



Site Plan Review Committee
Michael Thomas, City Manager

**COMMUNITY DEVELOPMENT
DEPARTMENT**
360-330-7662

Emil Pierson, CD Director
epierson@cityofcentralia.com

Mike Watilo, Building Official
mwatilo@cityofcentralia.com

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360-330-7512

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mlnorton@cityofcentralia.com

POLICE DEPARTMENT
360-330-7680
Andy Caldwell, Interim Chief
acaldwell@cityofcentralia.com

RIVERSIDE FIRE AUTHORITY
360-736-3975
Kevin Anderson, Chief
kanderson@riversidefire.net

LEGAL DEPARTMENT
360-330-7675
Kyle Manley, City Attorney
kmanley@cityofcentralia.com

SITE PLAN REVIEW COMMITTEE Meeting Agenda

Monday, February 10, 2025

Join Zoom meeting:

<https://us02web.zoom.us/j/89118869218?pwd=11a9b4quXhUyVEgEEoUwe9dV7gehqr.1>

Join by mobile: #1-253-215-8782

Meeting ID: 891 1886 9218 Passcode: 926458

All applicants should join the meeting at 10 AM as time frames are estimations only and subject to change. The public is invited to participate.

9:00 AM STAFF REVIEW TIME
1. Weekly Permit List
2. 1523 Lum Road

10:00 AM – Site Plan Reivew

Project Name:	Beacon Building Products
Applicant/Owner:	John, Cecil+Associates / Port of Centralia
Property Address:	2000 Northpark Drive
Contact Phone:	206.450.3068
Email:	johnf@cecilnassoc.com
Zone:	Port Master Plan / Light Industrial
Comp. Plan:	Port Master Plan / Light Industrial
Parcel Information:	Six parcels, 3.67 AC
Request:	Final approval of civil plans and paving exemption request.

Permit Report

Permits issued between 1-30 and 2-5, 2025

Permit #	Permit Date	Building / Land Use	Permit Type	Construction Site Address	Description of work being done under this permit	Applicant Name
20250050	1/30/2025	Building Permit	Single Family - Remodel	905 L Street	Build wood awning over existing deck	Mark Gonzalez
20250052	1/31/2025	Building Permit	Mechanical	605 Byrd St	Replace wood stove with a pellet stove	Olympia Fireplace
20250054	2/3/2025	Building Permit	Mechanical	201 Willow Lane	Install Trane Heat Pump System	Chehalis Sheet Metal
20250055	2/3/2025	Land Use	Variance	400 Centralia College Blvd.	Setback variance request for press box construction.	Tariq Qureshi, CC
20250060	2/3/2025	Building Permit	Accessory Building	615 S Washington Ave	Construct 24' x 48' metal RV cover	John Klumper
20250061	2/3/2025	Building Permit	Accessory Building Remodel	1012 N Tower Ave	Add interior wall for storage rooms, insulate, add outlets and lights.	Jaymey Newberg
20250059	2/4/2025	Building Permit	Single Family - New	0 Cooks Hill Rd / Lot 18	Build a new 3,000 SF home	DRP Holdings
20250063	2/4/2025	Building Permit	Fill and Grade	2727 Harrison Avenue	Fill, grade, site prep work in conjunction with civil plans.	Logistic Property Co.

Hillary,

Below are questions/comments relative to your email dated 12-10-24.

20.62.020 A.3.

Reasons:

1. Owners refuse to convert this property so as to achieve ADA standards.
2. This is a 1974 manufactured home:
3. It has a 30" wide hallway.
4. Both bathrooms are too small to ever accommodate a wheelchair.
5. The kitchen and bath cabinets would have to be removed and replaced with ADA complying cabinets. The cost to make this house ADA compliant would cost more than the house is worth.
6. This is not a building that is open to the general public.
7. We are in total control of who we rent to. We would not agree to rent to someone that would require ADA compliance.
8. There is not one other 'transition type' home in Centralia that is ADA compliant and or could be ADA compliant.

20.62.020 A.4.

See Item A3 above.

20.62.020 B.3.

This home was built in 1974. This is the original gravel driveway.

20.62.020 D.4. This statement is too broad in its scope because it would be nearly impossible to know all of State and Local laws. We agree to follow all requirements mentioned in this section as long as all other 'transition' houses have the same requirements.

20.62.020 D.4.2.

- a. Dale Luger (co-owner) (360) 520-2154
Robert Benjamin (co-owner) (360) 508-2403

b. We always maintain a 'house manager'. These managers live on the property and are instructed to enforce our written house rules. In an emergency, they are to call 911 and then either owner. The names of these manager will change on a regular basis because our tenants are more fluid than regular tenants. By contacting one of the owners, we will be able to give you the contact info of the current manager.

c. Contact info is mentioned above.

"how are residents monitored for compliance with weapon, health and other requirements, etc".

If a tenant would brandish a weapon, we would take it away from him. If he resisted, we would call 911. If it was used in a threatening way; we would evict the tenant.

Our tenants are grown adults. This transition house is meant to teach these tenants how to fend for themselves. We are all here to assist anyone that needs assistance such as transportation, etc.

d. Garbage pickup. We contract with LeMay services. Both garbage and recycle bins are emptied each Monday.

h. During construction, we had face-to-face conversations with nearly every neighbor. All our tenants are instructed to be very courteous to all neighbors. We have not had ONE complaint from any neighbor in 6 months of operation.

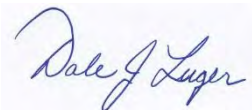
i. Both owners and the house manager interview every new potential tenant to determine if he will be a good fit for our house. We have each tenant read and initial each page of our lengthy House Rules. They complete a rental application which provides all of their personal information. We also enter into a written rental agreement which includes the 'house rules'. I keep all documents on all tenants.

20.62.020 D.4.

3. I have 56 years of owning and managing rental units. (I currently own and manage other rental units in Lewis County.) My partner and I have only six months of experience operating a 'clean and sober' home.

4. We house all men that wish to remain clean and sober. Some are employed and are self-supporting. We have other tenants that receive rental assistance from multiple organizations including the DOC. The goal is for these men to get a job and eventually transition off public assistance.

5. We are very proud of our relationship with all agencies. You will find all will speak very positively about our operation.



Dale Luger (Co-Owner)
RLDJ Inc.

Chapter 20.62

SUPPORTIVE HOUSING FACILITIES

Sections:

- 20.62.010 Purpose and applicability.
- 20.62.020 General standards for all supportive housing facilities.
- 20.62.030 Additional requirements for emergency housing and emergency shelters.
- 20.62.040 Additional requirements for permanent supportive and transitional housing.

20.62.010 Purpose and applicability.

The purpose of this chapter is to establish reasonable standards for the safe operation and appropriate siting of supportive housing facilities within the city in order to protect the public health and safety for both supportive housing facility residents and the broader community. (Ord. 2531 § 4, 2023).

20.62.020 General standards for all supportive housing facilities.

A. General Requirements.

1. When a site includes more than one type of supportive housing facility, the most restrictive requirements of this chapter shall apply. [N/A: only 1 facility is proposed.](#)
2. The specific needs of each supportive housing facility shall be reviewed through the site plan review process. [Scheduled for review on 2-10-25](#)
3. The community development director may modify one or more of the standards in this section only if the applicant submits a description of the standard to be modified and demonstrates how the modification would result in a safe supportive housing facility and benefit the community under the specific circumstances of the application. In considering whether the modification should be granted, the community development director shall first consider the effects on the health and safety of supportive housing facility residents and the neighboring communities. Modifications shall not be granted if they would result in an adverse impact on residents of the supportive housing facility or the neighboring communities.
4. All supportive housing facilities shall comply with the building regulations found in CMC Title 18, including all requirements of the Americans with Disabilities Act of 1990 and subsequent amendments. [Waiver requested:](#)
5. Hotels and motels may be converted to supportive housing facilities and are permitted to have up to the same number of units as when operated as a hotel or motel. [N/A](#)

6. Any supportive housing facilities located in a special flood hazard zone shall floodproof or be constructed at least three feet above the base flood elevation (BFE). [N/A, flood zone X, 530103 0001 B, effective 6-1-1982.](#)

B. Site and Transit Requirements.

1. Supportive housing facilities shall match the bulk and scale of residential uses allowed in the zoning district where the supportive housing facility is located. The design, construction, appearance, physical integrity, and maintenance of the supportive housing facility shall provide an environment that is attractive, sustainable, functional, appropriate for the surrounding neighborhood, and conducive to the stability of its residents. [The existing mobile home matches the surrounding residential neighborhood and does not give a physical appearance of commercial or multi-family use.](#) **COMPLIANCE ACHIEVED.**

2. If provided, exterior lighting shall comply with city standards and be directed downward, and glare shall be contained within the supportive housing facility site to limit the impact on neighboring properties. [Same as above.](#) **COMPLIANCE ACHIEVED.**

3. The use shall meet the landscaping and off-street parking standards found in Chapters 20.50 and 20.72 CMC. [Modifications required prior to approval: vehicle driving and parking spaces must be of hard surface.](#)

4. A plan for transit, pedestrian, and bicycle access from the site to support services shall be provided at the time of application by the sponsor or managing agency. [Lewis County Transit, Route Orange map provided.](#) **COMPLIANCE ACHIEVED.**

C. Separation and Distance Requirements.

1. Different types of supportive housing facilities may co-locate on the same property with the same or different sponsors or managing agencies. [N/A](#)

2. With the exception of co-located supportive housing facilities on the same property, no supportive housing facility shall be located closer than one thousand five hundred feet to another supportive housing facility regardless of whether such supportive housing facility is located within or outside the city limits. The distance shall be measured from the exterior boundary of a parcel to the exterior boundary of the other parcel where the supportive housing facilities will be located. [Hope Housing is ~2,100' and Reliable Enterprises is ~4,600'.](#) **COMPLIANCE ACHIEVED.**

D. Operational Requirements.

1. The sponsor or managing agency shall comply with all federal, state, and local laws and regulations, including regulations adopted by the Lewis County department of health. The sponsor or managing agency shall be subject to inspections by state and local agencies or departments to ensure compliance and shall implement all directives resulting from such inspections within the specified time limits. [Condition of permit approval.](#)

2. At the time of the application for a building permit, the sponsor or managing agency shall provide an operational plan that includes the projected type of supportive housing, the number of proposed units, and the following elements:

See the operational plan and document labeled as “Response to City Licensing Issues”.

- a. Twenty-four-hour emergency contact information; **COMPLIANCE ACHIEVED**
- b. Key staff and their roles and responsibilities; **COMPLIANCE ACHIEVED**
- c. Site/facility management, including security policies and an emergency management plan; **COMPLIANCE ACHIEVED**
- d. Site/facility maintenance, including provisions for a regular trash patrol in the immediate vicinity of the site; **COMPLIANCE ACHIEVED**
- e. Resident policies, including responsibilities and a code of conduct that address, at a minimum, the use or sale of alcohol and illegal drugs, threatening or unsafe behavior, and weapon possession; **COMPLIANCE ACHIEVED**
- f. Provisions for human and social services, including staffing plan, credentials or certification, and outcome measures; [Transit access to all required services.](#)
COMPLIANCE ACHIEVED
- g. Plan for providing residents on-site access to medical services, including mental and behavioral health counseling, or if unable to be provided on site, plan for providing transportation to and from such services; [Transit map provided.](#) **COMPLIANCE ACHIEVED**
- h. Neighborhood outreach with surrounding property owners and residents and an ongoing good neighbor policy; and **COMPLIANCE ACHIEVED**
- i. Procedures for maintaining accurate and complete records. **COMPLIANCE ACHIEVED**

3. Sponsors or managing agencies shall demonstrate applicable experience providing similar services to people experiencing homelessness. [6 months.](#) [SPRC voted to:](#)

4. Sponsors or managing agencies shall demonstrate a stable funding source for the supportive housing facility and any on-site or off-site human and social services offered as part of the operations plan. [Not provided but it well known the Department of Corrections provides rental assistance.](#)

5. Sponsors or managing agencies, the Centralia police department, and the Riverside Fire Authority shall establish reasonable requirements for appropriate coordination with the supportive housing facility and its residents. (Ord. 2531 § 5, 2023).

20.62.030 Additional requirements for emergency housing and emergency shelters.

[This section is not applicable and has been deleted for review purposes.](#)

20.62.040 Additional requirements for permanent supportive and transitional housing.

In addition to the general standards found in CMC 20.62.020, permanent supportive housing and transitional housing are required to comply with the following:

A. Facility Standards. [N/A, the facility is located in the LBD zone.](#)

1. In R5-A, R:2, R:4, and R:8 zoning districts, the following additional standards apply:
 - a. **Occupancy Limits.** Permanent supportive and transitional housing shall meet the minimum area per occupant established by the building regulations for a single-family detached residence.
 - b. **Occupancy Limit Exceptions.** Special exceptions to the limit on the number of occupants of a permanent supportive and transitional housing facility may be granted for persons with disabilities.
 - c. **Appearance.** Permanent supportive and transitional housing shall be constructed to resemble a single-family structure compatible with the surrounding area.
2. In R:15 and R:20 zoning districts, the following additional standards apply:
 - a. **Appearance.** Permanent supportive housing facilities shall be constructed to maintain a residential character.
 - b. **Individual facilities** shall follow the density standards for residential uses allowed in the underlying zoning district.

B. Operational Requirements.

1. Trash receptacles shall be provided in multiple locations throughout the facility and site and shall meet the requirements of Chapter 20.50 CMC.
2. The operational plan shall provide a minimum and maximum time limit for occupation for transitional housing within the range of two weeks to twenty-four months.

C. Facility Services.

1. All residents shall have access to appropriate cooking and hygiene facilities. [Kitchen and bathroom provided.](#) **COMPLIANCE ACHIEVED**
2. Facilities serving more than five dwelling units shall have dedicated spaces for residents to meet with service providers. [N/A, but table in living room is designated for meeting space.](#)
3. All functions and services associated with the facility, including, but not limited to, adequate waiting space, shall take place within a building or on the site of the facility.

[Same as item 2 above.](#) **COMPLIANCE ACHIEVED**

4. Residents shall have on-site access to the following services or, if unable to be provided on site, shall be provided transportation to such services by the sponsor or managing agency:

- a. Medical services, including mental and behavioral health counseling.
- b. Employment and education assistance.
- c. If transitional housing, access to resources for obtaining permanent housing. (Ord. 2531 § 7, 2023).

LC Transit Route Map provided. Route Orange provides two stops, both approximately 1,400' from the residence, with scheduled stops every hour between the hours of 6 AM – 7 PM, Monday through Friday; and 7 AM – 4 PM, Saturday and Sunday.

COMPLIANCE ACHIEVED



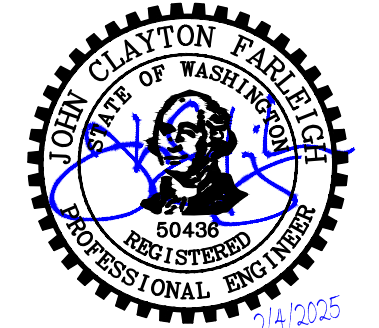
1523 Lum Road Vicinity Map



C0.00

REVISIONS		Date
5	CENTRALIA PERMIT SET	2/4/25
4	PERMIT SET	1/13/24
3	CENTRALIA PERMIT SET	9/13/24
2	PORT OF CENTRALIA SITE PLAN REVIEW	8/23/24
1	PROJECT COORDINATION	5/31/24
No.	Description	Date

24-010
Project No.
Drawn By
Designed By JCF
Approved By 2/4/2025
Date



Client	BEACON BUILDING PRODUCTS MCKINNEY CORPORATE CENTER 1 6800 WEISKOPF AVENUE, STE 250 MCKINNEY, TX 75070
Contact	JOHN FARLEIGH, PE

QUANTITIES ARE ESTIMATED FOR PERMITTING PURPOSES ONLY.
THE CONTRACTOR SHALL PROVIDE INDEPENDENT EARTHWORK
ESTIMATES BASED ON APPROVED PLANS.

SITE INFORMATION



BASIS OF BEARING

HOLDING BEARINGS AND DISTANCES PER PORT OF CENTRALIA INDUSTRIAL PARK RECORDED UNDER LEWIS COUNTY AUDITOR'S FILE NO. 1121149.

BASIS OF ELEVATION:

NAVD 88: HOLDING PUBLISHED WSDOT MONUMENT ID. NO. 6712, DESIGNATION
CGM-C AT AN ELEVATION OF 172.578 USFt
TO CONVERT ELEVATIONS TO NGVD 29, SUBTRACT 3.425 USFt FROM ELEVATION
SHOWN HEREON.

- | | | |
|---|-----------------|----------------|
| ① | SSMH RIM | ELEV = 169.19' |
| | 12" PVC IN (N) | 161.81 E |
| | 10" PVC IN (E) | 161.61 E |
| | 12" PVC OUT (S) | 161.50 E |
| ② | SSMH RIM | ELEV = 170.75' |
| | 12" PVC IN (N) | 160.17 E |
| | 8" PVC IN (E) | 160.21 E |
| | 12" PVC OUT (S) | 160.12 E |
| ③ | SSMH RIM | ELEV = 169.92' |
| | 12" PVC IN (N) | 159.25 E |
| | 12" PVC OUT (S) | 159.16 E |
| ④ | SSMH RIM | ELEV = 170.61' |
| | 12" PVC IN (N) | 159.97 E |
| | 12" PVC IN (E) | 157.97 E |
| | 12" PVC OUT (S) | 157.72 E |
| ⑤ | SSMH RIM | ELEV = 170.74' |
| | 8" PVC IN (NE) | 160.95 E |
| | 8" PVC OUT (S) | 160.95 E |
| ⑥ | SSMH RIM | ELEV = 169.79' |
| | 8" PVC IN (NE) | 159.40 E |
| | 8" PVC OUT (S) | 159.20 E |
| ⑦ | SSMH RIM | ELEV = 170.08' |
| | 8" PVC IN (N) | 159.45 E |
| | 8" PVC OUT (S) | 159.35 E |
| ⑧ | SSMH RIM | ELEV = 170.63' |
| | 8" PVC IN (N) | 158.58 E |
| | 8" PVC IN (W) | 158.30 E |
| | 8" PVC OUT (S) | 158.37 E |
| ⑨ | SSMH RIM | ELEV = 169.90' |
| | 8" PVC IN (N) | 157.36 E |
| | 8" PVC OUT (S) | 157.26 E |
| ⑩ | SSMH RIM | ELEV = 169.90' |
| | 8" PVC IN (N) | 157.35 E |
| | 8" PVC OUT (S) | 157.26 E |
| ⑪ | SSMH RIM | ELEV = 170.17' |
| | 8" PVC IN (W) | 159.48 E |
| | 8" PVC OUT (E) | 159.33 E |
| ① | SDCB RIM | ELEV = 169.07' |
| | 8" PVC OUT (W) | 166.87 E |
| | SUMP | 165.08 |
| ② | SDCB RIM | ELEV = 169.23' |
| | 8" PVC OUT (W) | 166.50 E |
| | SUMP | 165.03 |
| ③ | SDCB RIM | ELEV = 169.28' |
| | 8" PVC IN (W) | 166.48 E |
| | 8" PVC OUT (E) | 166.53 E |
| | SUMP | 165.40 |
| ④ | SDCB RIM | ELEV = 169.50' |
| | 8" PVC OUT (W) | 166.58 E |
| | SUMP | 165.64 |
| ⑤ | SDCB RIM | ELEV = 169.60' |
| | 8" PVC IN (W) | 166.62 E |
| | 8" PVC OUT (SE) | 166.61 E |
| | SUMP | 165.57 |
| ⑥ | SDCB RIM | ELEV = 169.68' |
| | 8" PVC OUT (W) | 166.84 E |
| | SUMP | 165.51 |
| ⑦ | SDCB RIM | ELEV = 169.60' |
| | 8" PVC IN (W) | 166.70 E |
| | 8" PVC OUT (E) | 166.70 E |
| | SUMP | 165.67 |
| ⑧ | SDCB RIM | ELEV = 169.93' |
| | 8" PVC OUT (W) | 167.02 E |
| | SUMP | 165.74 |
| ⑨ | SDCB RIM | ELEV = 169.84' |
| | 8" PVC IN (W) | 166.82 E |
| | 8" PVC OUT (SE) | 166.81 E |
| | SUMP | 165.41 |
| ⑩ | SDCB RIM | ELEV = 169.07' |
| | 8" PVC OUT (W) | 166.87 E |
| | SUMP | 165.08 |
| ⑪ | SDCB RIM | ELEV = 169.08' |
| | 12" PVC IN (NW) | 166.77 E |
| | 8" PVC IN (E) | 166.63 E |
| | 12" PVC OUT (S) | 166.57 E |
| | SUMP | 165.58 |
| ⑫ | SDMH RIM | ELEV = 171.52' |
| | 12" PVC IN (N) | 165.13 E |
| | 24" RCP IN (W) | 164.53 E |
| | 8" PVC IN (S) | 164.70 E |
| | 24" RCP OUT (E) | 164.34 E |
| | SUMP | 164.28 |

LEGEND

CENTERLINE	_____	R/W	RIGHT-OF-WAY
STREET R/W LINE	_____	CLCF	CHAIN LINK FENCE
EASEMENT LINE	_____	DRW	DRIVEWAY
SECTION LINE	_____	S/W	SIDEWALK
LOT LINE	_____	CONC	CONCRETE
SITE BOUNDARY	_____		

EXISTING AS LOCATED

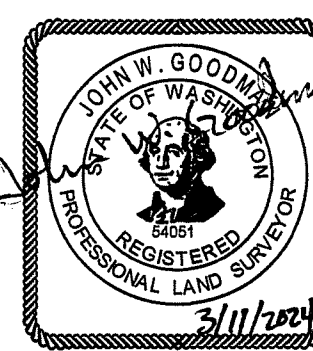
ELECTRICAL	_____	E
GAS	_____	G
WATER	_____	W
SANITARY SEWER	_____	SS
STORM DRAIN	_____	SD
<u>OVERHEAD</u>		
ELECTRICAL	_____	OE

- | | |
|---|---------------------------------|
|  | SIGN |
|  | BOLLARD |
|  | UTILITY HAND HOLE |
|  | GAS VALVE |
|  | POWER METER |
|  | POWER TRANSFORMER |
|  | POWER JUNCTION BOX |
|  | ELECTRICAL BOX |
|  | SANITARY SEWER MANHOLE |
| | |
|  | STORM DRAIN CATCH BASIN |
|  | STORM DRAIN MANHOLE |
|  | WATER METER |
|  | WATER VALVE |
|  | FIRE HYDRANT |
|  | IRRIGATION CONTROL VALVE
BOX |

03/11/24 | 3:33 PM | J. GOODMAN
Z:\DATA\PROJECTS\15-3W-36\5382 FRY BEACON BLDG PROJ\15-3W-36 5382 BEACON BASE.DWG

PROJECT INFORMATION					
PROJECT NO.		PROJECT NAME		PROJECT LOCATION	
PROJECT DESCRIPTION		PROJECT STATUS		PROJECT START DATE	
PROJECT END DATE		PROJECT BUDGET		PROJECT COST	
PROJECT MANAGER		PROJECT COORDINATOR		PROJECT TEAM	
PROJECT SCHEDULE		PROJECT RISK		PROJECT CHANGES	
PROJECT HISTORY		PROJECT DOCUMENTS		PROJECT CONTACTS	
PROJECT COMMENTS		PROJECT NOTES		PROJECT ACTION ITEMS	
PROJECT APPROVAL		PROJECT SIGNATURE		PROJECT DATE	
No.	DATE	DSN	CHK	APP	REVISION

DESIGNED BY:	B. RAINS
DRAWN BY:	M. NOWELS
CHECKED BY:	J. GOODMAN
APPROVED BY:	J. GOODMAN



**FORESIGHT
SURVEYING, INC.**
PROFESSIONAL LAND SURVEYORS

1583 N NATIONAL AVE
CHEHALIS, WA 98532 OFFICE: (360) 748-4000

SUBMITTED BY:

DATE:

REVIEWED BY:

LINE IS 1" AT FULL SCALE

DATE _____

SCALE:

1" = 2

FILENAME:
15-3W-36 5382 BEACON BASE

CONTRACT No.:

DATE:	03/07/2024
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**CITY OF CENTRALIA
TOPOGRAPHIC SURVEY**

APN: 023923001000, 023923004000,
023923005000, 023923006000 &
023923007000

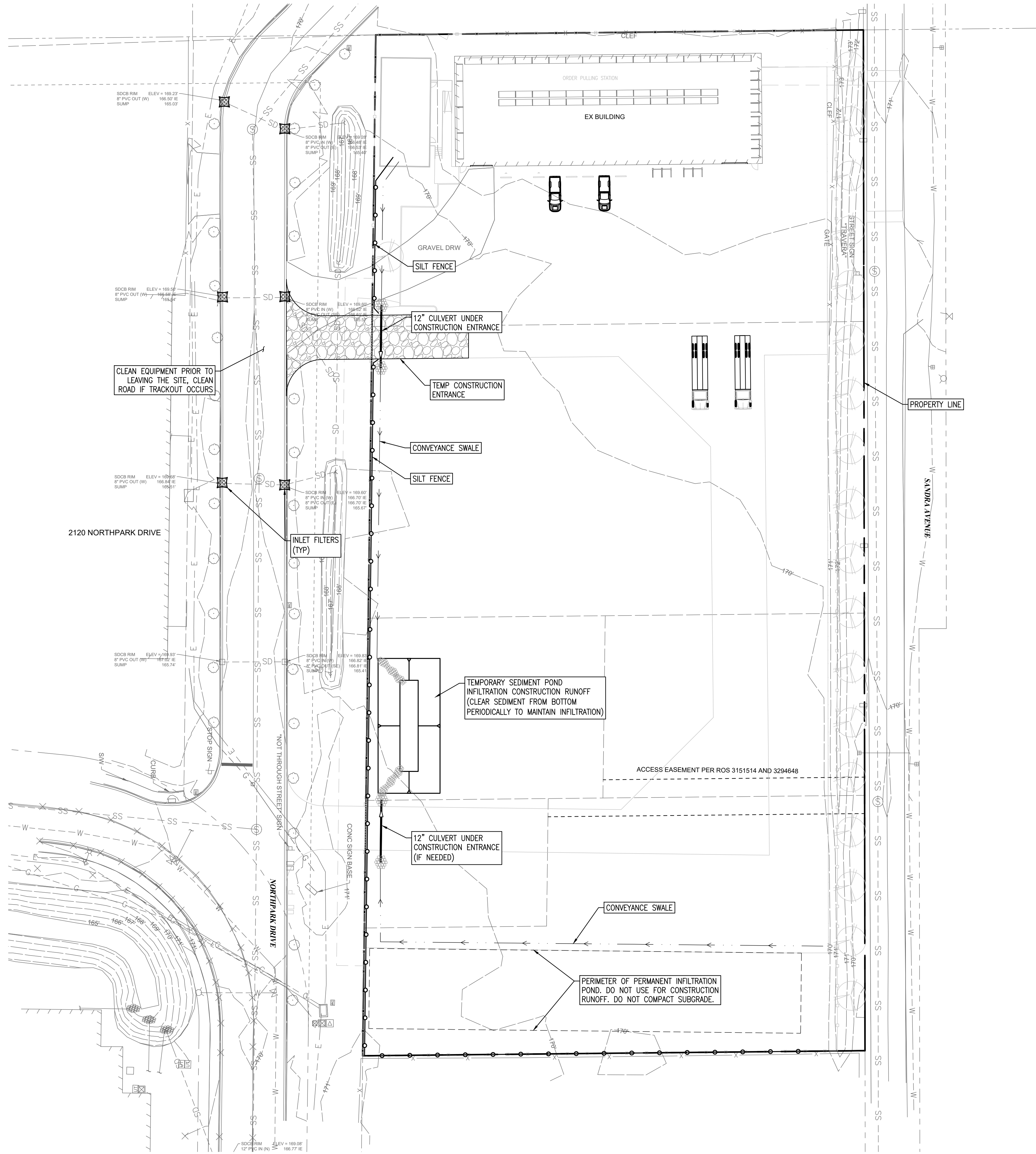
DRAWING No.:

15-3W-36 5382 BEACON BASE

LOCATION ID:

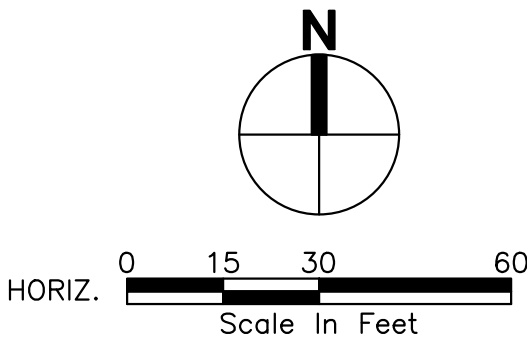
15-3W-36 5382 BEACON BASE

1 OF 1



TESC LEGEND	
TEMP. SILT FENCE	
TEMP. SECURITY FENCE	
STORM LINE	
RIP/RAP CONSTRUCTION ENTRANCE	
CB INLET PROTECTION (FILTER)	
EXISTING SEWER	
EXISTING WATER	
EXISTING STORM DRAIN	
EXISTING UNDERGROUND POWER	

- CONSTRUCTION NOTES
- ALL WORK IN THE PUBLIC R/W REQUIRES A ROW WORK PERMIT. CONTRACTOR TO PROVIDE TRAFFIC CONTROL AND OBTAIN REQUIRED PERMITS.
 - ALL UTILITIES SHALL BE COMPLETELY REMOVED UNDER STRUCTURES (ABANDONED UTILITIES UNDERGROUND IS ONLY PERMITTED OUTSIDE THE BEARING ZONE OF STRUCTURES).
 - THE CONTRACTOR SHALL INCLUDE ALL PAVEMENT SAWCUTTING AS NECESSARY TO INSTALL UTILITY AND ROAD IMPROVEMENTS SHOWN THROUGHOUT THIS PLAN SET (TYP).
 - SEE SHEET C1.10 FOR EROSION CONTROL NOTES AND DETAILS.
 - THE PERMANENT INFILTRATION FACILITIES CANNOT BE USED FOR CONSTRUCTION RUNOFF. SEDIMENT CAN PLUG THE SUBGRADE AND REDUCE THE INFILTRATION PERFORMANCE. SEE SHEET C3.20 FOR INFILTRATION DESIGN.
 - THIS PROJECT IS OVER AN ACRE AND REQUIRED TO OBTAIN A CONSTRUCTION STORMWATER GENERAL PERMIT FROM WA STATE DEPARTMENT OF ECOLOGY PRIOR TO GROUND DISTURBANCE. PROVIDE CITY WITH APPROVAL LETTER PRIOR TO START OF CONSTRUCTION. THE CITY WILL REQUIRE A COPY OF THE PERMIT PRIOR TO THE START OF CONSTRUCTION.



Approval for Construction	
City Engineer	Date
Approval Expires One Year From Date Above	

CALL BEFORE
YOU DIG 811
UNDERGROUND SERVICE (USA)

REVISIONS	
No	Description
1	PROJECT COORDINATION
2	PORT OF CENTRALIA SITE PLAN REVIEW
3	CENTRALIA PERMIT SET
4	CENTRALIA PERMIT SET
5	CENTRALIA PERMIT SET
2/4/25	
1/7/25	
9/13/24	
8/22/24	
5/31/24	

24-010	Project No.
	Drawn By
	Designed By
JCF	Approved By
2/4/2025	Date



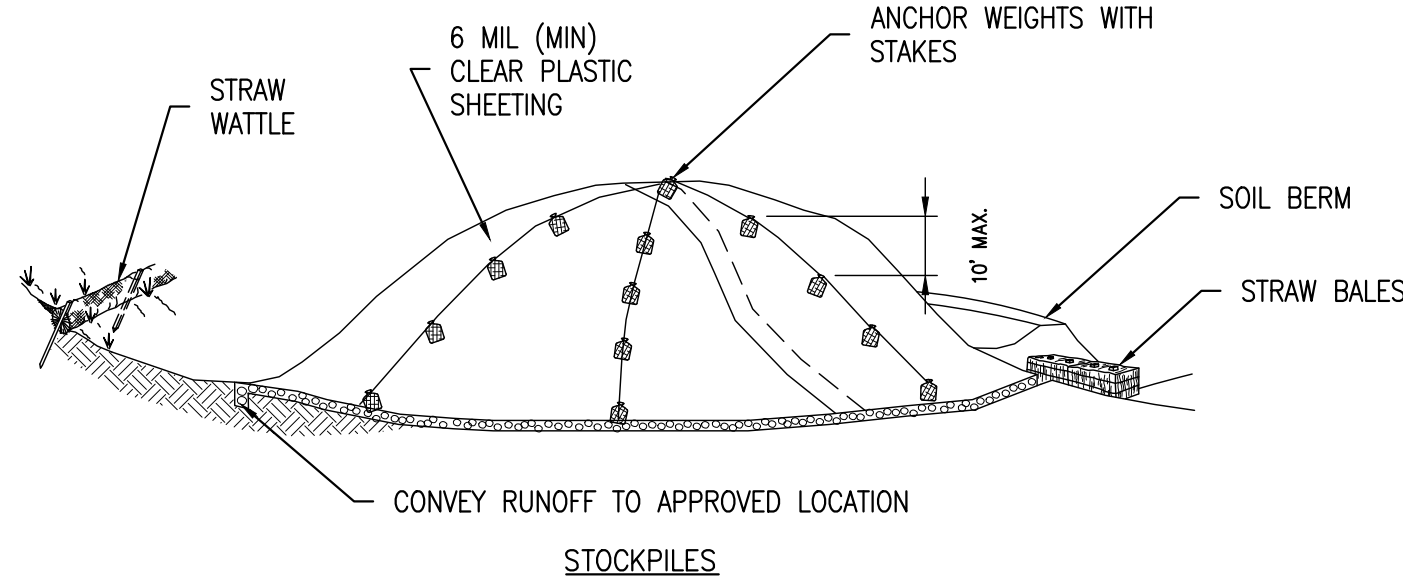
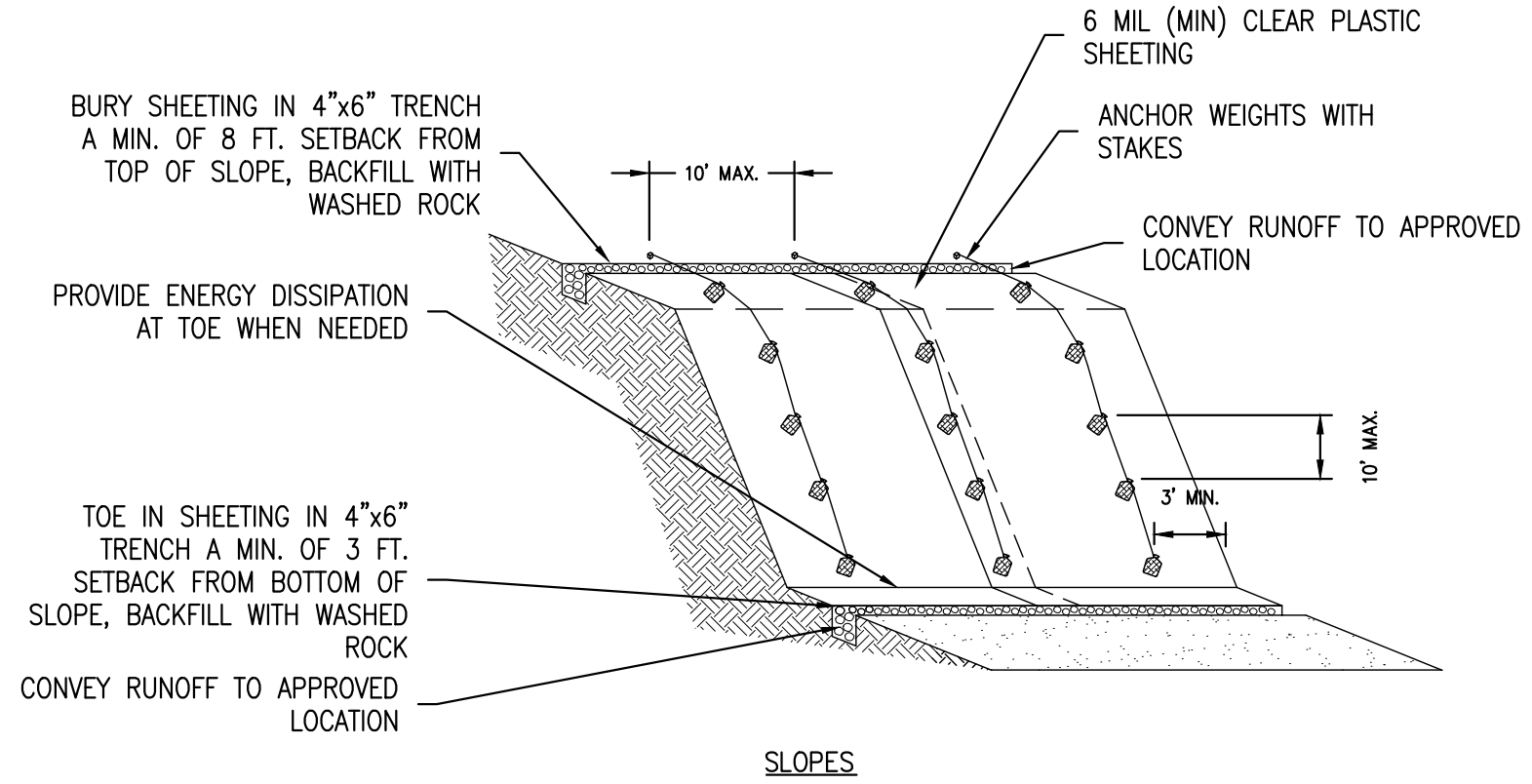
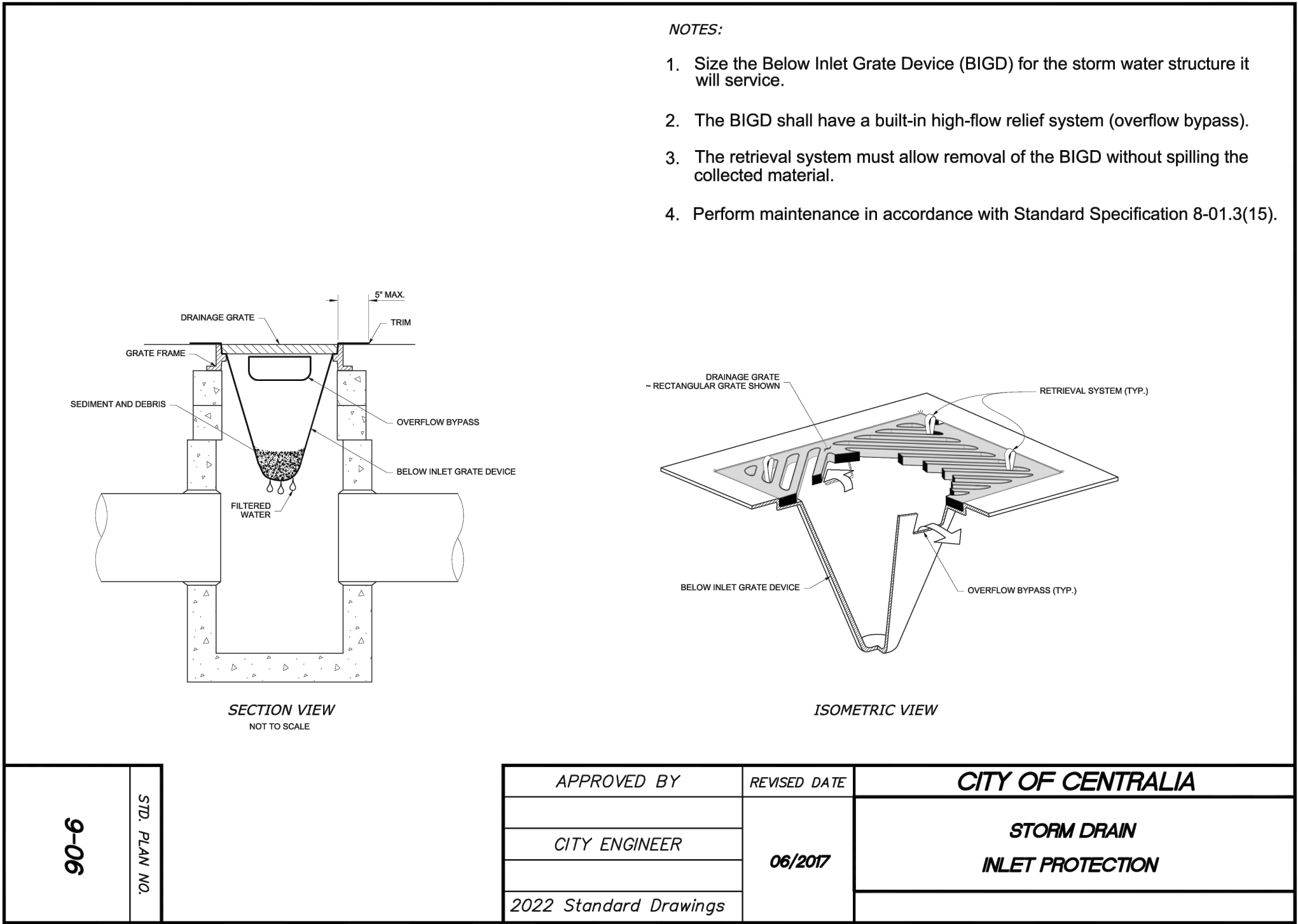
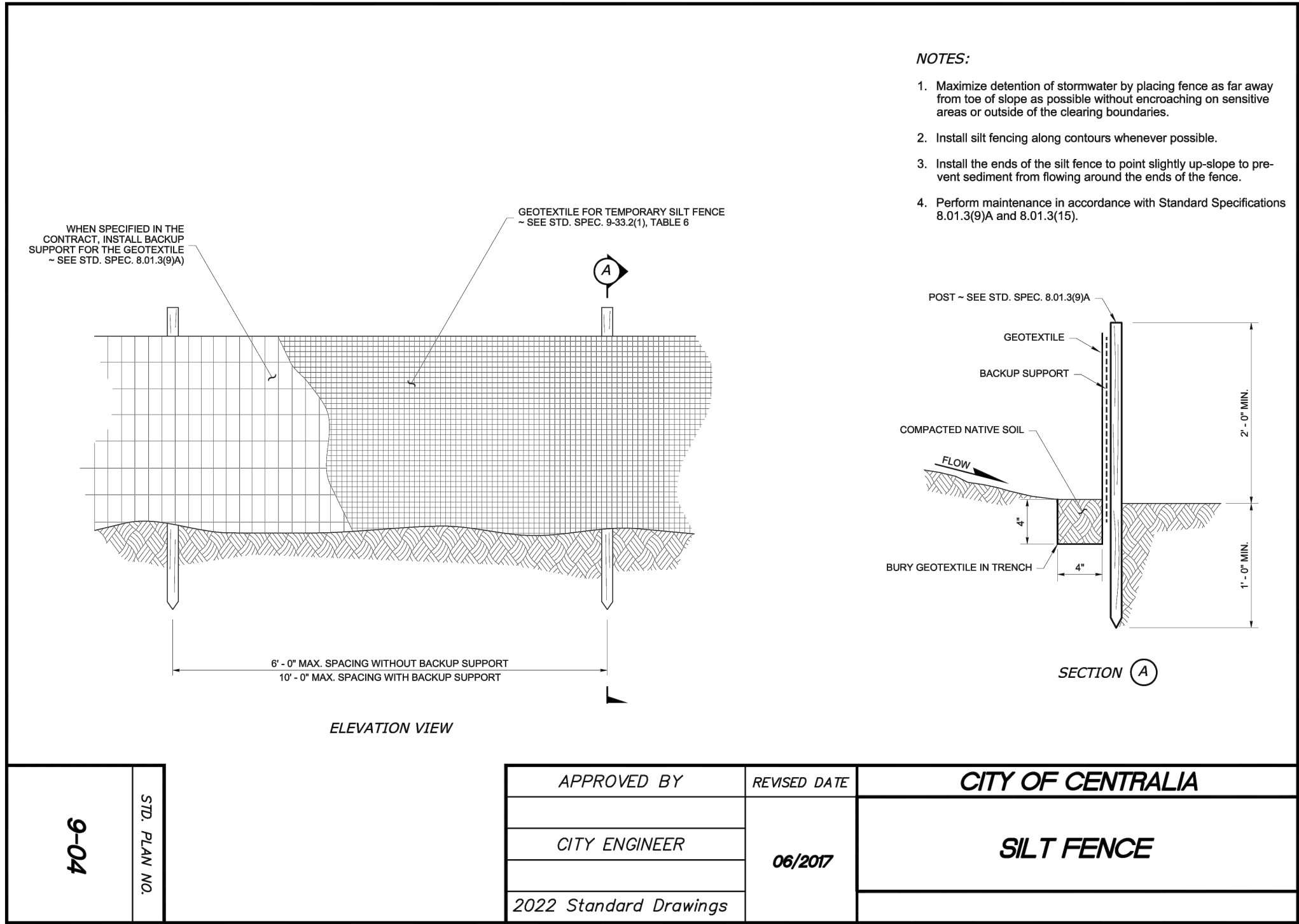
CECIL ASSOCIATES
P.O. BOX 598 BOTHELL, WA 98011
(206) 484-3495
www.cecilassoc.com

Client: BEACON BUILDING PRODUCTS
2000 NORTH PARK DRIVE
800 MESKOPF AVENUE, STE 200
MCKINNEY, TX 75070

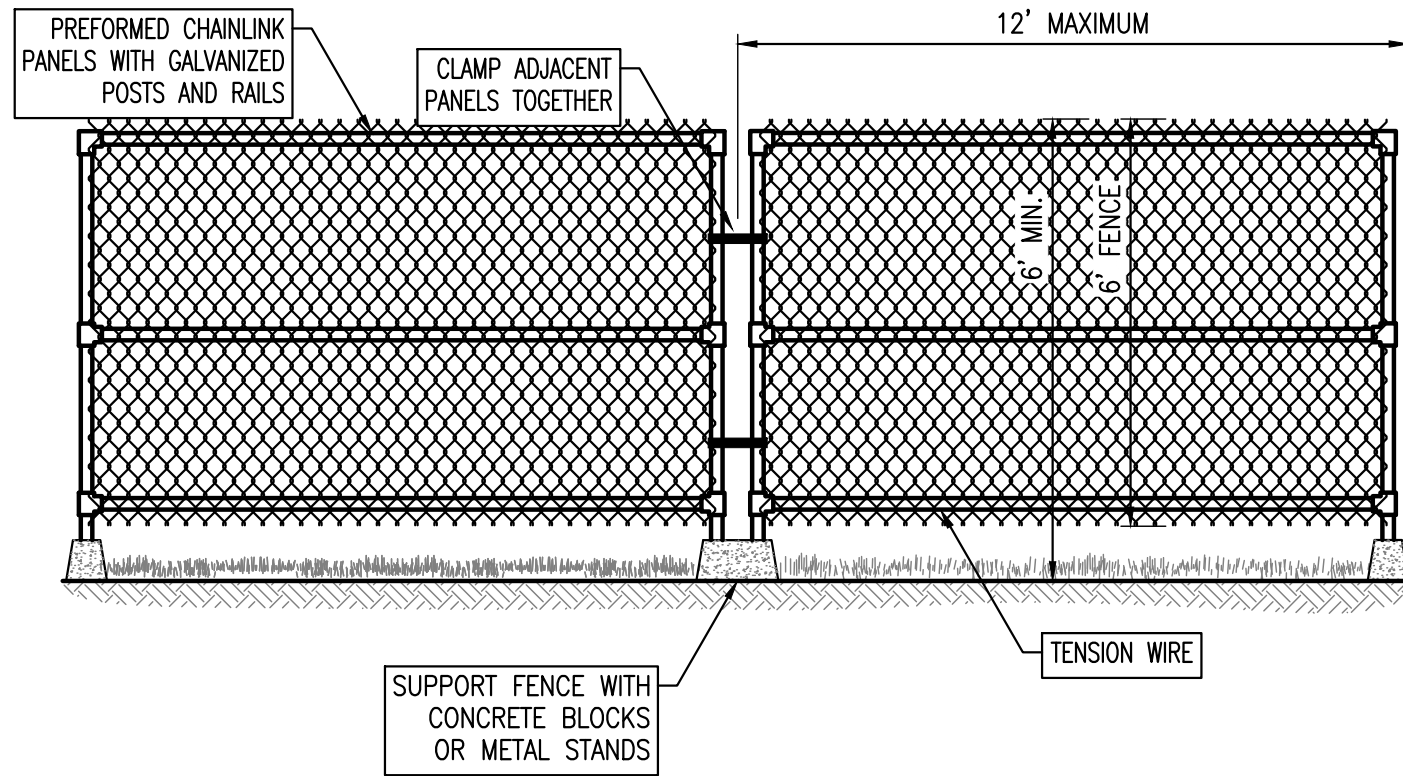
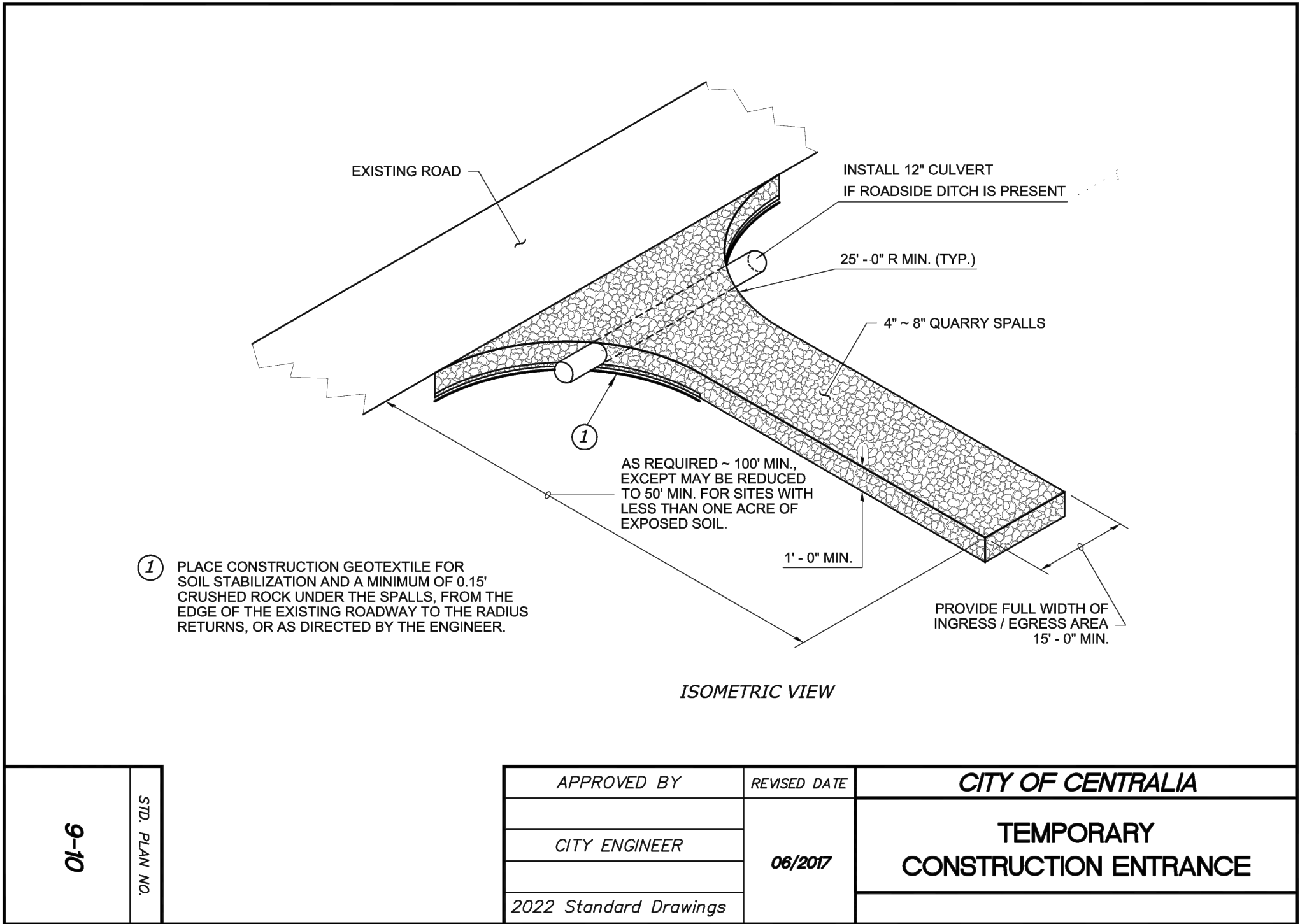
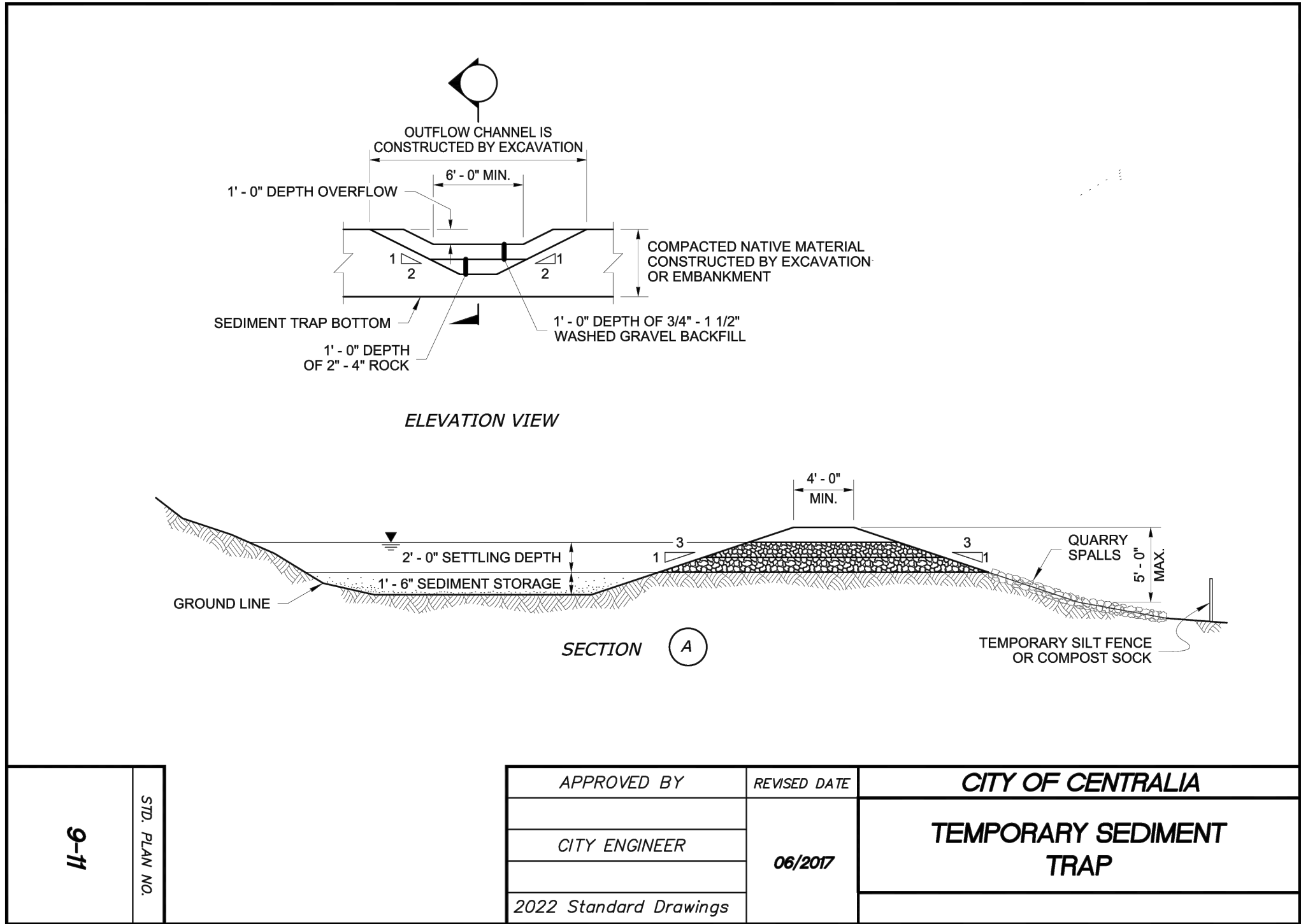
JOHN FARLEIGH, PE
Contact

BEACON BUILDING PRODUCTS
2000 NORTH PARK DRIVE

TESC PLAN



3 PLASTIC COVERING DETAIL
NOT TO SCALE



Approval for Construction
City Engineer _____ Date _____
Approval Expires One Year From Date Above

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UNDERGROUND SERVICE (USA)

REVISIONS	Project No.	Drawn By	Designed By	Approved By	Date
1	24-010	JCF	JCF	JCF	5/31/24
2					8/22/24
3					9/13/24
4					1/7/25
5					2/4/25

24-010	Project No.	Drawn By	Designed By	Approved By	Date
JCF		JCF	JCF	JCF	5/31/24
JCF					8/22/24
JCF					9/13/24
JCF					1/7/25
JCF					2/4/25



CECIL ASSOCIATES
P.O. BOX 598 BOOTHILL, WA 98011
(206) 484-3495
www.cecilassoc.com

Client: BEACON BUILDING PRODUCTS
2000 NORTH PARK DRIVE
8000 MESKOPF AVENUE, STE 200
MCKINNEY, TX 75070

JOHN FARLEIGH, PE
Contact

BEACON BUILDING PRODUCTS
2000 NORTH PARK DRIVE

TESC DETAILS

C1.10

The site plan for 2120 Northpark Drive shows a property bounded by Northpark Drive to the north and west, and Sandra Avenue to the east. The plan includes a portable office building, an existing building (EX BUILDING), and a new building (3). Key features include a concrete walkway, concrete vertical curb, gate, and various parking areas with asphalt and gravel surfacing. The plan also shows a stormwater system, inventory racks, and a 30' drive isle. Surrounding infrastructure includes 2120 Northpark Drive, Sandra Avenue, and a power easement. The plan includes numerous dimensions, bearings, and elevations, as well as references to other sheets (C2.11, C2.10, C3.00, C2.12) and details (4-03).

Key features and dimensions include:

- 2120 NORTHPARK DRIVE (North and West boundaries)
- 2140 NORTHPARK DRIVE (North boundary)
- 6' PERIMETER CHAINLINK FENCE W/ BARB WIRE (North and West boundaries)
- PORTABLE OFFICE BUILDING
- EX BUILDING
- CONCRETE WALKWAY
- CONCRETE VERTICAL CURB, SEE C2.11
- GATE
- 74' 3" TALL RAISED ASPHALT EDGE FOR DRAINAGE (18" WIDE x 6" THICK)
- 20' ASPHALT THICKENED EDGE FOR INVENTORY ACCESS (18" WIDE x 6" THICK)
- 15' DRAINAGE EASEMENT
- GRASS LINED SWALE FLOW LINE EL= 167.00 AMEND W/ 6" TOPSOIL
- RELOCATED STREET SIGN & MAILBOXES
- ORDER PULLING STATION
- CONCRETE WALKWAY
- ADA STALLS SEE C2.11
- INVENTORY RACKS
- INSTALL EV PARKING STALL
- ASPHALT PAVEMENT SEE SHEET C2.11
- STORMWATER SYSTEM SEE SHEET C3.00
- 48' 3" TALL RAISED ASPHALT EDGE FOR DRAINAGE (18" WIDE x 6" THICK)
- 30' DRIVE ISLE
- ASPHALT PAVEMENT SEE SHEET C2.11
- GRAVEL SURFACED INVENTORY AREA - INVENTORY STACKED ON PALLETS 8 FT. HIGH (AISLE STRIPING SHOWN)
- 20' AISLE
- 10' POWER EASEMENT
- ROAD CROSSING RESTORATION PER DETAIL 4-03 SEE SHEET C2.10 (POWER SERVICE)
- ROAD CROSSING RESTORATION PER DETAIL 4-03 SEE SHEET C2.10 (WATER SERVICE)
- PROPERTY LINE
- 6' PERIMETER CHAINLINK FENCE W/ BARB WIRE (East boundary)
- 15' LANDSCAPE BUFFER
- STREET TREES @ 30' O.C. ZELCOVA SERRATA 'GREEN VASE'
- SANDRA AVENUE (East boundary)
- STA 9+00 N: 10872.29 E: 8689.97
- ACCESS EASEMENT PER ROS 3151514 AND 3294648
- ASPHALT PAVEMENT SEE SHEET C2.11
- GRAVEL SURFACED INVENTORY AREA - INVENTORY STACKED ON PALLETS 8 FT. HIGH (AISLE STRIPING SHOWN)
- 275.68' S89° 25' 02" W
- 6' PERIMETER CHAINLINK FENCE W/ BARB WIRE (South boundary)

	PROPERTY LINE
	ROAD CENTERLINE
	EASEMENT LINE
	6' BARB WIRE FENCE
	PROPOSED ASPHALT
	PROPOSED CONCRETE
	6" CRUSHED SURFACING BASE COURSE

1. ALL WORK IN THE PUBLIC R/W REQUIRES A ROW WORK PERMIT. CONTRACTOR TO PROVIDE TRAFFIC CONTROL AND OBTAIN REQUIRED PERMITS.
2. THE CONTRACTOR SHALL COORDINATE INSPECTION OF SUBGRADE BELOW PAVEMENT AND STRUCTURES (BY CITY). FURNISH INSPECTION/COMPACTION REPORTS TO CITY, OWNER, AND TENANTS AS REQUESTED.

Developed Land Cover Characteristics		
	SF	Acres
Property Area	152,155	3.493
Existing Warehouse Roof Area	10,194	0.234
New + Replaced Impervious Area	108,854	2.489
New Portable Office Roof Area	1,448	0.033
Offsite Driveway Apron Area	2,516	0.058
Total Impervious Area	123,012	2.824
Pasture Area	31,659	0.727
Total Area of Disturbance	154,671	3.551

No.	Description	Date
1	PROPOSED EVALUATION	5/1/24
2	PORT OF CENTRALIA SITE PLAN REVIEW	8/12/24
3	CENTRALIA PERMIT SET	9/13/24
4	CENTRALIA PERMIT SET	1/7/25
5	CENTRALIA PERMIT SET	2/4/25

24-010
Project No.
Drawn By
Designed By
JCF
Approved By
2/4/2025
Date



CECIL
ASSOCIATES

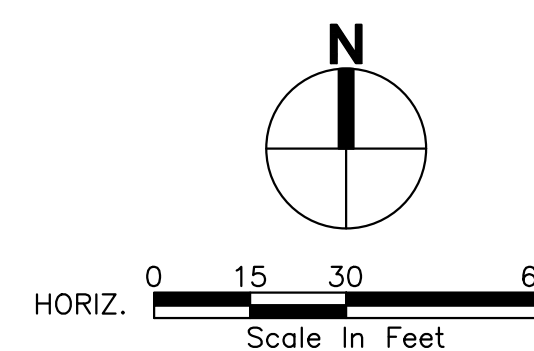
PO BOX 598 BOTHELL, WA 98011
(206) 484-3495
www.cecilnassoc.com

Client	BEACON BUILDING PRODUCTS MCKINNEY CORPORATE CENTER 1 6800 WEISKOPF AVENUE, STE 250 MCKINNEY, TX 75070
Contact	JOHN FARLEIGH, PE

BEACON BUILDING PRODUCTS
2000 NORTHPARK DRIVE

SITE PLAN

	C2.00



Approval for Construction

City Engineer Date

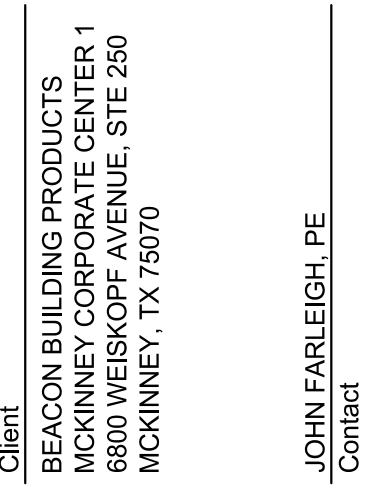
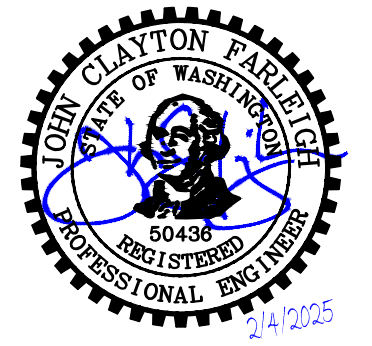
Approval Expires One Year From Date Above

CALL BEFORE
YOU DIG 811
UNDERGROUND SERVICE (USA)

REVISIONS	Description
22	ITALIA PERM
23	ITALIA PERM
24	ITALIA PERM
25	ITALIA SITE
26	CT COORDI

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| 5 | | CEN | |
| 4 | | CEN | |
| 3 | | CEN | |
| 2 | | PORT OF CE | |
| 1 | | PRO. | |
| No. | | | |

24-010
Project No.
Drawn By
Designed By
JCF
Approved By
2/4/2025
Date



BEACON BUILDING PRODUCTS

2000 NORTHPARK DRIVE

SITE & STREET DETAILS

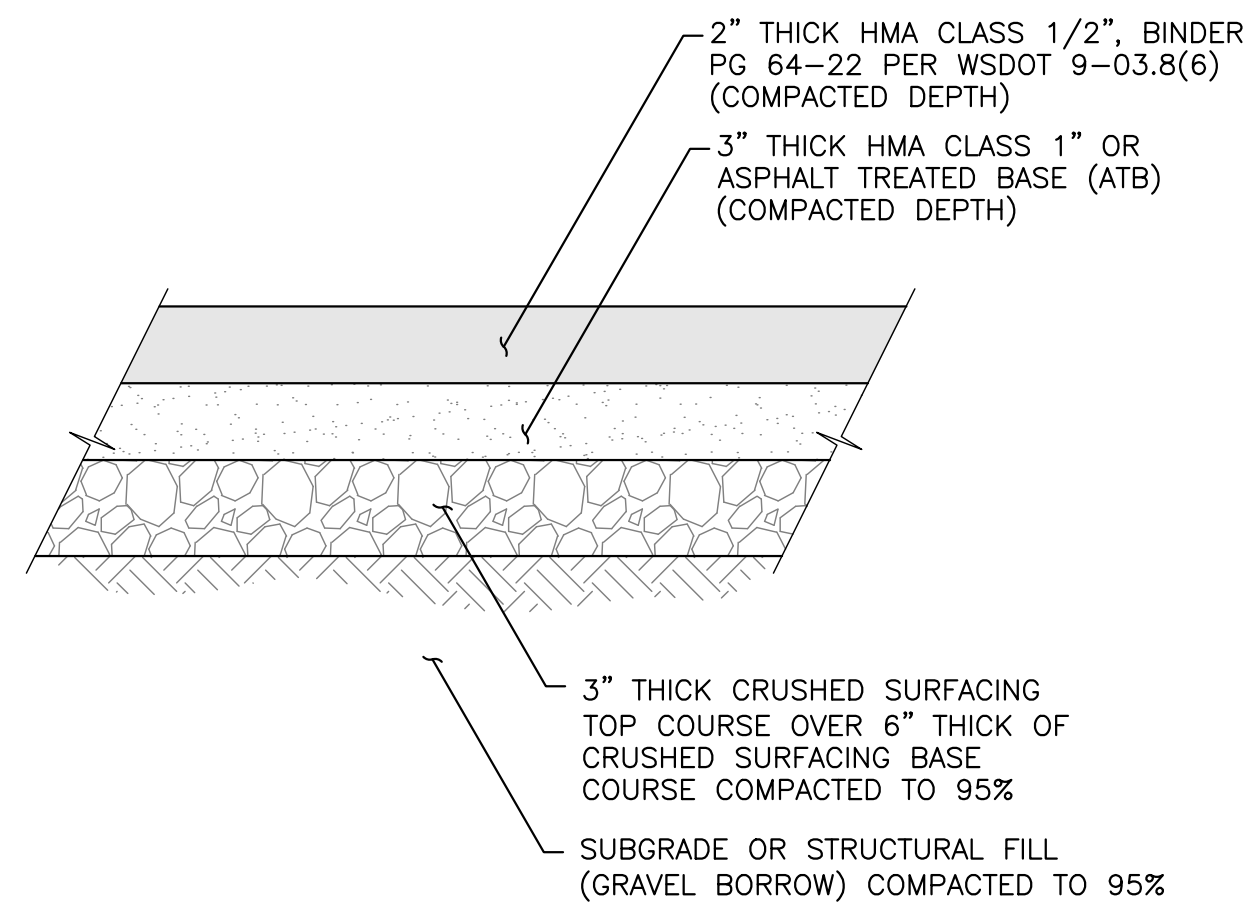
C2.10

Approval for Construction

City Engineer Date

Approval Expires One Year From Date Above

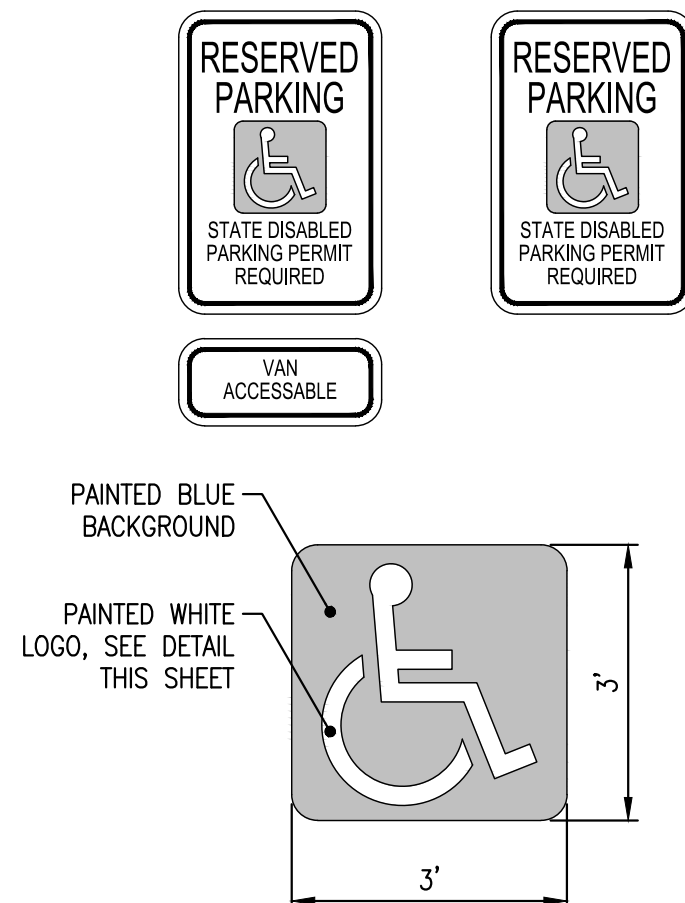
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UNDERGROUND SERVICE (USA)



1. MATERIALS AND INSTALLATION SHALL MEET CURRENT WSDOT SPECIFICATIONS AND REQUIRES CITY APPROVAL PRIOR TO USE.
2. COMPACTION SHALL BE 95% MAXIMUM DRY DENSITY PER ASTM D-1557.
3. GRAVEL BORROW SHALL HAVE LESS THAN 5% FINES (LESS THAN 5% PASSING THE No. 200 SIEVE).
4. DEPENDING ON CONSTRUCTION STAGING AND CONSTRUCTION SEQUENCING ASPHALT TREATED BASE (ATB) MAY BE SUBSTITUTED FOR CRUSHED BASE COURSE MATERIAL AS FOLLOWS: 4" OF CRUSHED ROCK MAY BE SUBSTITUTED WITH 3-INCHES OF ATB, AND 6" OF CRUSHED ROCK MAY BE SUBSTITUTED WITH 4" OF ATB. ATB SHOULD BE PLACED OVER A NATIVE OR STRUCTURAL FILL SUBGRADE COMPACTED TO A MINIMUM OF 95% RELATIVE DENSITY, AND 1-1/2" TO 2" THICKNESS OF CRUSHED ROCK TO ACT AS A WORKING SURFACE.
5. IF ATB OR FIRST LIFT OF ASPHALT IS USED AS A WORK SURFACE ALL CRACKS AND POTHOLES SHOULD BE REPAIRED PRIOR TO INSTALLING THE FINAL LIFT OF ASPHALT. DO NOT CUT INTO FINAL ASPHALT.

1. MATERIALS AND INSTALLATION SHALL MEET CURRENT WSDOT SPECIFICATIONS AND REQUIRES CITY APPROVAL PRIOR TO USE.
2. ALL JOINTS TO MATCH SIDEWALK EXPANSION JOINT SPACING OR AT 10' O.C. MINIMUM.
3. CONCRETE SHALL BE CLASS 4000 MIX.

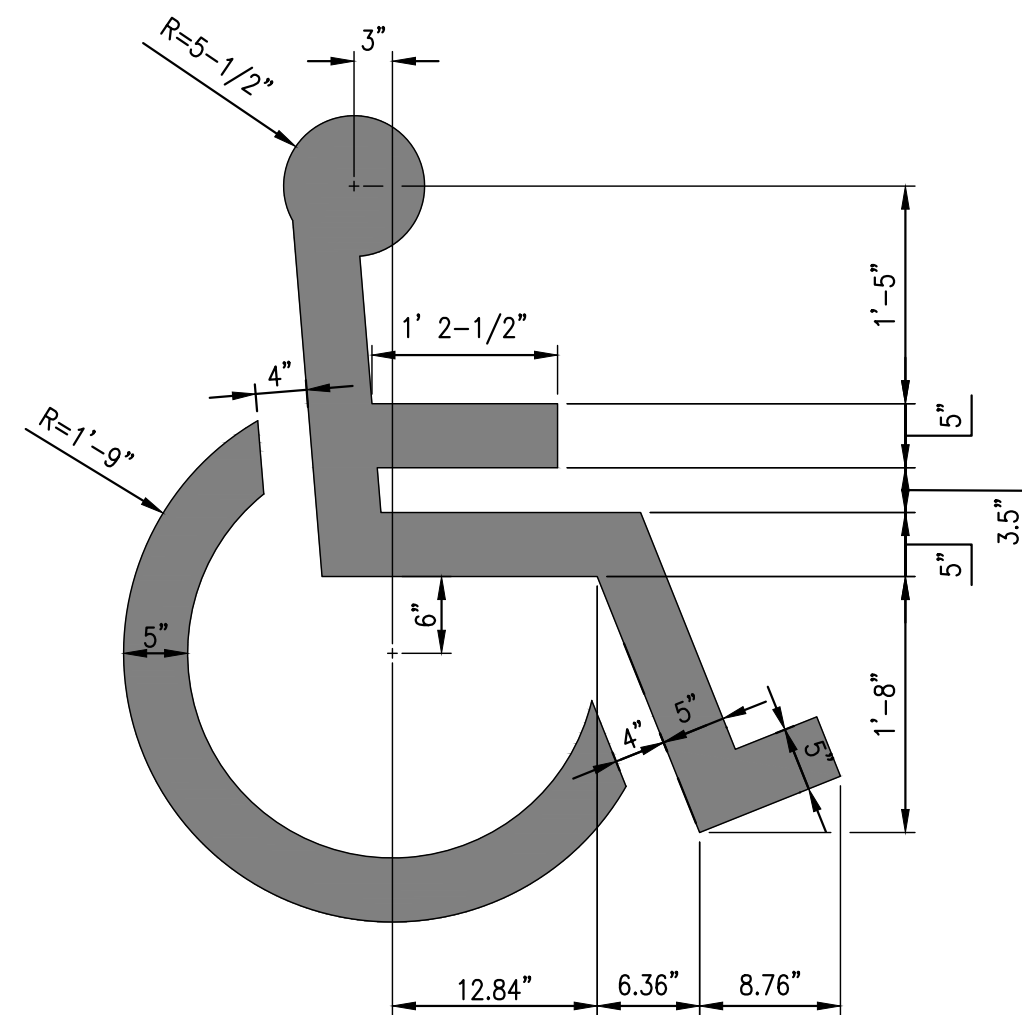
2
- ASPHALT PAVEMENT DETAIL
N.T.S.



AN ADDITIONAL SIGN SHALL ALSO BE POSTED IN A CONSPICUOUS PLACE, AT EACH ENTRANCE TO OFF-STREET PARKING FACILITIES, OR IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE. THE SIGN SHALL BE NOT LESS THAN 17 INCHES BY 22 INCHES IN SIZE WITH LETTERING NOT LESS THAN 1 INCH IN HEIGHT, WHICH CLEARLY AND CONSPICUOUSLY STATES THE FOLLOWING:

"UNAUTHORIZED VEHICLES PARKED IN DESIGNATED DISABLED PARKING SPACES ARE DISPLAYING DISTURBING PLACARDS OR LICENSE PLATES ISSUED FOR PHYSICALLY DISABLED PERSONS MAY BE TOWED AWAY AT OWNER'S EXPENSE. TOWED VEHICLES MAY BE RECLAIMED AT _____ OR _____"

OR BY TELEPHONING _____"



ADA SIGN & SYMBOLS

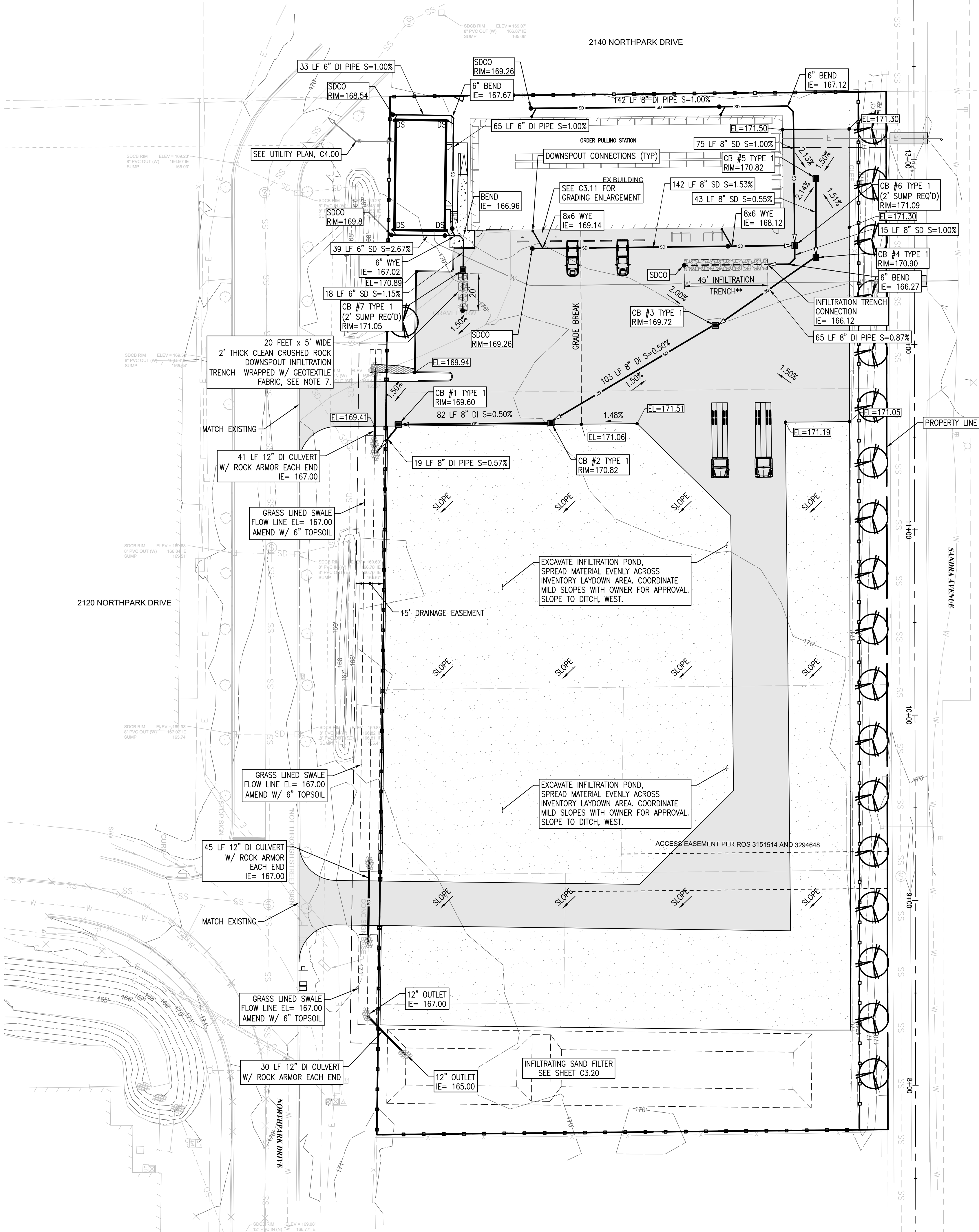
Approval for Construction

City Engineer Date

Approval Expires One Year From Date Above

BEACON BUILDING PRODUCTS
2000 NORTHPARK DRIVE

SITE & STREET DETAILS



****INFILTRATION TRENCH:**
45 FEET x 6' WIDE
2' THICK CLEAN CRUSHED ROCK
DOWNSPOUT INFILTRATION
TRENCH WRAPPED W/ GEOTEXTILE
FABRIC, SEE NOTE 8.

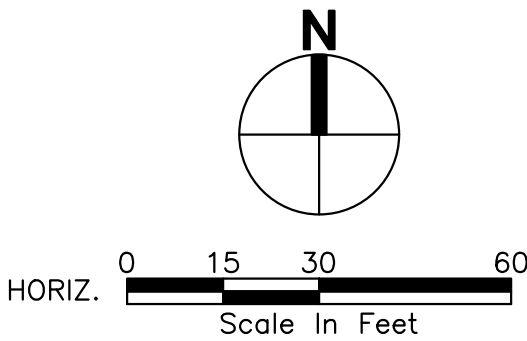
LEGEND

- PROPERTY LINE
- ROAD CENTERLINE
- PROPOSED EASEMENT LINE
- FOUNDATION DRAIN LINE
- SD --- STORM DRAIN LINE
- SS --- SANITARY SEWER LINE
- W --- WATER LINE
- E --- UNDERGROUND POWER
- G --- GAS LINE

DRAINAGE NOTES

1. THE FINISHED FLOOR OF THE EXISTING WAREHOUSE IS ASSUMED TO BE 171.50. FIELD VERIFY; SITE GRADES SHOULD BE ADJUSTED IF THE WAREHOUSE SLAB ELEVATION DIFFERS TO INSURE DRAINAGE AND ADA GRADING COMPLIANCE (ADA STALLS, ETC.)
2. THE CONTRACTOR SHALL COORDINATE DOWNSPOUT LOCATIONS. PROVIDE CONNECTION PER DETAIL ON SHEET C3.10.
3. THE CONTRACTOR SHALL KEEP ACCURATE RECORDS OF UNDERGROUND UTILITY INSTALLATION INCLUDING ACTUAL (ASBUILT) PIPE ELEVATIONS, RIM ELEVATIONS, AND PLACEMENT. FURNISH TO CITY, OWNER, AND CIVIL ENGINEER FOR PERMITTING CLOSEOUT. THE CITY REQUIRES ASBUILTS PRIOR TO ISSUING OCCUPANCY.
4. THE INFILTRATION FACILITIES HAVE BEEN DESIGNED TO INFILTRATE AT A LONG-TERM INFILTRATION RATE OF 8.9 INCHES/HR. THE CONTRACTOR SHALL COORDINATE INSTALLATION WITH GEOTECH OF RECORD TO FIELD VERIFY PERFORMANCE OF FACILITY. FURNISH "APPROVAL LETTER" FROM GEOTECH TO CIVIL ENGINEER FOR PROJECT CLOSEOUT.
5. DO NOT ALLOW CONSTRUCTION STORMWATER IN THE PERMANENT INFILTRATION FACILITY OR SUBGRADE SOILS. TURBID RUNOFF CAN COMPROMISE THE LONG-TERM INFILTRATION PERFORMANCE OF THE FACILITY. COMPROMISED SOILS SHALL BE OVER EXCAVATED AND REPLACED AT CONTRACTORS EXPENSE.
6. SEE SHEETS C3.10 & C3.11 FOR DRAINAGE DETAILS. SEE SHEET C3.30 FOR DRAINAGE PROFILES.
7. INSTALL RECTANGULAR VANED GRATES ON ALL CATCH BASINS UNLESS NOTED OTHERWISE, SEE SHEET C3.10. OBTAIN CITY APPROVAL PRIOR TO INSTALLATION.
8. SEE 2025 WSDOT STANDARD SPECIFICATIONS SECTION 9-33.1 FOR GEOTEXTILE REQUIREMENTS. NON-WOVEN WITH MODERATE SURVIVABILITY REQUIRED. GEOTEXTILE SHALL WRAP THE ENTIRE FACILITY.

STRUCTURE TABLE	
STRUCTURE NAME	STRUCTURE DETAILS
CB #1 TYPE 1 11+57.33 278.49' LT	RIM=169.60 IE IN=167.11 (8" E) IE OUT=167.11 (8" SW)
CB #2 TYPE 1 11+57.98 196.09' LT	RIM=170.82 IE IN=167.52 (8" NE) IE OUT=167.52 (8" W)
CB #3 TYPE 1 12+10.47 107.40' LT	RIM=169.72 IE IN=168.03 (8" NE) IE OUT=168.03 (8" SW)
CB #4 TYPE 1 12+46.98 53.02' LT	RIM=170.90 IE IN=168.60 (8" N) IE OUT=168.60 (8" SW)
CB #5 TYPE 1 12+89.76 52.84' LT	RIM=170.82 IE OUT=168.83 (8" S)
CB #6 TYPE 1 (2' SUMP REQ'D) 12+53.52 64.46' LT	RIM=171.09 IE IN=166.37 (8" N) IE IN=166.37 (8" W) IE OUT=166.37 (8" S)
CB #7 TYPE 1 (2' SUMP REQ'D) 12+40.60 243.42' LT	RIM=171.05 IE IN=166.75 (6" N) IE OUT=166.75 (6" S)



Approval for Construction
City Engineer _____ Date _____
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UNDERGROUND SERVICE (USA)

REVISIONS

No.	Description	Date
1	PROJECT COORDINATION	5/31/24
2	PORT OF CENTRALIA SITE PLAN REVIEW	8/22/24
3	CENTRALIA PERMIT SET	1/7/25
4	CENTRALIA PERMIT SET	2/4/25
5	Drawn By	

Client:

BEACON BUILDING PRODUCTS
1800 NORTHPARK DRIVE
800 WESKOPF AVENUE, STE 250
MCKINNEY, TX 75070

JOHN FARLEIGH, PE
Contact

24-010
Project No.

Drawn By

Designed By
JCF

Approved By
2/4/2025

Date

JOHN FARLEIGH, PE
REGISTERED PROFESSIONAL ENGINEER
STATE OF TEXAS
NO. 40438
EXPIRATION DATE 12/31/2025

CECIL ASSOCIATES
P.O. BOX 598 BOWELL, WA 98011
(206) 484-3495
www.cecilnassoc.com

BEACON BUILDING PRODUCTS
2000 NORTHPARK DRIVE

GRADING & DRAINAGE PLAN

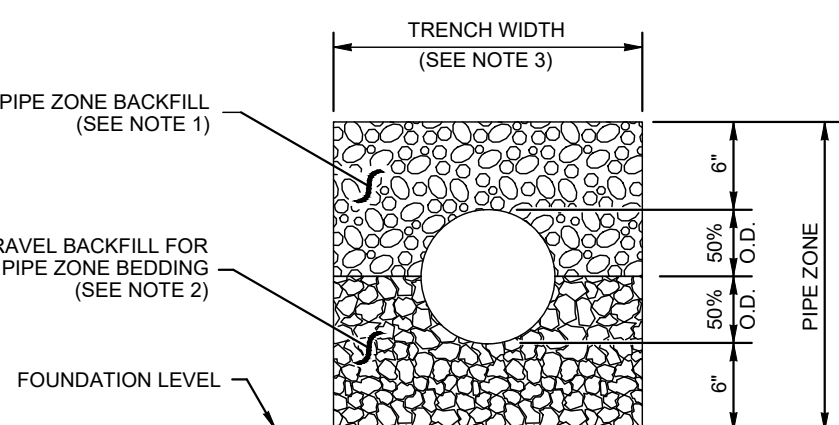
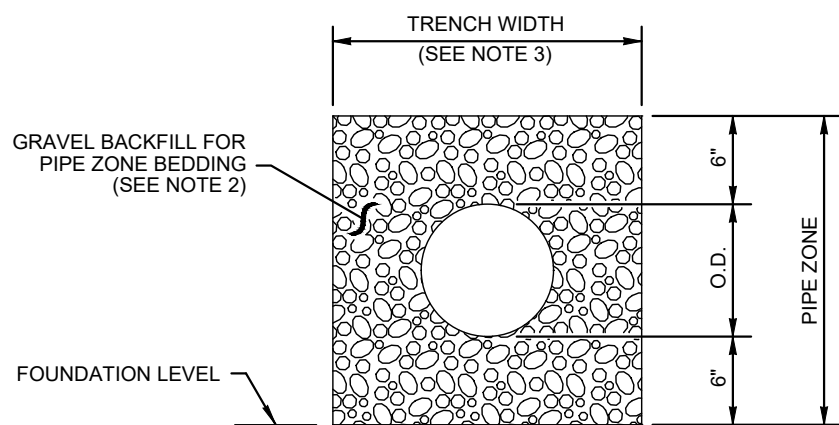
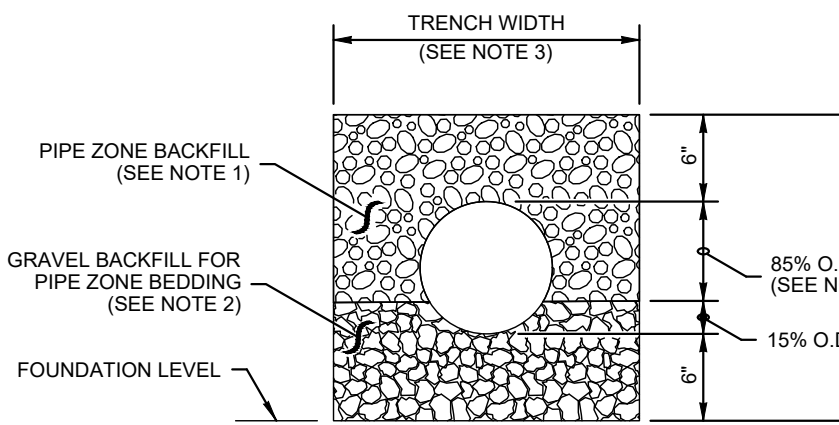
C3.00

25 1/4" X 29 1/4" METAL GRATE (WSDOT STANDARD
PLAN B-30.30-03 or B-30.40-03) UNLESS NOTED
OTHERWISE ON PLAN

-
- Technical drawing of a catch basin showing three views: Plan, Riser Section, and Precast Base Section.
- Plan View (Top):** Shows a square catch basin with a 34" width. The interior is divided into a grid of 4x4 cells. The depth is 25'-1/4". The total width including the frame is 30".
- Riser Section (Middle):** Shows a cross-section of the riser. The top width is 24" MIN. BOTH SIDES. The riser height is 0.1'. The riser section is made of 2", 4", 6", 12", or 24" material. The riser section is connected to the catch basin by a 5" wide connection. The riser section is made of 2", 4", 6", 12", or 24" material. The riser section is connected to the catch basin by a 5" wide connection.
- Precast Base Section (Bottom):** Shows a cross-section of the precast base. The base is 26" wide. The base is 4" MIN. thick. The base is 17" MIN. deep. The base is 4" MIN. thick. The base is 17" MIN. deep.
- Callouts and Notes:**
- FRAME SEE WSDOT STANDARD PLAN B-30.10-03
 - GROUT (TYP.)
 - CONNECTION TO CATCH BASIN TO BE MADE WITH SAND COLLAR (6" PVC PIPE MIN.)
 - PRECAST BASE SECTION SEE WSDOT STANDARD PLAN B-5.20-03
 - NOTE:
 - CATCH BASIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS IN WSDOT STANDARD PLAN B-5.20-03
 - THE MAXIMUM DEPTH FROM FINISHED GRADE TO THE LOWEST PIPE INVERT SHALL BE 5'. A TYPE 2 CATCH BASIN IS REQUIRED WHERE DEPTH IS GREATER THAN 5'. SEE STANDARD DETAIL 9-03.

APPROVED BY	REVISED DATE	CITY OF CENTRALIA	STD. PLAN NO.
CITY ENGINEER	03/2024	CATCH BASIN TYPE 1 OUTSIDE PAVEMENT AREA	9-02
2022 Standard Drawings			

The diagram illustrates a trench cross-section with a central pipe. The trench width is indicated by a dimension line at the top, labeled "TRENCH WIDTH (SEE NOTE 3)". The pipe zone backfill is shown as a layer of material surrounding the pipe, with a height of 6 inches. The gravel backfill for pipe zone bedding is shown as a layer below the pipe zone backfill, with a height of 85% rise. The foundation level is indicated by a dimension line at the bottom, labeled "FOUNDATION LEVEL". The 15% rise is indicated by a dimension line on the right side of the trench.



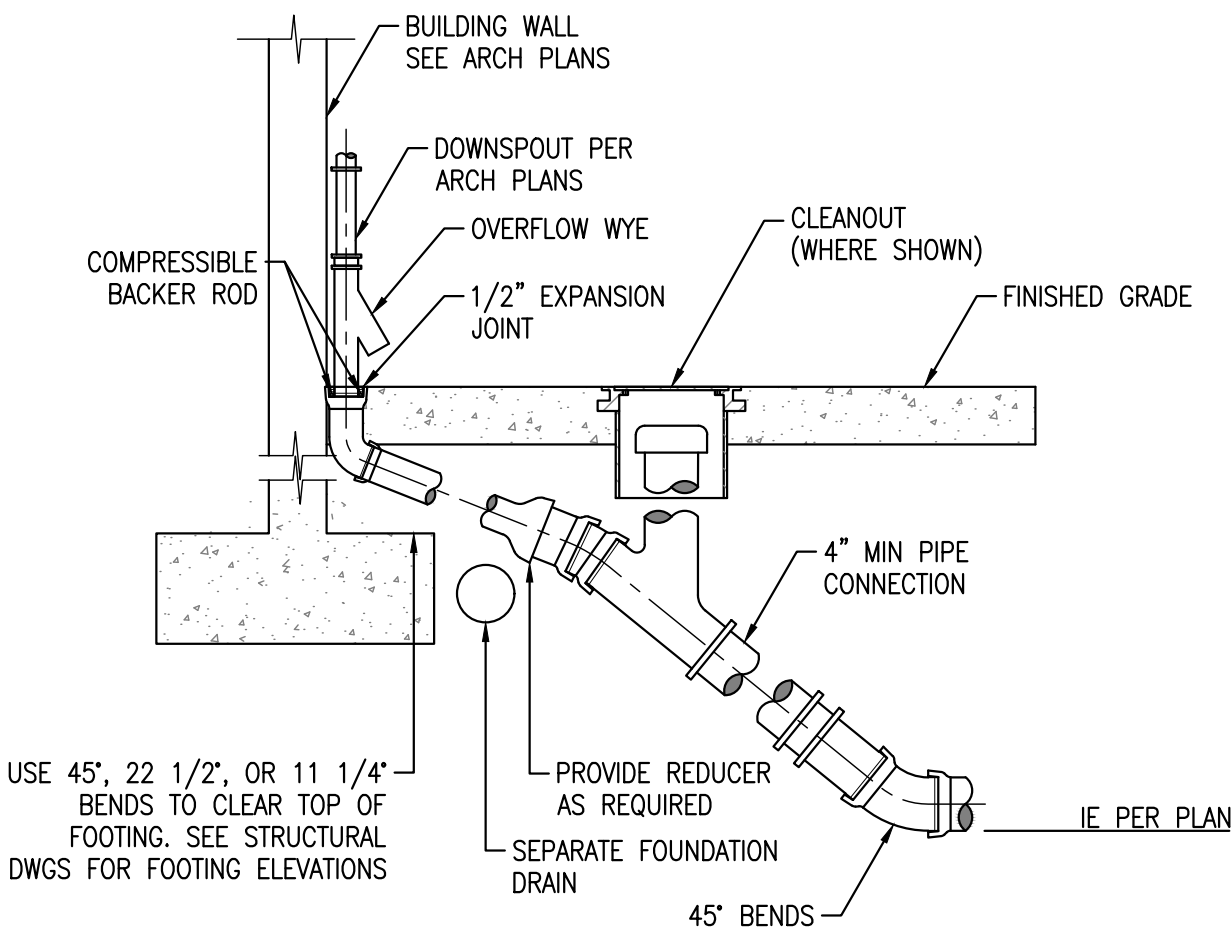
- | | |
|---|--|
| 4 | PIPE ZONE BEDDING AND TRENCH BACKFILL DETAIL |
| - | N.T.S. |

Approval for Construction

City Engineer Date

Approval Expires One Year From Date Above

C3.10



5 DOWNSPOUT CONNECTION DETAIL
- N.T.S.

REVISIONS	
No.	Description
1	PROJECT COORDINATOR
2	P.O. OF CENTRALIA SITE
3	CENTRALIA PERMIT
4	CENTRALIA PERMIT
5	CENTRALIA PERMIT

24-010
Project No.
Drawn By
Designed By
JCF
Approved By
2/4/2025
Date



CECIL
ASSOCIATES

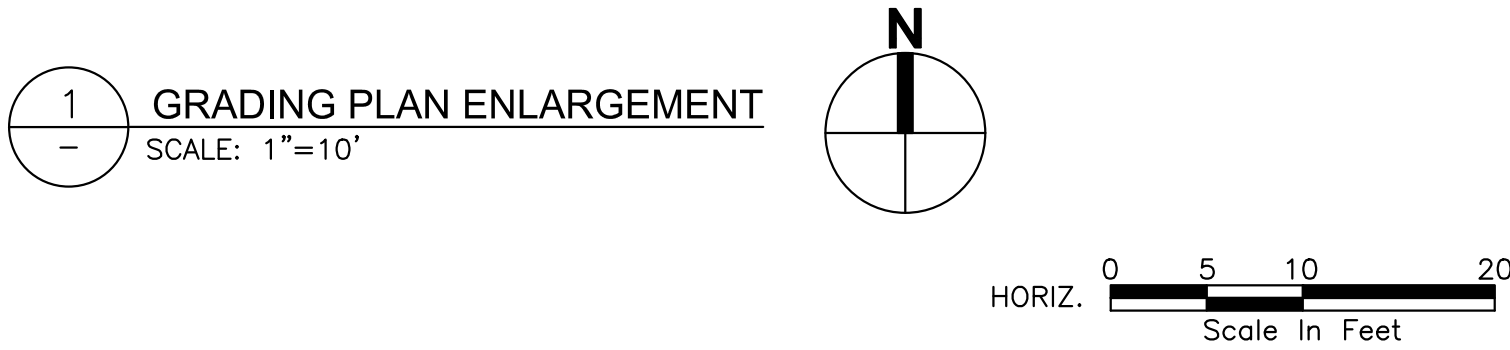
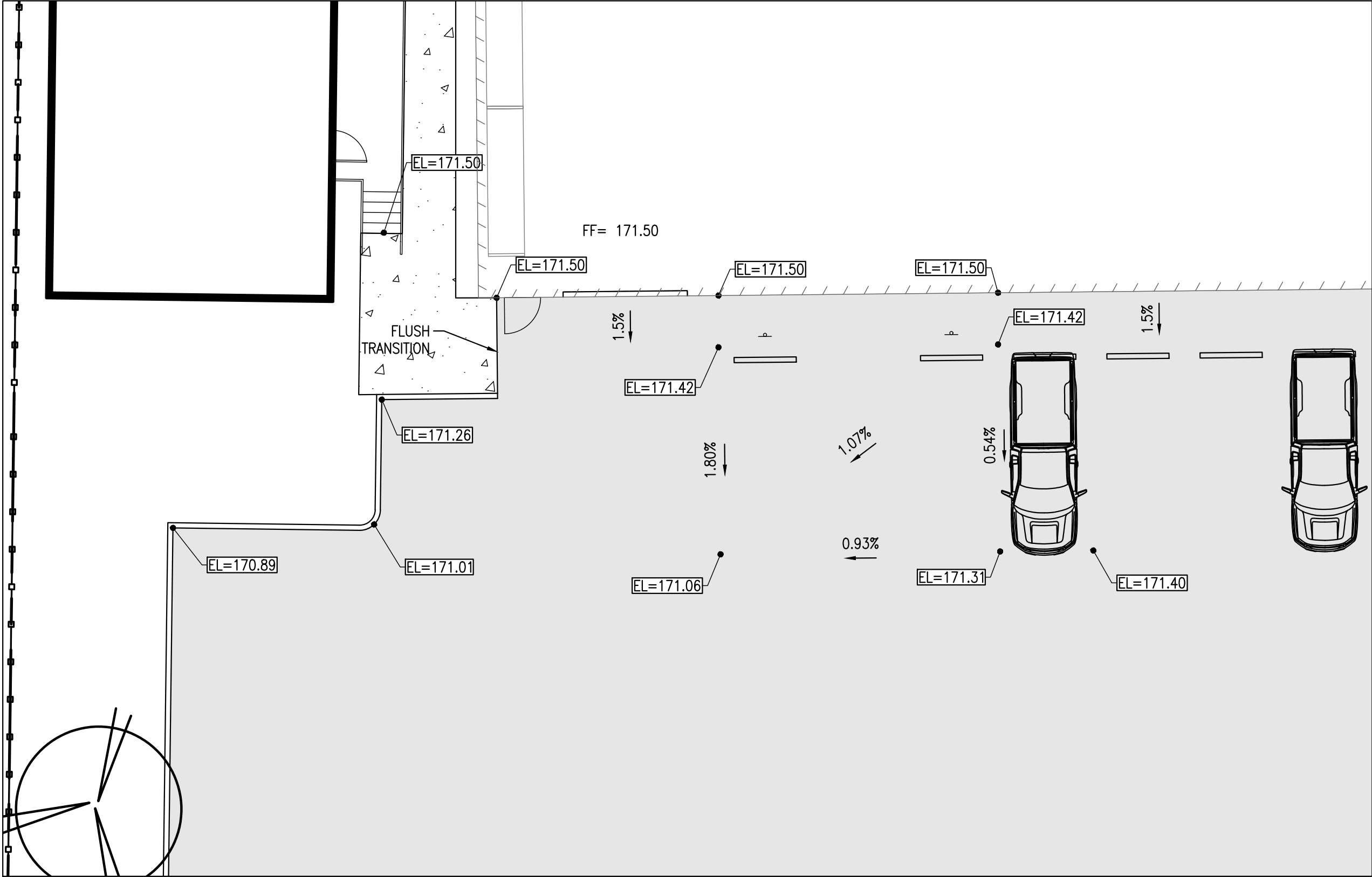
PO BOX 598 BOTHELL, WA 98011
(206) 484-3495
www.cecilnassoc.com

Client	BEACON BUILDING PRODUCTS MCKINNEY CORPORATE CENTER 1 6800 WEISKOPF AVENUE, STE 250 MCKINNEY, TX 75070
Contact	JOHN FARLEIGH, PE

BEACON BUILDING PRODUCTS
2000 NORTHPARK DRIVE

DRAINAGE DETAILS

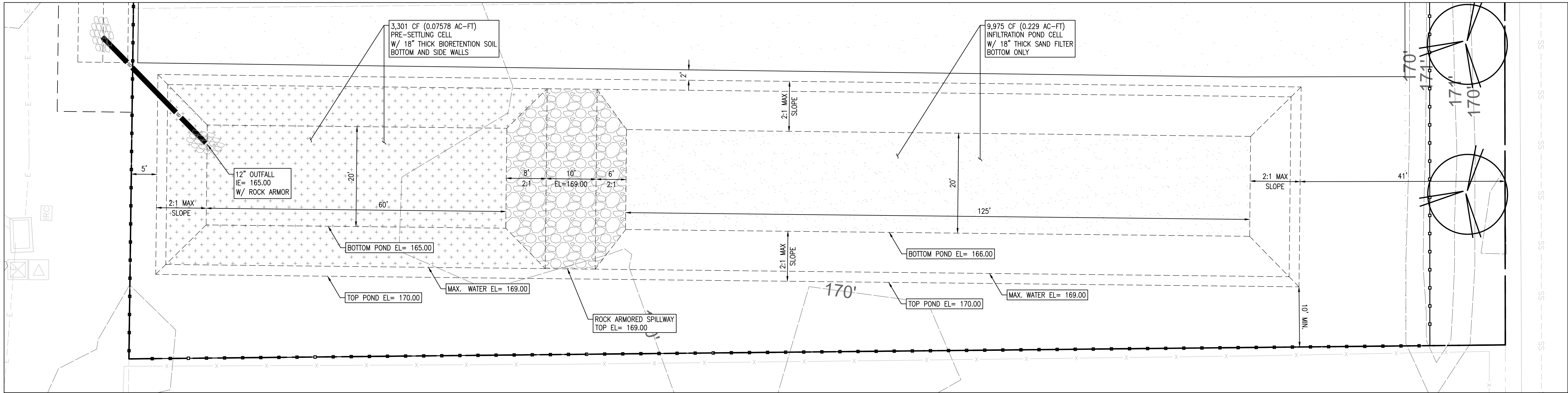
DRAINAGE DETAILS



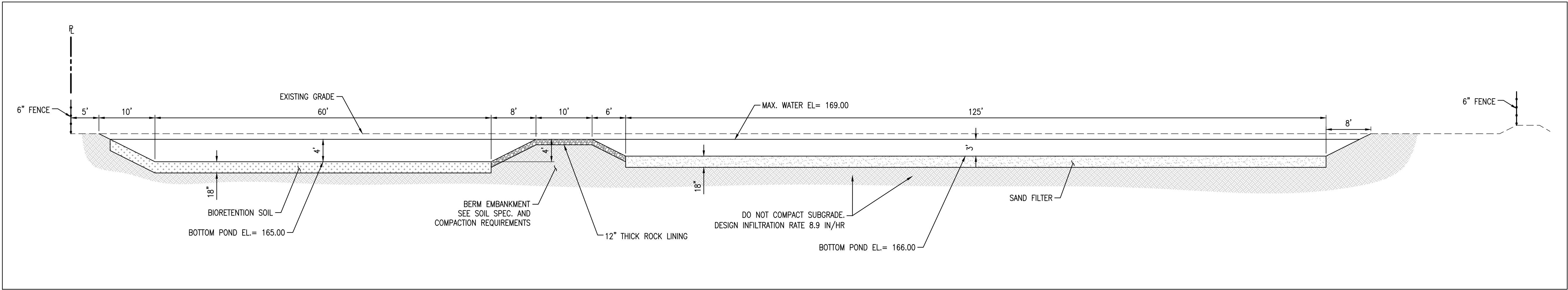
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City/Engineer	Date
Approval Expires One Year From Date Above	

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BEACON BUILDING PRODUCTS 2000 NORTHPARK DRIVE	DRAINAGE DETAILS	C3.11	Client: BEACON BUILDING PRODUCTS 2000 NORTHPARK DRIVE 800 WESKOP AVENUE, STE 250 MCKINNEY, TX 75070	JOHN FARLEIGH, PE Contact		 P.O. BOX 598 BOTHELL, WA 98011 (206) 484-3495 www.cecilnassoc.com	24-010 Project No.	REVISIONS			
								No.	Description	Date	
								5	CENTRALIA PERMIT SET	2/4/25	
								4	CENTRALIA PERMIT SET	1/7/25	
								3	CENTRALIA PERMIT SET	9/13/24	
								2	PORT OF CENTRALIA SITE PLAN REVIEW	8/22/24	
								1	PROJECT COORDINATION	5/31/24	

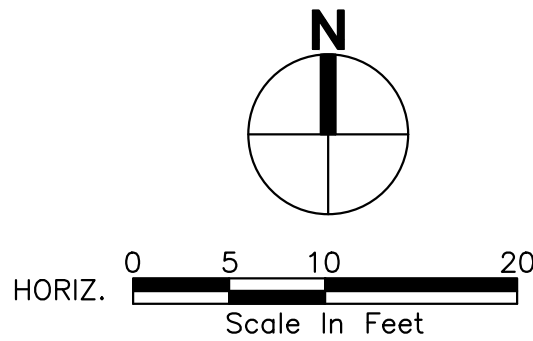


1 INFILTRATION FACILITY PLAN ENLARGEMENT
SCALE: 1"=10'



2 INFILTRATING SAND FILTER SECTION
SCALE: 1"=10'

CONSTRUCTION NOTES:
PLANT PRE-SETTLING CELL AND SAND FILTER CELL WITH GRASS.
SEE SHEET C3.21 FOR ADDITIONAL SPECIFICATIONS.



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City Engineer _____ Date _____
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6	CENTRALIA PERMIT SET
7	CENTRALIA PERMIT SET
8	CENTRALIA PERMIT SET
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50	CENTRALIA PERMIT SET

24-010	Project No.
	Drawn By
	Designed By
JCF	Approved By
2/12/2025	Date

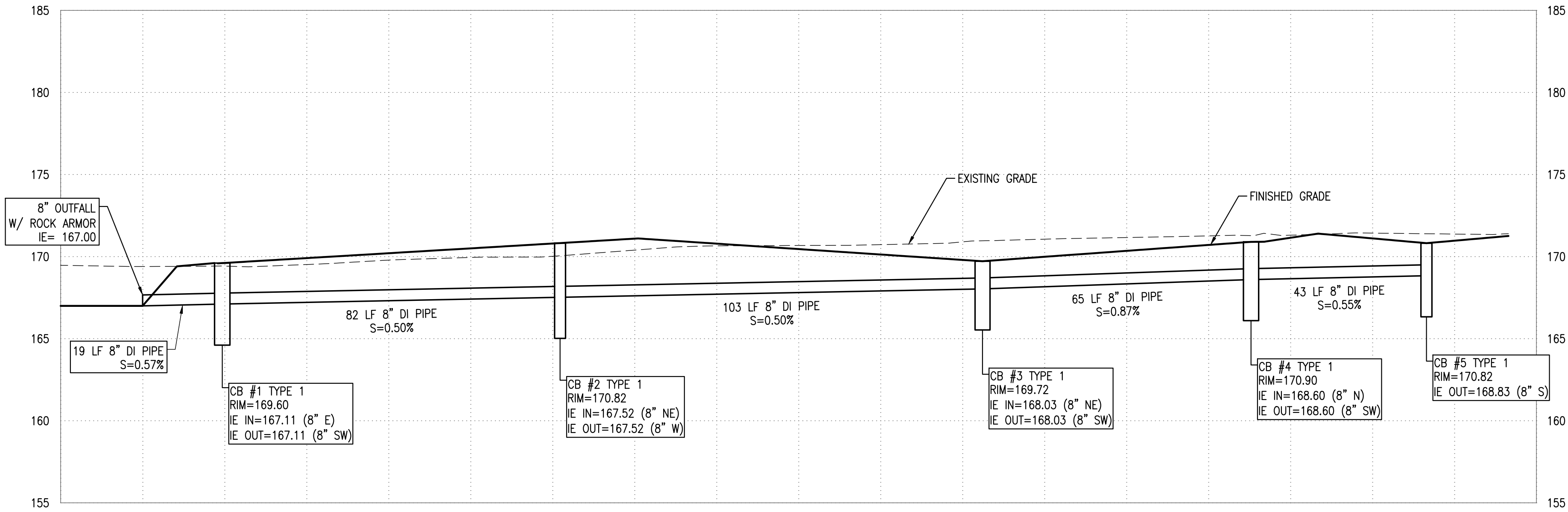


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P.O. BOX 598 BOWEN, WA 98011
(206) 484-3495
www.cecilassoc.com

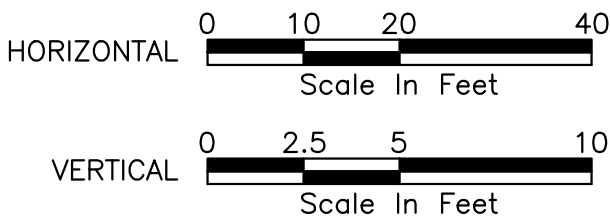
Client: BEACON BUILDING PRODUCTS
1000 NORTH PARK DRIVE
800 WESKOP AVENUE, STE 250
MCKINNEY, TX 75070
JOHN FARLEIGH, PE
Contact

BEACON BUILDING PRODUCTS
1000 NORTH PARK DRIVE
INFILTRATING SAND FILTER PLAN

C3.20



STORM PROFILE
SCALE: H: 1"=20'
V: 1"=5'



Approval for Construction	
City Engineer	Date
Approval Expires One Year From Date Above	

CALL BEFORE
YOU DIG 811
UNDERGROUND SERVICE (USA)

Client: BEACON BUILDING PRODUCTS 10000 CENTRE DRIVE 800 WESKOPF AVENUE, STE 250 MCKINNEY, TX 75070	JOHN FARLEIGH, PE Contact	BEACON BUILDING PRODUCTS 2000 NORTHPARK DRIVE DRAINAGE PROFILES	REVISIONS			
			No	Description		
			1	PROJECT COORDINATION		
			2	PORT OF CENTRALIA SITE PLAN REVIEW		
			3	CENTRALIA PERMIT SET		
24-010 Project No.	Drawn By	Designed By JCF	Approved By 2/1/2025	Date	5	CENTRALIA PERMIT SET
					4	CENTRALIA PERMIT SET
					3	CENTRALIA PERMIT SET
					2	PORT OF CENTRALIA SITE PLAN REVIEW
					1	PROJECT COORDINATION



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	PROPERTY LINE
	ROAD CENTERLINE
	EASEMENT LINE
	STORM DRAIN LINE
	SANITARY SEWER LINE
	WATER LINE
	UNDERGROUND POWER
	GAS LINE

1. THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING WITH THE APPLICABLE CITY (OR UTILITY PURVEYOR) INSPECTOR TO DISCUSS UTILITY IMPROVEMENTS PRIOR TO CONSTRUCTION. VERIFY FIELD REPORTS AND INSPECTION REQUIREMENTS. FURNISH TESTING DOCUMENTS AS REQUIRED.
2. WASTEWATER: SHALL CONFORM TO ALL OF CITY OF CENTRALIA DESIGN AND DEVELOPMENT GUIDELINES.
3. THE REDUCED PRESSURE BACKFLOW ASSEMBLY (RPBA) IS INSTALLED IN AN ABOVE GRADE ENCLOSURE. THE CONTRACTOR SHALL INSTALL A POWER CONNECTION FOR HEAT TAP OR SPACE HEATER FOR THE SPACE.
4. SEWER: ALL 6" DIAMETER SIDE SEWER LINES SHALL BE INSTALLED AT 2% MINIMUM PIPE SLOPE. ALL 8" DIAMETER SIDE SEWER LINES SHALL BE INSTALLED AT 0.5% MINIMUM PIPE SLOPE.
5. VERIFY ALL PLUMBING POC'S PRIOR TO INSTALLATION OF UTILITY (DEPTH AND LOCATION).
6. STREET RESTORATION FOR UTILITY TRENCHES SHALL BE COMPLETED PER CENTRALIA STANDARD DETAIL 4-03. SEE SHEET C2.10.
7. THE CONTRACTOR SHALL KEEP ACCURATE RECORDS OF UNDERGROUND UTILITY INSTALLATION INCLUDING ACTUAL (ASBUILT) PIPE ELEVATIONS, RIM ELEVATIONS, AND PLACEMENT. FURNISH TO CITY, OWNER, AND CIVIL ENGINEER FOR PERMITTING CLOSOUT.

CALL BEFORE
YOU DIG 811
UNDERGROUND SERVICE (USA)

No.	Description	Date
1	PORT OF CENTRALIA SITE PLAN REVIEW	8/22/24
2	PROPOSED CORRELATION	9/2/24
3	CENTRALIA PERMIT SET	9/13/24
4	CENTRALIA PERMIT SET	1/7/25
5	CENTRALIA PERMIT SET	2/4/25

24-010
Project No.
Drawn By
Designed By
JCF
Approved By
2/4/2025
Date



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Client	BEACON BUILDING PRODUCTS MCKINNEY CORPORATE CENTER 1 6800 WEISKOPF AVENUE, STE 250 MCKINNEY, TX 75070
Contact	JOHN FARLEIGH, PE

BEACON BUILDING PRODUCTS
2000 NORTHPARK DRIVE

UTILITY PLAN

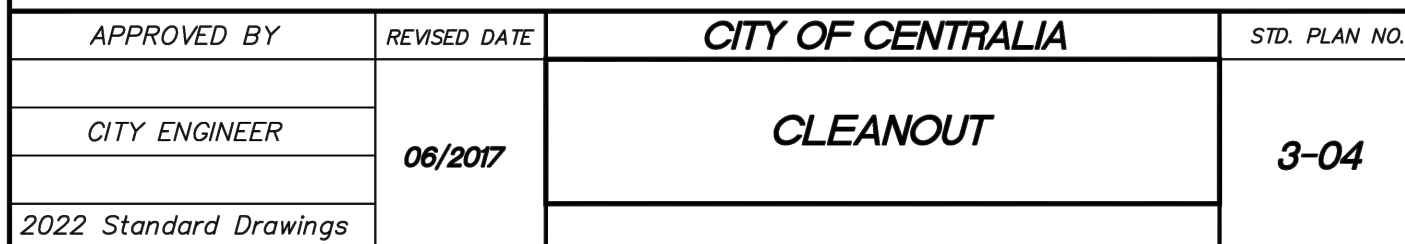
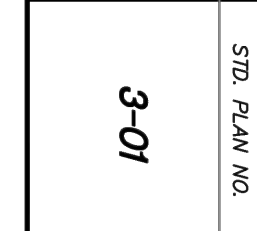
C4.00

SIDE SEWER REGULATIONS (Ord. 2051)
GENERAL NOTES

- Any work involving installation, replacement and repair, on the sanitary sewer sewer requires an inspection permit. This must be obtained – in advance of the work – from the City utilities building at 1100 N Tower Ave.
- Inspection permit fees:

* Single-family dwelling:	\$ 50.00
* Multiple-family dwelling:	\$ 75.00
* Commercial/Industrial:	\$ 100.00
* Alteration, repair and abandonment of existing lateral	\$ 50.00
* *I & I Rehabilitation:	No charge—must be approved by Public Works
* After hours or holiday inspections:	\$ 100.00
* Re-inspection:	\$ 50.00
* Grinder pump connection permit	\$ 100.00
* Grinder pumps commercial or industrial connection	\$ 150.00
 - For inspection, call the Public Works Office at (360) 330-7512. Inspections will be made 8:00 A.M. – Noon and 1:00 P.M. – 3:00 P.M.
 - "Side Sower" means that part of the horizontal piping of a drainage system which extends from the end of the building drain and which receives the discharge of the building drain and conveys it to a public sewer, private sewer, individual sewage disposal system or other point of disposal.
 - All costs and expenses incident to the installation and connection, operation and maintenance and replacement of the side sower shall be borne by the owner.
 - Pipes acceptable for side sewers: polyvinyl chloride(PVC) ASTM D 3034, SDR 35; cast iron soil pipe, federal spec. WWP-401; ductile iron, ANSI A 2151, thickness class 51. Not acceptable for side sewer: black ABS pipe, glued joint pipes, glued fittings.
 - Side sewer for single family dwelling shall be no less than 4" diameter from dwelling to property line and 6" from property line to public sewer. All multiple family, commercial and industrial side sewer lines shall be no less than 6" diameter between main and building. Each building must have a separate side sewer.
 - No 90 degree bends allowed.
 - A cleanout is required within 36" of all buildings and at intervals of not more than 100 feet. Cleanouts shall be extended to within 18" of surface and capped except where surface is paved: in paved area, cleanouts shall be extended flush with surface and plugged with an acceptable threaded metal plug. Laterals shall be straight lines between cleanouts.
 - Backwater valves--- The Uniform Plumbing Code requires backwater valves on building sewers where the finished floor is below the rim of the upstream manhole. Backwater valves, if they are installed, must be located within the building footprint upstream of the cleanout. The city is not responsible for their installation, maintenance, or operation.
 - Lines shall be laid on uniform slope not less than 1/4" per foot for 4" pipe and 1/8" per foot for 6" pipe. Pipe shall be bedded in and covered with suitable fine material. Alignment of both vertical and horizontal shall be straight and true.
 - Minimum cover for side sewers shall be 18" on private property.
 - Side sewer shall be water or air tested for their entire length. Inspection of the test must be witnessed by a Public Works employee before backfill(see#3). (See paragraph 15.10.240, ordinance 2051 for details.)
 - Contractor shall provide 24 hours notice when requesting inspection.
- Any questions regarding the above regulations may be directed to the Public Works Office (360) 330-7512

APPROVED BY	REVISED DATE	CITY OF CENTRALIA	
	06-2023	SEWER MAIN INSTALLATION GENERAL NOTES	2 OF 2
CITY ENGINEER			
2022 Standard Drawings			



**CALL BEFORE
YOU DIG 811**
UNDERGROUND SERVICE (USA)

24-010
Project No.
Drawn By
Designed By
JCF
Approved By
2/4/2025
Date



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Client	BEACON BUILDING PRODUCTS MCKINNEY CORPORATE CENTER 1 6800 WEISKOPF AVENUE, STE 250 MCKINNEY, TX 75070
Contact	JOHN FARLEIGH, PE

BEACON BUILDING PRODUCTS
2000 NORTHPARK DRIVE

SEWER DETAILS

SEWER DETAILS

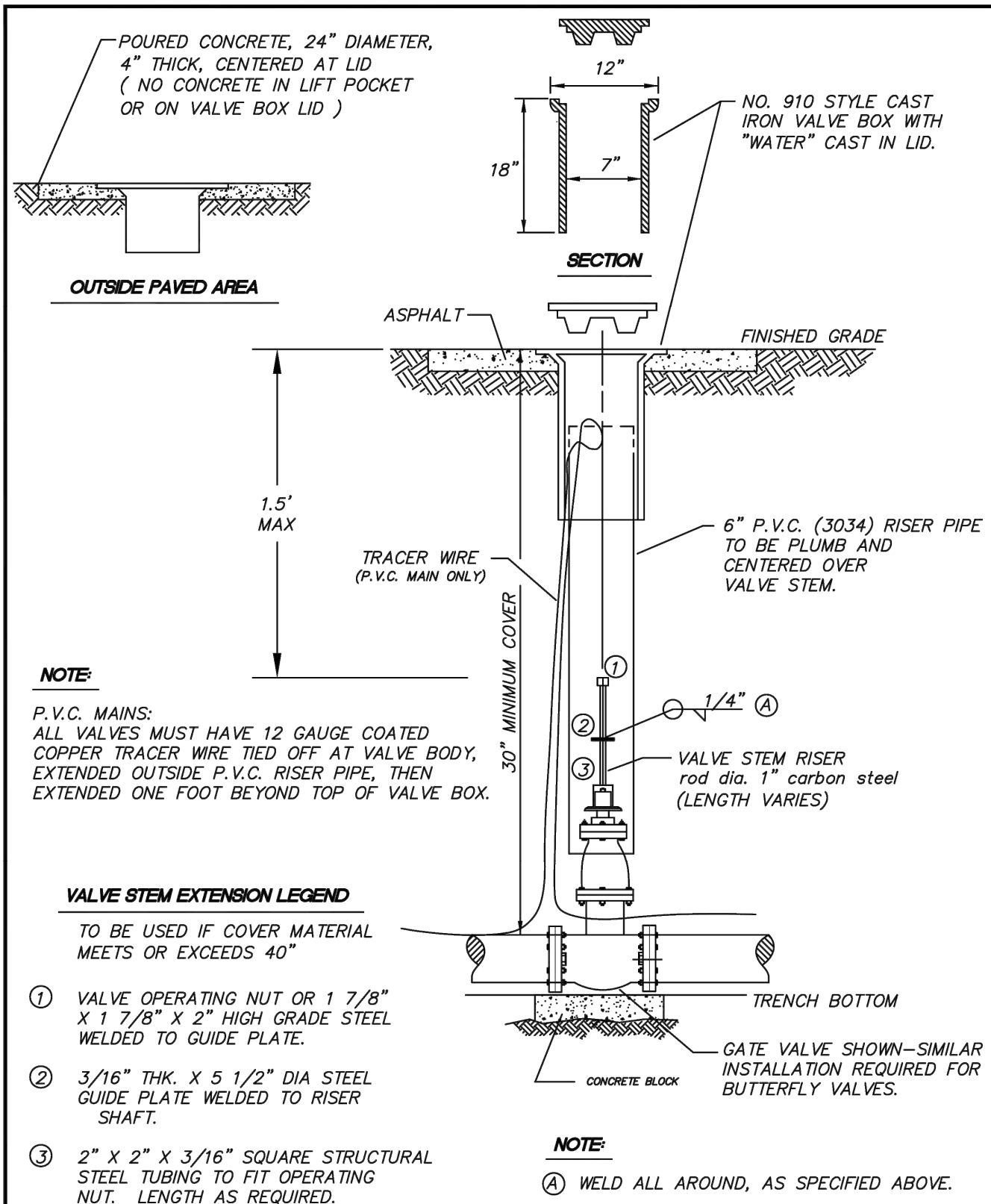
C4.10

METER BOX ASSEMBLY
Carson Heavy Wall 1324 MSBC
DUCTILE IRON COVER w/ FLIP READER LIDS, # 1324 MSBC

16. Where the water line crosses a sanitary sewer, the water line shall be above the sewer line whenever possible with a separation of at least 18 inches between the invert of the water line and the crown of the sewer pipe. If this cannot be achieved the sewer pipe shall be cased within ductile iron pipe for a distance of 10 feet either side of the water line.
17. All "LONG SIDE SERVICES" shall be cased in 160 psi pipe.
18. Water services noted as "long side" shall require a schedule 160 PVC pipe as a casing to cross the R.O.W.

3/4" service – casing dia. 1.5"	1.5" service – casing dia. 3"
1" service – casing dia. 2"	2" service – casing dia. 3"
19. ALL ASBESTOS PIPE WORKMANSHIP MUST FOLLOW THE GUIDE LINES SET FORTH BY THESE AGENCIES:
Southwest Washington Air Pollution Control Authority (SWAPCA) and Labor and Industries (L&I).
20. Call the Underground Location Center at 1-800-424-5555 or 811 at least 48 hours before any excavation.

APPROVED BY	REVISED DATE	CITY OF CENTRALIA	
CITY ENGINEER	08/2024	WATER MAIN INSTALLATION GENERAL NOTES	2 OF 2
2022 Standard Drawings			



APPROVED BY	REVISED DATE	CITY OF CENTRALIA	STD. PLAN NO.
CITY ENGINEER	02/2020	STANDARD VALVE BOX	2-09
2022 Standard Drawings			

REVISIONS		Date
5	CENTRALIA PERMIT SET	2/14/25
4	CENTRALIA PERMIT SET	7/1/24
3	CENTRALIA PERMIT SET	9/13/24
2	PORT OF CENTRALIA SITE PLAN REVIEW	8/22/24
1	PROJECT COORDINATION	5/31/24
No.	Description	



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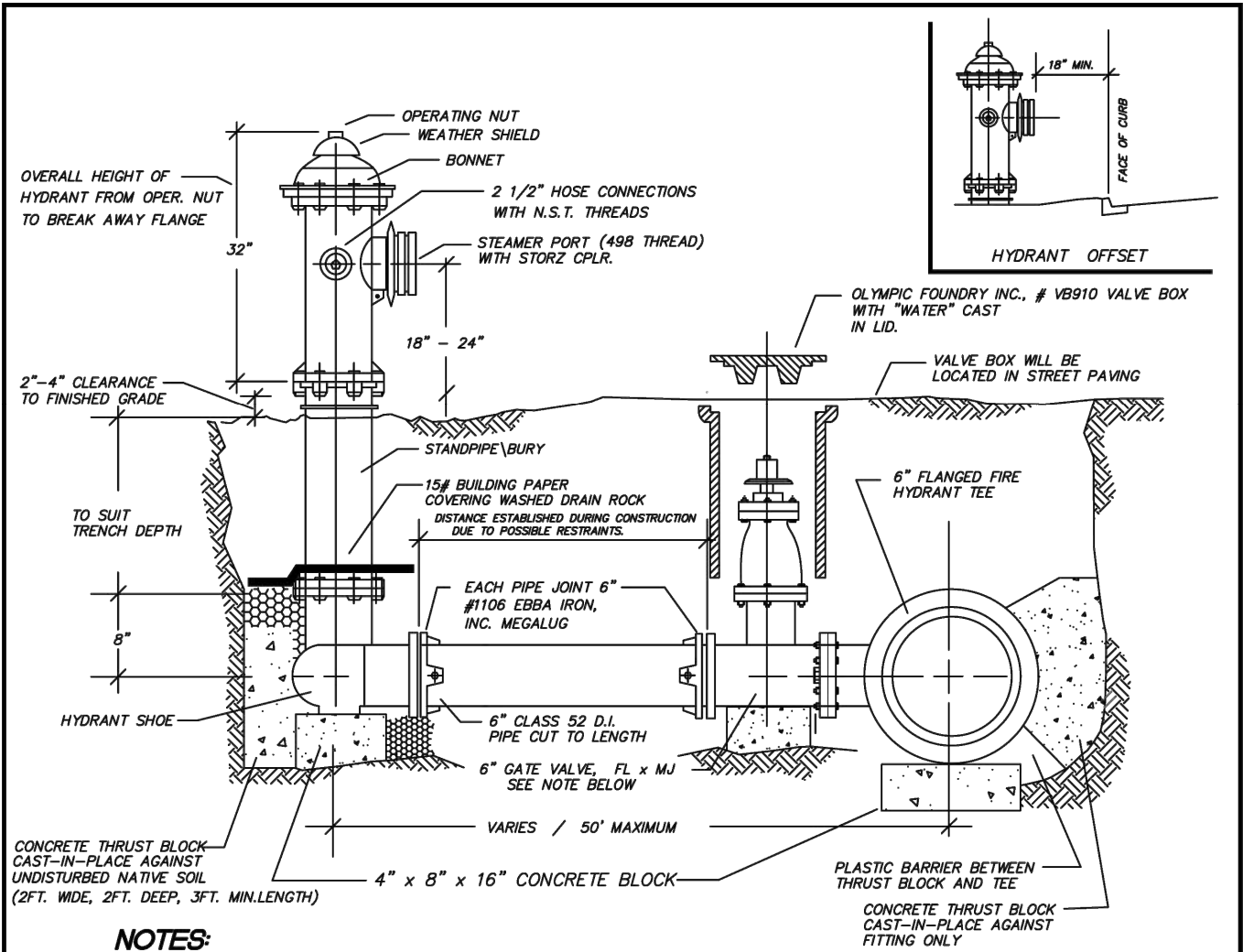
PO BOX 598 BOTHELL, WA 98011
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www.cecilnssoc.com

Client	BEACON BUILDING PRODUCTS MCKINNEY CORPORATE CENTER 1 6800 WEISKOPF AVENUE, STE 250 MCKINNEY, TX 75070
Contact	JOHN FARLEIGH, PE

BEACON BUILDING PRODUCTS
2000 NORTHPARK DRIVE

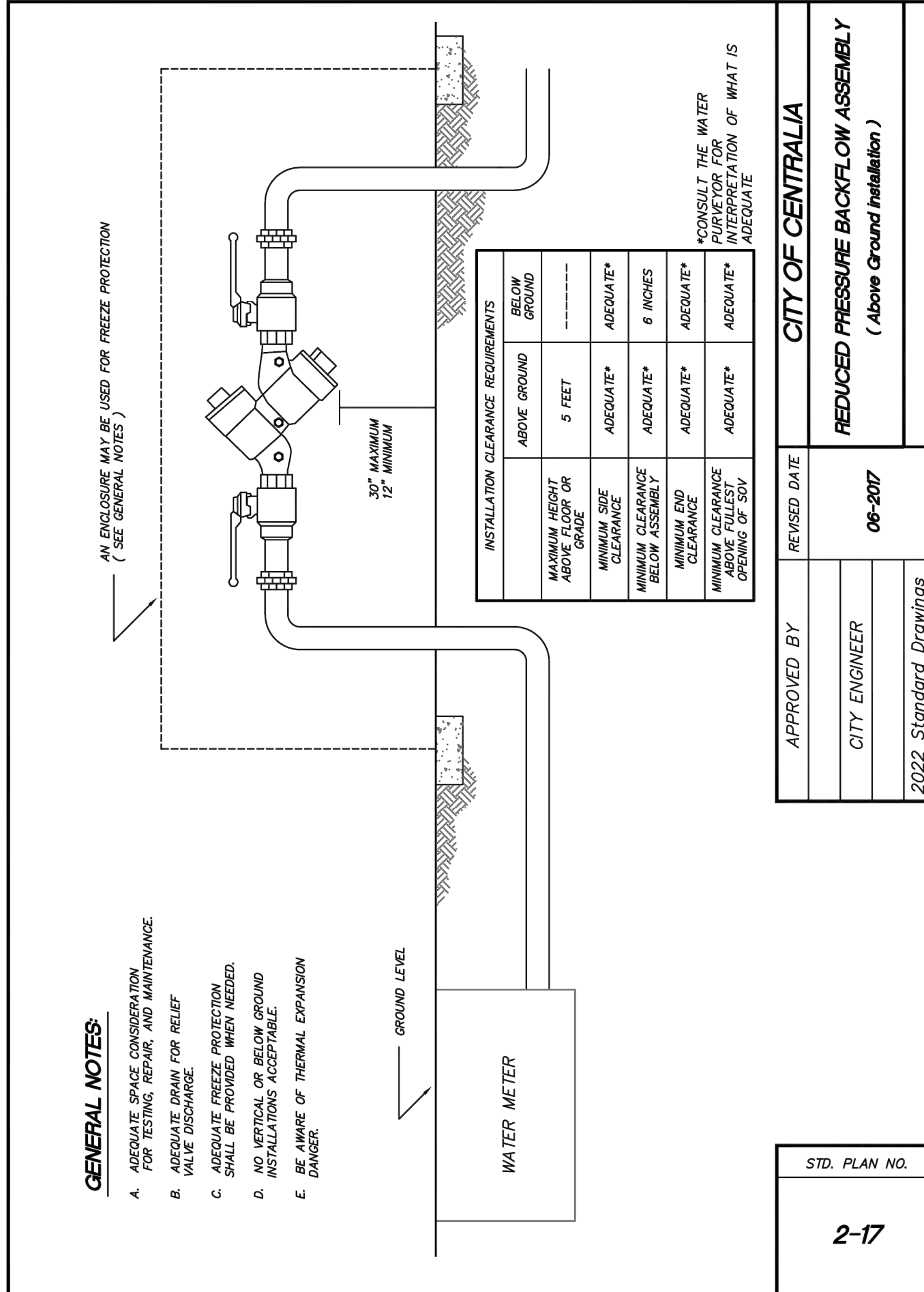
WATER DETAILS

C4.11



- ## NOTES:
- HYDRANTS SHALL BE LOCATED WITH A MINIMUM FIVE FOOT RADII UNOBSTRUCTED WORKING AREA PROVIDED, AND IN NO CASE SHALL BE LOCATED IN SIDEWALK.
 - HYDRANT SHALL BE WATERLOUS CLASSIC PACER M667-250, DRESSER MAJ RELIANT STYLE 129 or JUELLER CENTURION CHECK VERTICAL DISTANCE BETWEEN OPERATING NUT AND BREAK AWAY FLANGE (31-32 inches).
 - HYDRANTS SHALL BE PAINTED SUNBURST YELLOW - HIGH GRADE ENAMEL, AFTER INSTALLATION
 - HYDRANTS SHALL HAVE A MINIMUM BURY OF 30 INCHES
 - GATE VALVES SHALL BE RESILIENT WEDGE NRS WITH O-RING SEALS. VALVE ENDS SHALL BE MECHANICAL JOINT BY ANSI FLANGES. VALVES SHALL CONFORM TO ANWW C515.
 - FILTER FABRIC MATERIAL SHALL BE USED IN CONJUNCTION WITH THE USE OF DRAIN ROCK. THE APPLICATION OF THE FILTER FABRIC MATERIAL SHALL MINIMIZE THE IMPACT OF THE NATIVE SOIL IN FUNCTION OF THE DRAIN ROCK.
 - ALL ADDITIONAL BOLTS TO FITTINGS SHALL HAVE ANTI-SEIZE COMPOUND APPLIED TO THE BOLTS
 - POURED IN PLACE CONCRETE BLOCKING, BLOCK SIZE - (2 FT. WIDE, 3 FT. DEEP, AND 2 FT. MIN. LENGTH TO UNDISTURBED NATIVE SOIL - NOTE LENGTH IS A VARIABLE DEPENDING UPON DISTANCE TO UNDISTURBED NATIVE SOIL.
 - ALL HYDRANTS SHALL HAVE EPOXY COATED SHOE.

APPROVED BY	REVISED DATE	CITY OF CENTRALIA	STD. PLAN NO.
CITY ENGINEER	01/2024	FIRE HYDRANT DETAIL	2-12
2022 Standard Drawings			



PIPE DIAMETER	90° BEND	45° BEND	22-1/2° BEND	11-1/4° BEND	DEAD END OR TEE
4"	3,600	2,000	1,000	500	2,600
6"	8,000	4,400	2,300	1,200	5,700
8"	14,300	7,700	4,000	2,000	10,100
10"	22,300	12,100	6,200	3,100	15,800
12"	32,000	17,400	8,900	4,500	22,700
14"	43,600	23,600	12,100	6,100	30,800
16"	57,000	30,800	15,700	7,900	40,300

1. **BLOCKING SHALL BE CEMENT CONCRETE CLASS "B" POURED IN PLACE AGAINST UNDISTURBED EARTH. FITTING SHALL BE ISOLATED FROM CONCRETE THRUST BLOCK WITH PLASTIC OR SIMILAR MATERIAL.**
2. **TO DETERMINE THE BEARING AREA OF THE THRUST BLOCK IN SQUARE FEET (S.F.):**
 EXAMPLE: 12" - 90 DEG. BEND IN SAND AND GRAVEL
 32,000 LBS. : 3000 LB./S.F. = 10.7 S.F. OF AREA
3. **AREAS MUST BE ADJUSTED FOR OTHER PIPE SIZE, PRESSURES AND SOIL CONDITIONS.**
4. **BLOCKING SHALL BE ADEQUATE TO WITHSTAND FULL TEST PRESSURE. IT HELPS TO MINIMIZE THE WITHSTANDING OPERATING PRESSURE UNDER ALL CONDITIONS OF SERVICE.**
5. **BLOCKING FOR PIPES LESS THAN 4" DIA. WILL USE 4" PIPE VALUES.**

FOR HORIZONTAL THRUSTS WHEN THE DEPTH OF COVER OVER THE PIPE EXCEEDS 2 FEET	
SOIL	POUNDS PER SQUARE FOOT
MUCK, PEAT	0
SOFT CLAY	1,000
SAND	2,000
SAND & GRAVEL	3,000
SAND & GRAVEL CEMENTED WITH CLAY	4,000
HARD SHALE	10,000

APPROVED BY	REVISED DATE	CITY OF CENTRALIA	DATE
		THURSTON COUNTY	Approval for Construction
CITY ENGINEER	06/2017		City Engineer Date
2022 Standard Drawings			Approval Expires One Year From Date Above

**CALL BEFORE
YOU DIG 811**
UNDERGROUND SERVICE (USA)

Beacon Building Products 2000 Northpark Drive Vicinity Map





2-5-2025

Re: Beacon Building Products Construction Project
2000 Northpark Dr, Centralia, WA 98532

To whom it may concern

Please accept this letter as clarification that Beacon Building Products' future location in Centralia, WA, will not be open to the general public.

Beacon is a wholesale distributor, specifically specializing in roofing materials and related exterior building products including siding and other complementary products.

We provide goods and services to Licensed, Bonded and Insured Contractors.

Beacon also does not allow any non-employee vehicle or non-employee foot traffic into the warehouse or material storage portion of the property without escort or prior authorization.

Our primary form of product movement on the property is via propane powered forklifts, which are on a strict preventative-maintenance plan.

At Beacon, "make every day safer" is a core values and we take it seriously.

Please contact me directly if you have any further questions or concerns regarding this matter.

Sincerely,

DJ Kesler
Beacon Building Products I Market Manager
M 253-579-6404
7901 1st Ave S, Seattle, WA 98108
dj.kesler@becn.com

BUILD MORE

505 Huntmar Park Dr., Ste. 300, Herndon, VA 20170 | 571-323-3939

becn.com

20.72.050.B(6) Paving. All vehicular maneuvering and parking areas, including but not limited to off-street parking areas, truck and mobile equipment loading, unloading, storage and maneuvering areas, and related accesses to and from public right-of-way, shall be paved with asphalt or equivalent material.

The community development director, after consulting with the city engineer, may waive the paving requirements in the following instances:

- a. Areas used only for the storage and operation of heavy equipment, tracked vehicles, trucks and other large-tire vehicles as well as storage of large items unsuitable or unnecessary to store within a structure and where such areas are not generally used for regular deliveries or access by the general public. All such areas must be fenced with a six-foot chain link fence and contain a twenty-five-foot asphalt or concrete apron for any and all access points to the public right-of-way; and
- b. The property is zoned for and is conforming to either open space/public facility, commercial or industrial uses.