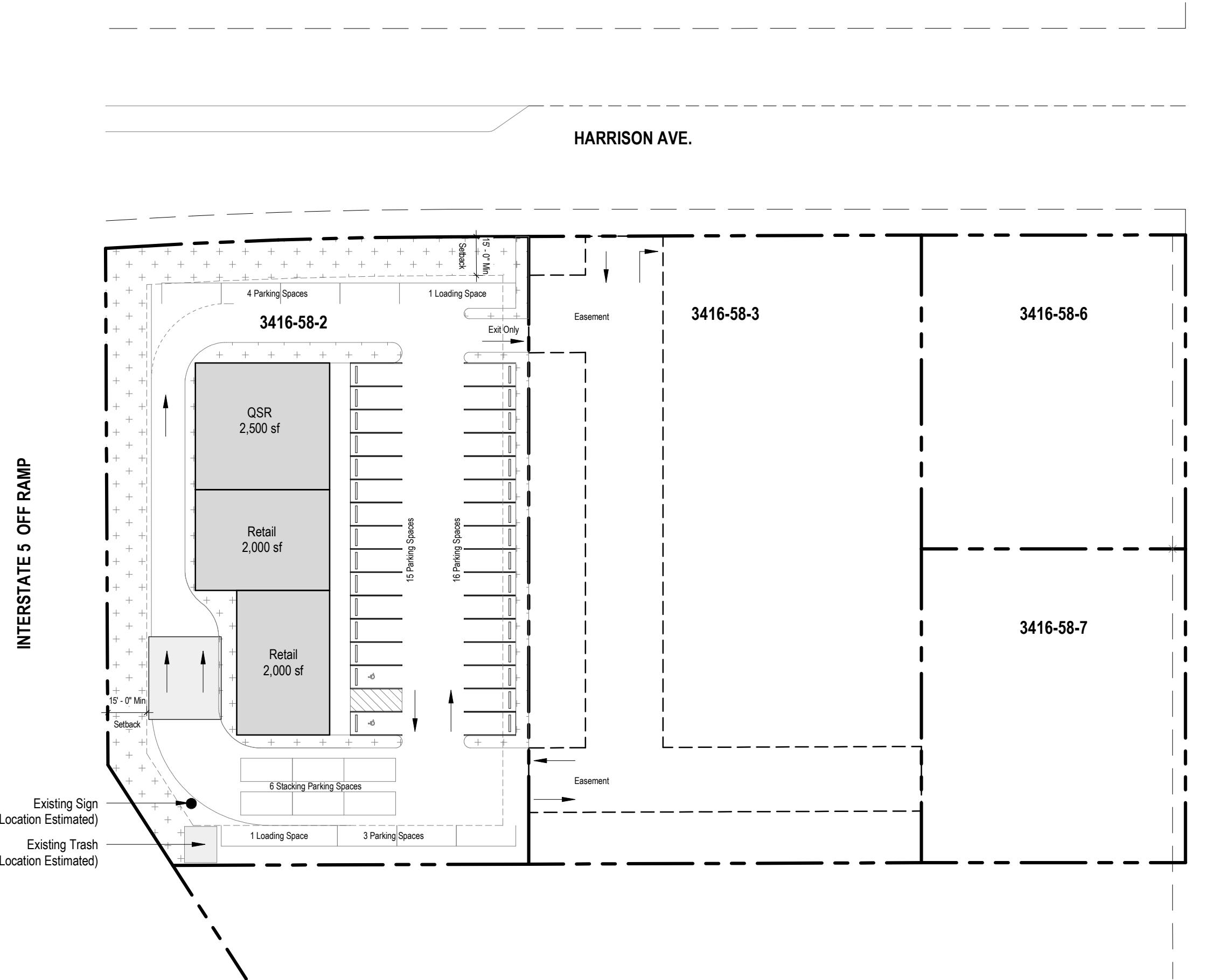
Performance Standards: Required per CMC 20.28

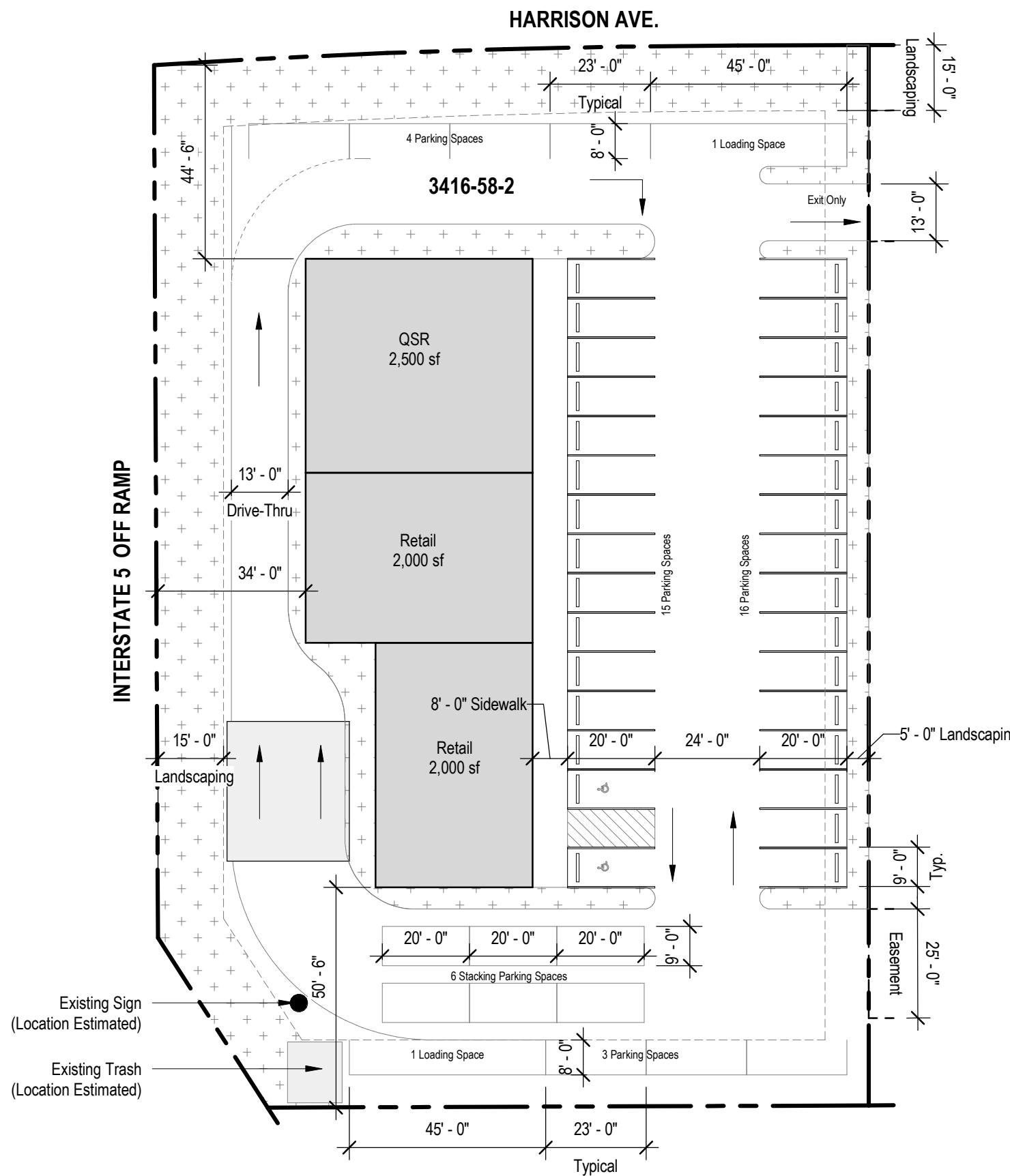
All building sides facing public streets shall incorporate a substantive use of building elements, as approved by the city, to achieve a distinctive character. A recognizable base treatment of the wall consisting of thicker walls, ledges or sills using integrally textured and colored materials such as stone, masonry, or a decorative concrete or some other architectural feature that breaks up the exterior horizontal and vertical mass of the wall. Building materials such as brick, stone, concrete, tile, steel, wood, and metal are required.

**ZONING**



## SITE PLAN - EXISTING





## Proposed Site Development Pre-Application Conference Questions:

1. Please Confirm Compliance Process for Allowable Development on Site Identified as a Wetland?
2. Please Confirm Compliance Process for Allowable Development in a Flood Zone?
3. Please Confirm all Stormwater Management Requirements for Building(s) and Parking?
4. Is a Direct Pedestrian Access Path Required from Harrison Ave to the Site and/or Buildings?
5. Is Fire Department Access via Adjacent Property Access Easements Acceptable/Allowable?
6. Is a Single Point of Site Access Allowable through the Existing Adjacent Property Access Easements?
7. Is the Drive-Thru Cover Area included in any Gross Building Area (gsf)? Or just Site Coverage?
8. What are the Trash / Recycling Location and Sizing Requirements?
9. Are there any Compliance Requirements for Existing Tree Removal?
10. Are there any Interior Parking Lot Landscaping Requirements for < 40 spaces?
11. Are there any Perimeter Landscaping or Parking Area Setback Requirements at the Southwest Property Line?
12. Are there any Setback or Location Requirements for Loading Spaces?
13. Do Loading Spaces need to be Located off of Drive Aisles? Are there any Turnaround / Turning Radius Requirements?
14. Are there any Requirements or Compliance Procedures for Modifying the Existing Site Signage?
15. Please Confirm Compliance Process for Meeting the Design and Development Guidelines? Concurrent with Permit Document Review? Or Alternative Land Use Review Required?
16. Are there any System Development Charges for Proposed New Developments on Existing Sites?
17. Please confirm Parking Calculations with GSF and Rounding of Integers?

Scale: 1" = 30'-0"



# CONCEPTUAL SITE PLAN & PRE-APP QUESTIONS