



Site Plan Review Committee

Michael Thomas, City Manager

COMMUNITY DEVELOPMENT DEPARTMENT

360-330-7662

Emil Pierson, CD Director

epierson@cityofcentralia.com

Mike Watilo, Building Official

mwatilo@cityofcentralia.com

PUBLIC WORKS DEPARTMENT

360-330-7512

Kim Ashmore, PW Director

kashmore@cityofcentralia.com

Patty Page, City Engineer

ppage@cityofcentralia.com

CENTRALIA CITY LIGHT

360-330-7512

ML Norton, CCL General Manager

mlnorton@cityofcentralia.com

POLICE DEPARTMENT

360-330-7680

Andy Caldwell, Chief

acaldwell@cityofcentralia.com

RIVERSIDE FIRE AUTHORITY

360-736-3975

Kevin Anderson, Chief

kanderson@riversidefire.net

LEGAL DEPARTMENT

360-330-7675

Kyle Manley, City Attorney

kmanley@cityofcentralia.com

SITE PLAN REVIEW COMMITTEE

Meeting Agenda

Monday, March 10, 2025

Join Zoom meeting:

<https://us02web.zoom.us/j/89118869218?pwd=11a9b4quXhUyVEgEEoUwe9dV7gehqr.1>

Join by mobile: #1-253-215-8782

Meeting ID: 891 1886 9218

Passcode: 926458

All applicants should join the meeting at 10 AM as time frames are estimations only and subject to change. The public is invited to participate.

9:00 AM

STAFF REVIEW TIME

1. Weekly Permit List (pg. 1)
2. E Roanoke Subdivision (pg. 2-6)

10:00 AM – Pre-Application Conference (pgs. 7-9)

Project Name: S Scheuber Road
Applicant/Owner: Nick Taylor, Iris Group Consulting
Property Address: 1426 S Scheuber Road
Contact Phone: 360.890.8955
Email: ntaylor@irisgroupconsulting.com
Zone: R:4, Low Density Residential
Comp. Plan: LDR, Low Density Residential
Parcel Information: 021589-005-000, 16.87 acres
Request: Subdivide into 40 residential lots.

10:30 AM – Site Plan Review (pgs. 10-16)

Project Name: Fords Prairie Industrial Park
Applicant/Owner: Joe Sandhu, Logistics Property Company
Property Address: near 2727 Harrison Avenue
Contact Phone: 425.419.6887
Email: jsandhu@logisticspropco.com
Zone: M-2, Industrial District
Comp. Plan: HI, Heavy Industrial
Parcel Information: 024006-016-003, 31.07 acres
Request: Final fill and grade permit approval.

Permit Report

Permit #	Permit Date	Building/ Land Use	Permit Type	CONSTRUCTION SITE ADD	Description of work being done under this permit	Applicant Name
20200407	2/27/2025	Building Permit	Accesory Building	405 South Iron Street	Build 1800 SF Pole Barn to be used as garage, on vacant lot	Ray Wilson
20200578	2/27/2025	Building Permit	Single Family Residence - New	405 South Iron Street	New foundation wall and the placement of a pre-existing house from another property	Ray Wilson
20250125	2/27/2025	Building Permit	Mechanical	1810 N Tower Ave	Replacing single zone ductless	Elissa Carbajal
20250127	2/28/2025	Building Permit	Single Family Residence - New	1477 SALZER Crk Dr/ Lot 69	Lot 69 New Single Family Residence 3 bed 2.5 bath 1586 sf, with covered patio 100 sf, garage 391 sf, front porch 82 sf.	Amber Cronister
20250128	2/28/2025	Building Permit	Single Family Residence - New	1467 SALZER CREEK DRIVE	LOT 68 New Single Family Residence 3 bed 2.5 bath 1907 sf. Plan 1797/GR/ElevB	Amber Cronister
20250130	2/28/2025	Building Permit	Single Family Residence - New	1450 Salzer Crk Dr / Lot 79	Lot 79 New Single Family Residence. Stock Plan 2378/GL/ ElevB	Briana Gorman
20250131	2/28/2025	Building Permit	Single Family Residence - New	1444 Salzer Crk Dr / Lot 78	Lot 78 New Single Family Residence 5 bed 3 bath 2621 sf garage 386 sf patio/front porch 216 sf	Briana Gorman
20250132	2/28/2025	Building Permit	Single Family Residence - New	1438 Salzer Crk Dr / Lot 77	Lot 77 New Single Family Residence 4 bed 2.5 bath 2447 sf garage 391 sf front porch/patio 132 sf	Briana Gorman
20250133	2/28/2025	Building Permit	Single Family Residence - New	1457 Salzer Crk Dr / Lot 67	Lot 67 New Single Family Residence 3 bed 2.5 bath 2015 sf 458 sf covered patio/porch 227 sf	Briana Gorman
20250134	2/28/2025	Building Permit	Single Family Residence - New	1449 Salzer Crk Dr/ Lot 66	Lot 66 New Single Family Residence 5 bed 3 bath 2621 sf garage 386 sf porch/patio 316 sf	Briana Gorman
20250135	2/28/2025	Building Permit	Single Family Residence - New	1441 Salzer Crk Dr / Lot 65	Lot 65 New Single Family Residence 4 bed 2.5 bath 2447 sf 391 sf porch/patio 216 sf/	Briana Gorman
20250136	2/28/2025	Land Use Application	Subdivision	3215 Harrison Avenue	16-lot Preliminary Plat Application	Tim Barney
20250137	3/3/2025	Building Permit	Single Family - Remodel	601 S Silver Street	Insulate and reside 12'x12' area of residence	Patricia Geist and Patricia Dean
20250138	3/4/2025	Building Permit	Single Family - Remodel	1220 St Helens St	Convert office to a bedroom and convert SFR to an adult family home	William K Araka
20250139	3/4/2025	Land Use Application	Boundary Line Adjustment	1127 Centralia Ave	Boundary Line Adjustment	Alison Ward
20250140	3/5/2025	Building Permit	Change of Occupancy	313 S Berry St	Convert accessory building to an ADU	Jennifer Kent
20250143	3/5/2025	Building Permit	Mechanical	701 S Silver St	Installing 12k BTU single zone ductless heat pump 12k fan coil in living room	Sarita David
20250142	3/5/2025	Building Permit	Deck	505 E Plum St	Addition of self supporting deck; replaced existing elect furnace, install cook range vent,	Jessica Stirling

SEC. 33, T 15 N., R 2 W., W.M.

ROANOKE SUBDIVISION

CONSTRUCTION DOCUMENTS

CENTRALIA, WA

OWNER / APPLICANT

SUNRISE FORTUNE INVESTMENT LLC
12509 BEL-RED RD #200
BELLEVUE, WA 98005
PHONE: 206.228.4158
CONTACT: LILI LU

CONSULTANTS

SCJ ALLIANCE
8730 TALLON LANE NE, SUITE 200
LACEY, WA 98516
PHONE: 360.352.1465
CONTACT: WHITNEY HOLM, PE

ARCHITECT:
ZO ARCHITECTURE LLC
3600 136TH PL SE SUITE 300
BELLEVUE, WA 98006
PHONE: 425.749.8158
CONTACT: XIAO GUANG (XG) ZHANG, AIA, MCARB

SURVEYOR:
D.R. STRONG
620 7TH AVENUE
KIRKLAND, WA 98033
PHONE: 425.827.3063
CONTACT: DOUGLAS J. COOMBES, P.L.S.

SITE INFORMATION

PARCEL NUMBERS: 009371001002, 009438021002,
009438021003, 003682070000
ACRES: ±14.76
ZONING:
MODERATE-DENSITY RESIDENTIAL DISTRICT (R-8)

SITE ADDRESS:

E ROANOKE ST TO TACOMA AVE
EAST OF N TOWER AVE
CENTRALIA, WA 98531

UTILITIES

WATER:
CITY OF CENTRALIA

SEWER:
CITY OF CENTRALIA

POWER:
CENTRALIA CITY LIGHT

GAS:
CITY OF CENTRALIA

PHONE:
CENTURY LINK

CATV:
DIRECTV, XFINITY

LEGAL DESCRIPTION:

PARCEL A (009371001002)
LOT 2 OF SHORT PLAT NO. 2002-0321, RECORDED AUGUST 31, 2022, UNDER AUDITOR'S
FILE NO. 3582670, IN VOLUME 3 OF SHORT PLATS PAGE 235, RECORDS OF LEWIS
COUNTY, WASHINGTON, BEING LOCATED WITHIN AUGUST SAWALL ADDITION AND PORTLAND
PLACE ADDITION OF SECTION 33, TOWNSHIP 15 NORTH, RANGE 2 WEST, W.M., LEWIS
COUNTY, WASHINGTON.

PARCEL B (009438021002)
LOT 2 OF SHORT PLAT NO. SP2008-5, RECORDED OCTOBER 22, 2008, UNDER AUDITOR'S
FILE NO. 3315386, BEING LOCATED WITHIN SOUTHEAST QUARTER OF SECTION 32 AND
SOUTHWEST QUARTER 33 ALL IN TOWNSHIP 15 NORTH, RANGE 2 WEST, W.M., LEWIS
COUNTY, WASHINGTON.

PARCEL C (009438021003 AND 003682070000)
PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, ALSO,
PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 33; ALL IN
TOWNSHIP 15 NORTH, RANGE 2 WEST, W.M., IN LEWIS COUNTY, WASHINGTON, DESCRIBED
AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE
SOUTHEAST QUARTER, 305.23 FEET EAST OF ITS INTERSECTION WITH THE EAST LINE OF
PARK AVENUE; THENCE EAST ALONG THE NORTH LINE OF SAID SUBDIVISION 893.53 FEET,
MORE OR LESS, TO THE WESTERLY BANK OF THE SKOOKUMCHUCK RIVER; THENCE
SOUTHWESTERLY ALONG THE WESTERLY BANK OF SAID RIVER 275 FEET, MORE OR LESS,
TO THE NORTH LINE OF TACOMA AVENUE OR SAID LINE EXTENDED; THENCE WEST ALONG
THE NORTH LINE OF TACOMA AVENUE OR SAID LINE EXTENDED 705 FEET, MORE OR LESS,
TO A POINT ON SAID LINE 305 FEET EAST OF ITS INTERSECTION WITH THE EAST LINE OF
PARK AVENUE; THENCE NORTH 245.82 FEET TO THE PLACE OF BEGINNING.

EXCEPT BEGINNING AT A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF
THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 15 NORTH, RANGE 2 WEST, W.M.,
THAT BEARS NORTH 0°27' WEST, 1320.20 FEET AND NORTH 88°49' WEST, 522.99 FEET
DISTANCE FROM THE SOUTHEAST CORNER OF SECTION 32, TOWNSHIP 15 NORTH, RANGE 2
WEST, W.M., THENCE SOUTH 1°02' EAST, 245.82 FEET TO A POINT; THENCE NORTH 88°58'
EAST, 6.38 FEET TO A POINT; THENCE NORTH 7°22' EAST, 236.9 FEET TO A POINT;
THENCE NORTH 88°49' WEST, 40.90 FEET TO THE PLACE OF BEGINNING. [NOTE: THIS
EXCEPTION DOES NOT MATHEMATICALLY CLOSE].

BASIS OF BEARINGS:

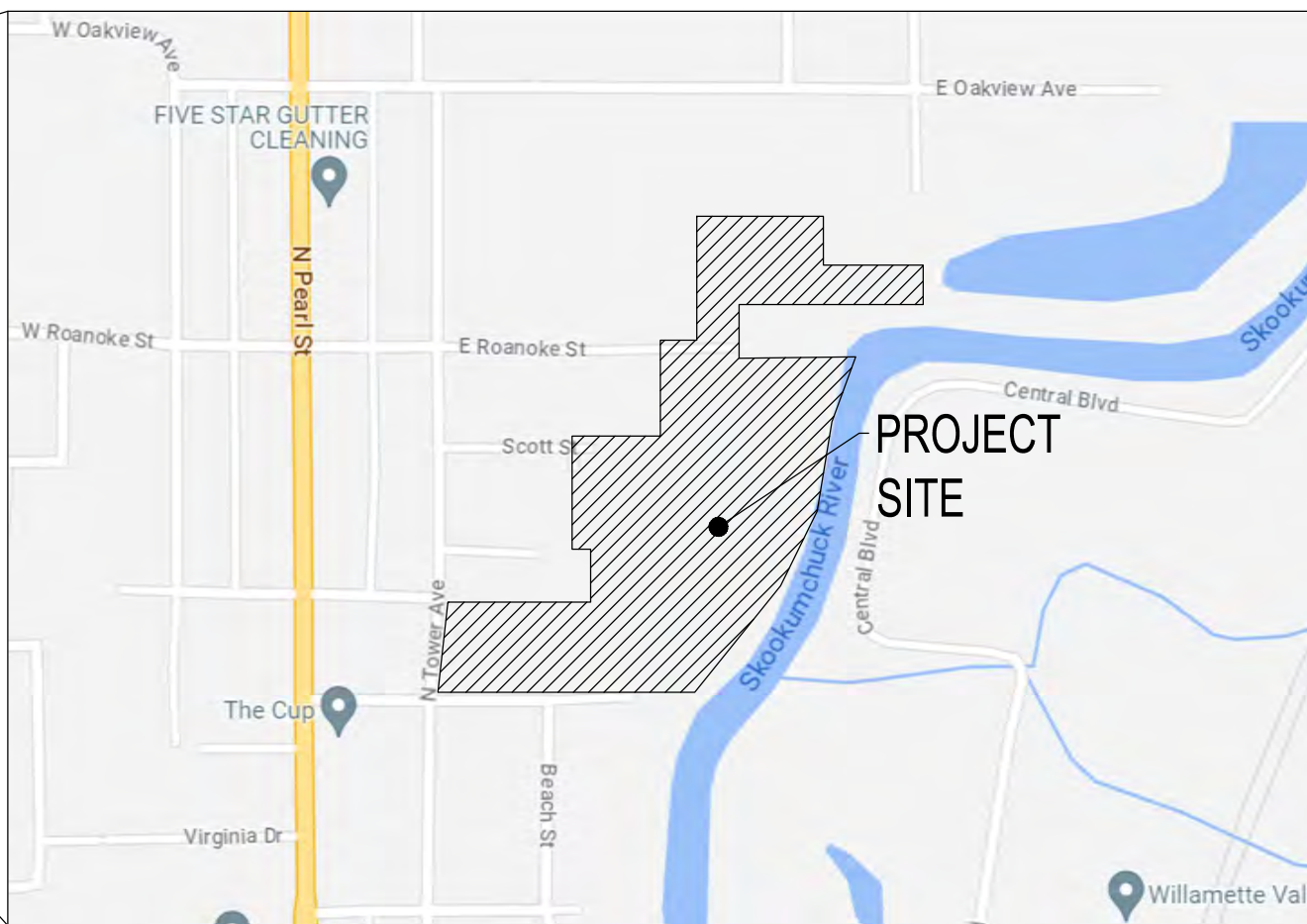
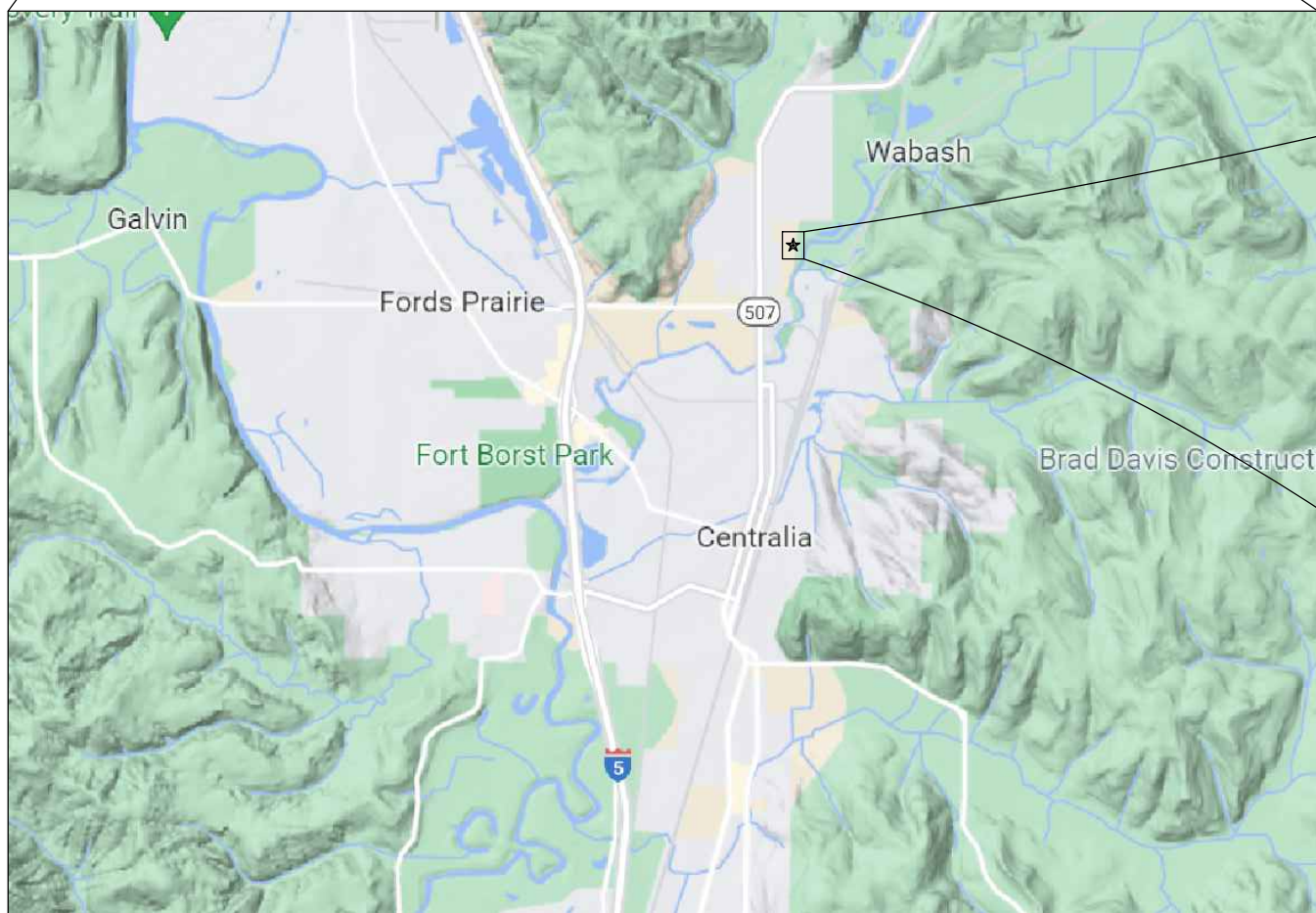
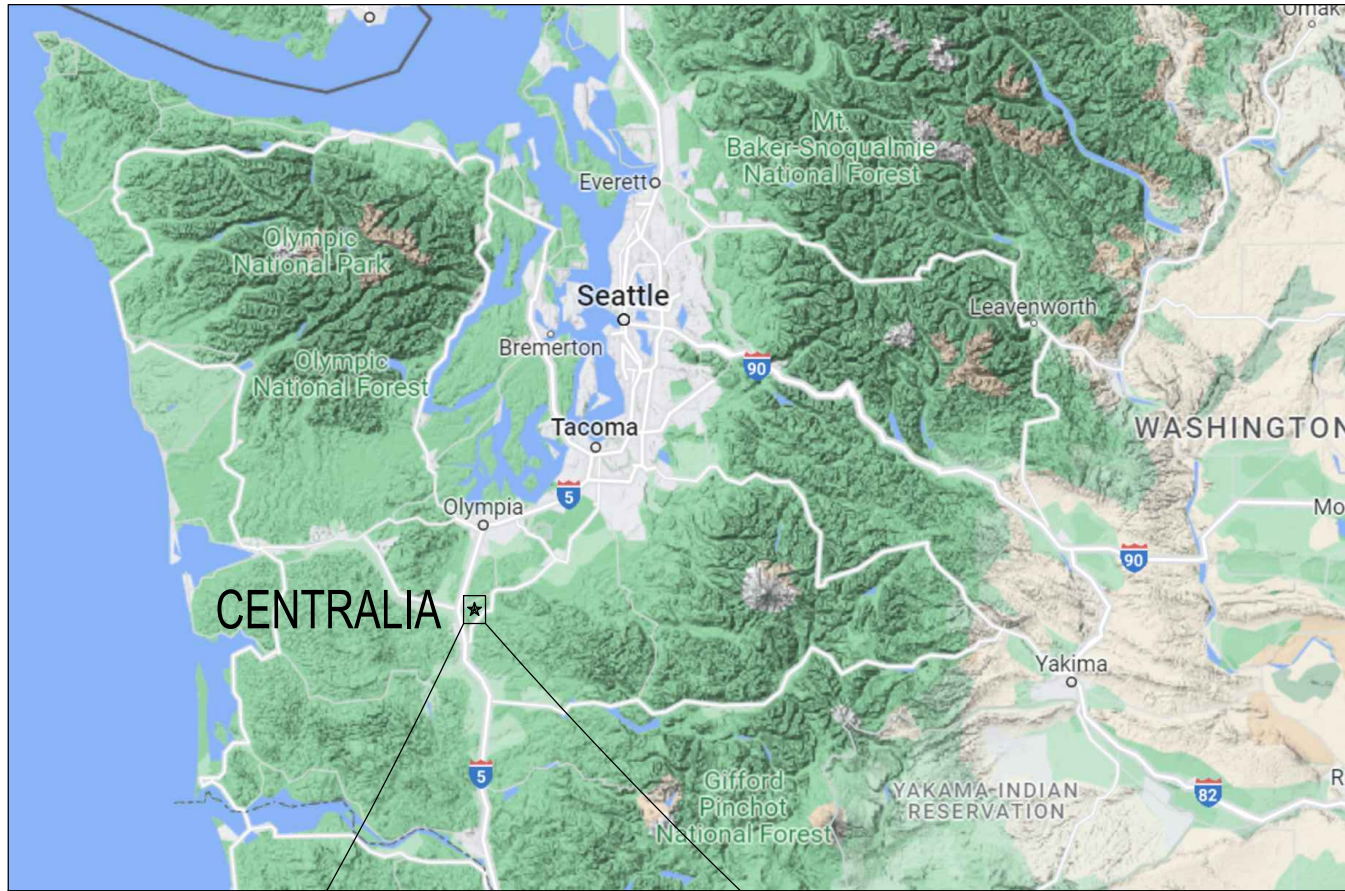
N 88°02'42" W BETWEEN THE MONUMENTS FOUND IN PLACE ALONG E OAKVIEW AVENUE.

HORIZONTAL DATUM:

WASHINGTON PLANE COORDINATE SYSTEM, SOUTH ZONE (4602). NAD83-2011 EPOCH
2010.00

VERTICAL DATUM:

NAVD 88 PER GNSS OBSERVATION



NTS

A PORTION OF SEC 33, T15N., R2W., W.M.
CENTRALIA, WA

CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION
AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL
VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING
THE UNDERGROUND LOCATE LINE AT 811 OR 1.800.424.5555 A
MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

Approved by City of Centralia

City Engineer

Date

approval expires one year from above date

REVISIONS	DATE	BY



SCJ ALLIANCE
CONSULTING SERVICES

8730 TALLON LANE NE, SUITE 200, LACEY, WA 98516
P: 360.352.1465
SCJALLIANCE.COM

COVER SHEET


ROANOKE SUBDIVISION

CENTRALIA, WA

SHEET TITLE:

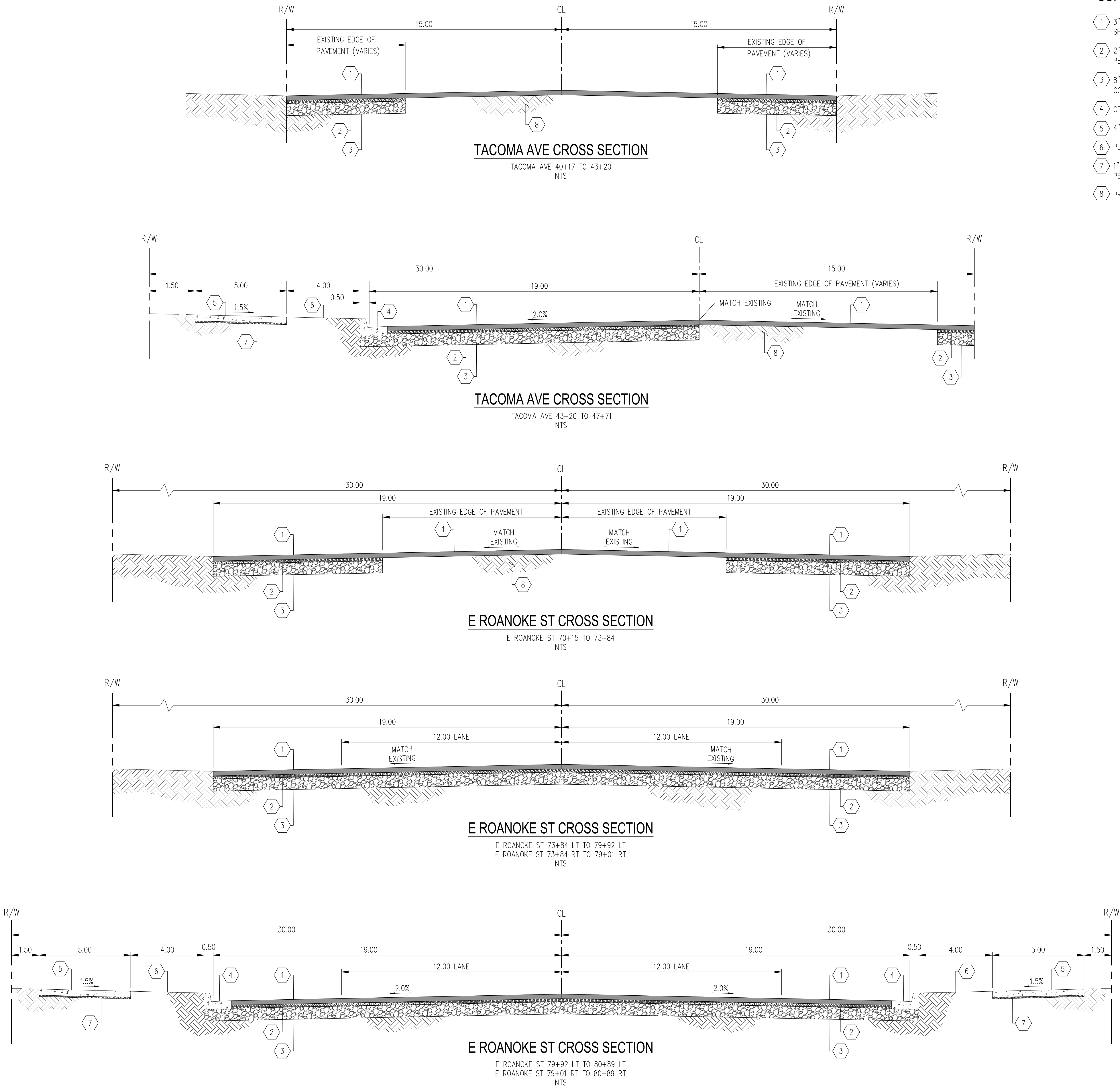
PROJECT NAME:

SEAL:



DESIGNER:	E. MARTINEZ
DRAWN BY:	N. ALTHAUSER
APPROVED BY:	E. SORTEVIK
DATE:	FEBRUARY 2025
JOB NO:	23-000127
DRAWING FILE NO:	23-000127 CV-01
DRAWING NO:	CV-01
SHEET NO:	1 OF 5

Feb 01, 2025 3:10:27pm User: sld.mcdara
\\projects\0407_SARINE_FORTUNE_INVESTMENT\LIC\23-000127 ROANOKE SUBDIVISION\CADD\23-000127 PP-CL.DWG



SURFACING LEGEND

- 1 3" DEPTH HMA CL 1/2 IN. PG 58H-22 SHALL CONFORM TO WSDOT STD. SPECIFICATIONS 5-04, 9-02, AND 9-03.
- 2 2" DEPTH CRUSHED SURFACING TOP COURSE (5/8" MINUS) AT LEAST 95 PERCENT COMPACTION PER WSDOT STD. SPECIFICATIONS 4-04 AND 9-03.9(3).
- 3 8" CRUSHED SURFACING BASE COURSE (1 1/4" MINUS) AT LEAST 95 PERCENT COMPACTION PER WSDOT STD. SPECIFICATIONS 4-04 AND 9-03.9(3).
- 4 CEMENT CONCRETE CURB AND GUTTER PER CITY STD. PLAN 5-02 ON PP-03
- 5 4" CEMENT CONCRETE SIDEWALK PER CITY STD. PLAN 5-01 ON PP-03
- 6 PLANTER STRIP SEE LANDSCAPE PLANS
- 7 1" DEPTH CRUSHED SURFACING TOP COURSE (5/8" MINUS) AT LEAST 95 PERCENT COMPACTION PER WSDOT STD. SPECIFICATIONS 4-04 AND 9-03.9(3).
- 8 PREPARED SUBGRADE SHALL CONFORM TO WSDOT STD. SPECIFICATIONS 2-06

BY					
DATE					
REVISIONS					
△					

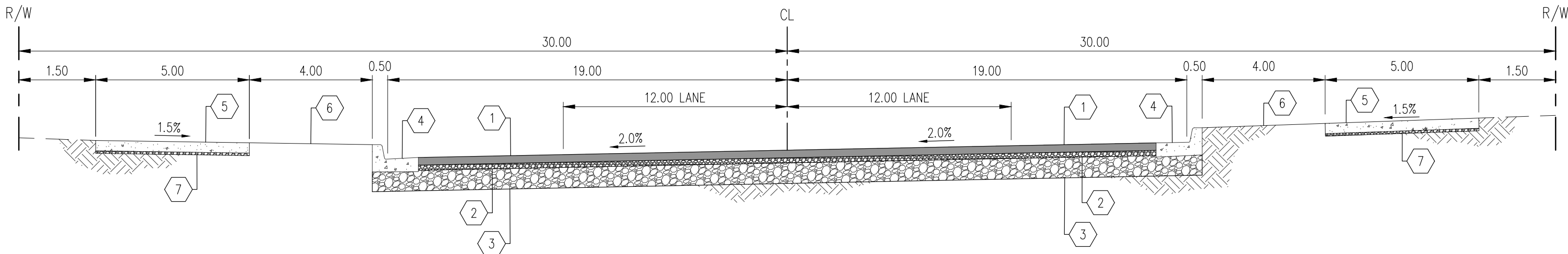
SCJ ALLIANCE
CONSULTING SERVICES
8730 TALLON LANE NE, SUITE 200, LACEY, WA 98516
P: 360.352.1465
SCJALLIANCE.COM

SHEET TITLE: ROADWAY SECTIONS	PROJECT NAME: ROANOKE SUBDIVISION CENTRALIA, WA

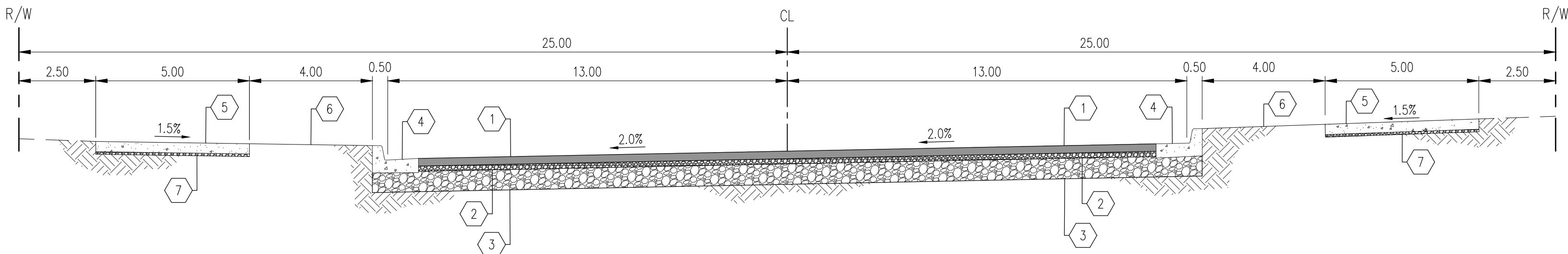
SEAL:

DESIGNER: E. MARTINEZ
DRAWN BY: K. GANS
APPROVED BY: E. SORTEVIK
DATE: FEBRUARY 2025
JOB NO: 23-000127
DRAWING FILE NO: 23-000127 PP-01
DRAWING NO: PP-01
SHEET NO: 3 OF 5

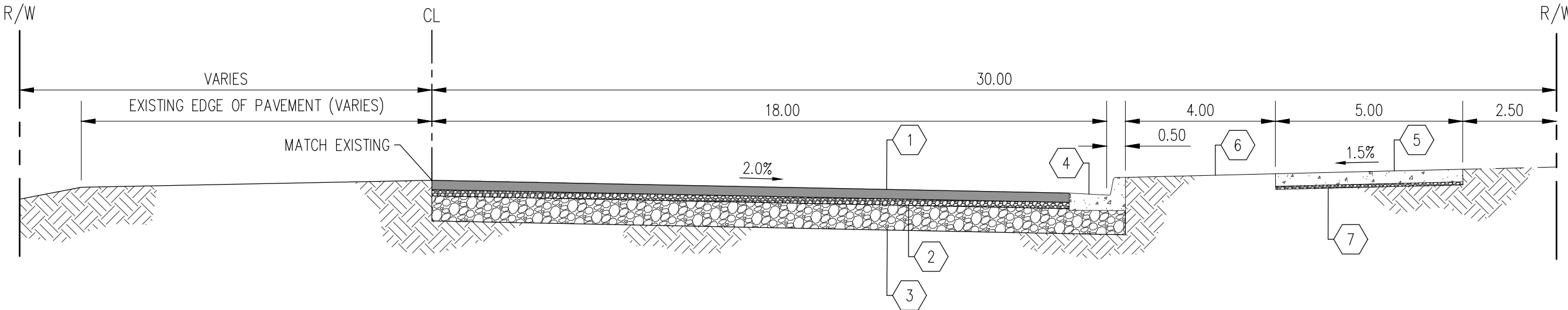
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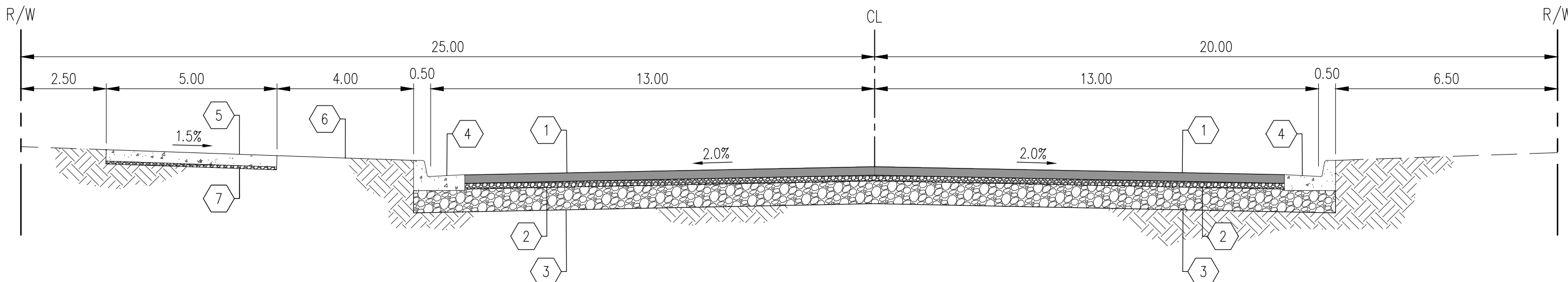
ROAD A
ROAD A 10+00 TO 21+11
NTS



ROAD A
ROAD A 21+11 TO 23+22
NTS



N TOWER AVE CROSS SECTION
N TOWER AVE 0+32 TO 2+51
NTS



SUSAN ST & SCOTT ST CROSS SECTION
ROAD B 30+18 TO 34+42
SUSAN ST 50+45 TO 53+23
SCOTT ST 60+10 TO 63+70
NTS

SURFACING LEGEND

- 1 3" DEPTH HMA CL 1/2 IN. PG 58H-22 SHALL CONFORM TO WSDOT STD. SPECIFICATIONS 5-04, 9-02, AND 9-03.
- 2 2" DEPTH CRUSHED SURFACING TOP COURSE (5/8" MINUS) AT LEAST 95 PERCENT COMPACTION PER WSDOT STD. SPECIFICATIONS 4-04 AND 9-03.9(3).
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- 8 PREPARED SUBGRADE SHALL CONFORM TO WSDOT STD. SPECIFICATIONS 2-06

REVISIONS	DATE	BY
△		




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SCJALLIANCE.COM

ROADWAY SECTIONS

ROANOKE SUBDIVISION
CENTRALIA, WA

SHEET TITLE: ROADWAY SECTIONS

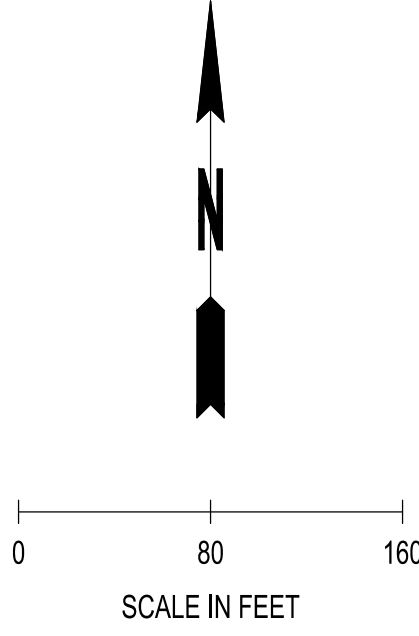
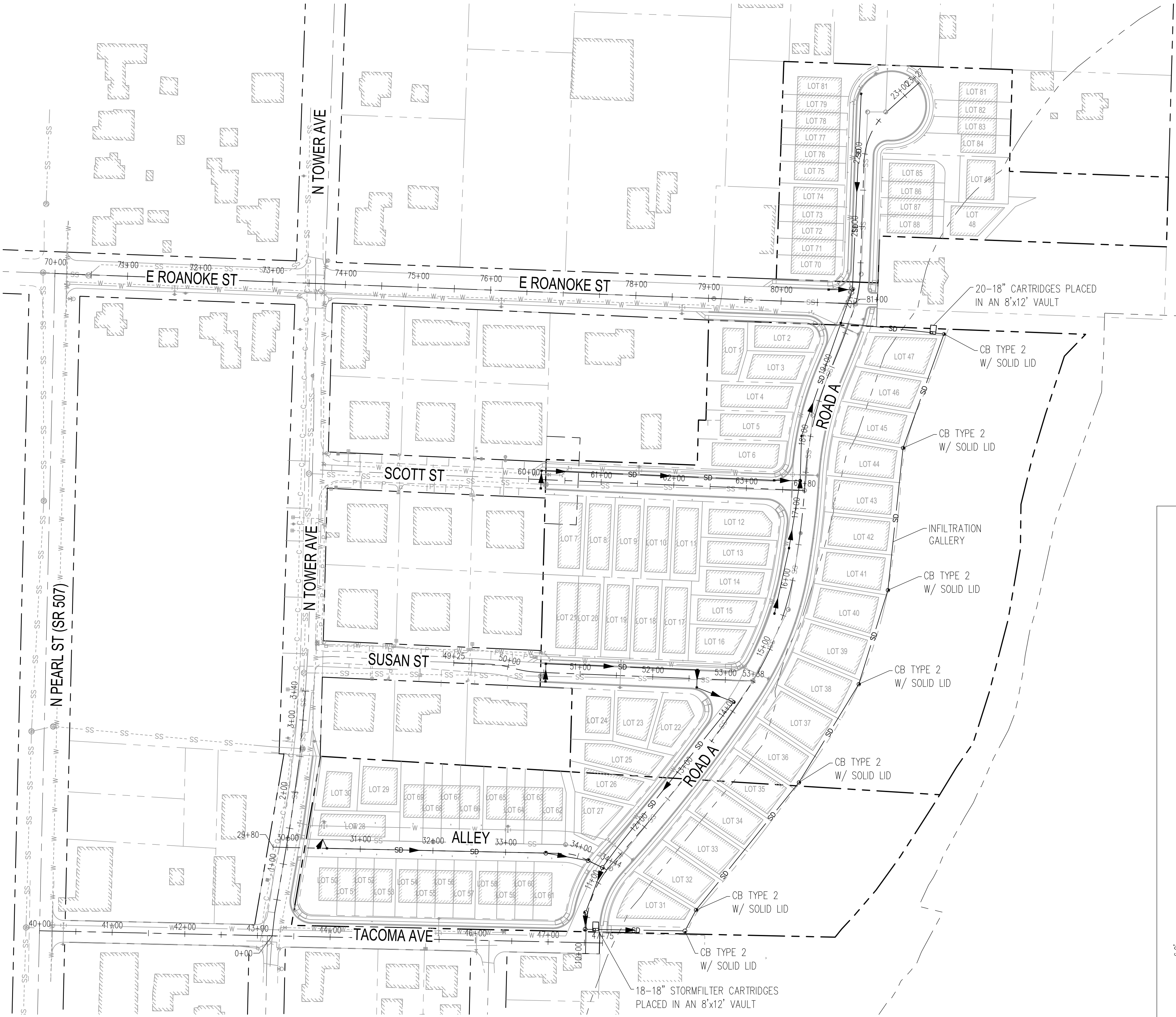
PROJECT NAME: ROANOKE SUBDIVISION

SEAL: 

02/21/2025

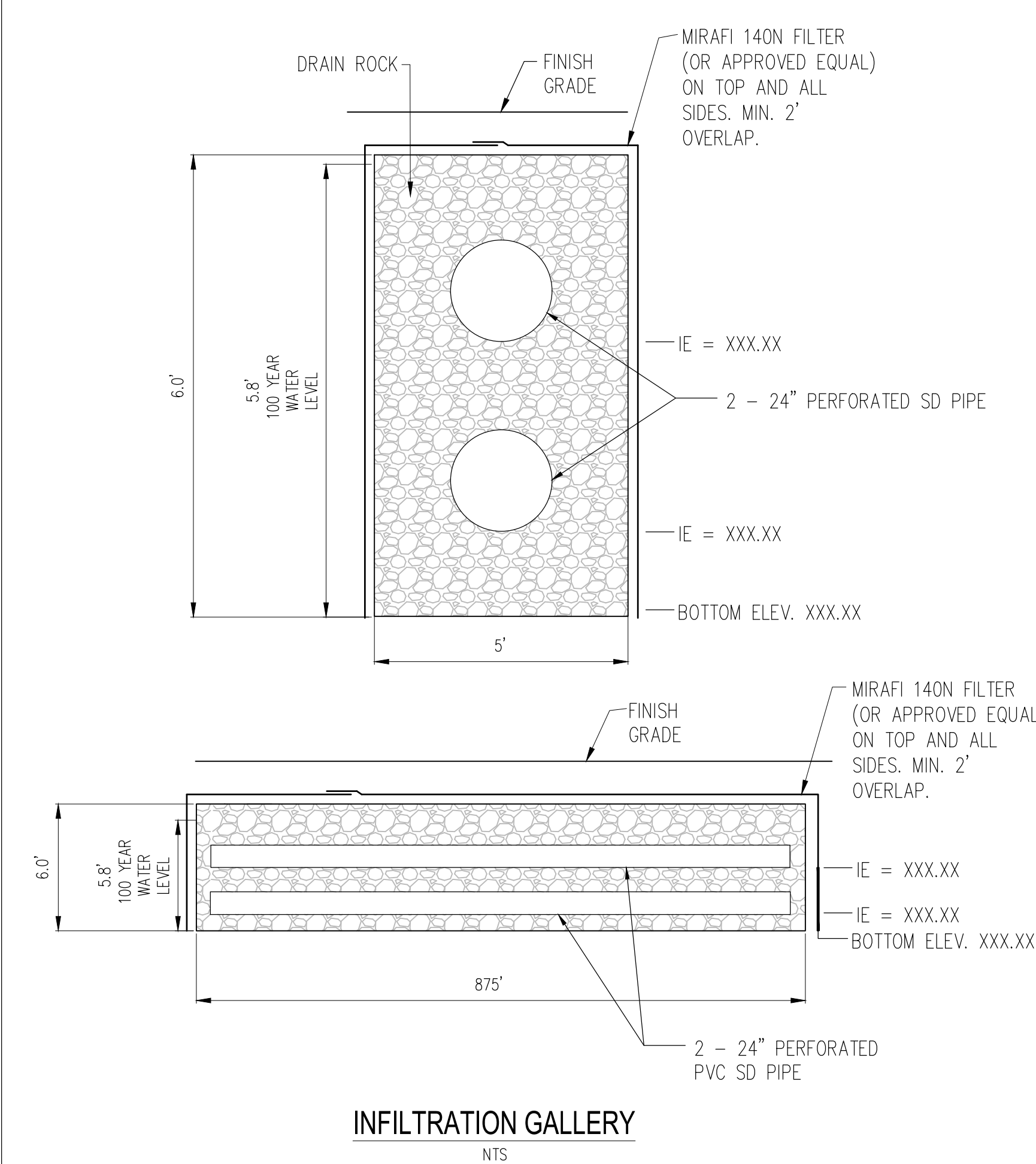
DESIGNER:	E. MARTINEZ
DRAWN BY:	K. GANS
APPROVED BY:	E. SORTEVIK
DATE:	FEBRUARY 2025
JOB NO:	23-000127
DRAWING FILE NO:	23-000127 PP-02
DRAWING NO:	PP-02
SHEET NO:	4 OF 5

SEC. 33, T 15 N., R 2 W., W.M.



LEGEND	
	12" STORM PIPE, SDR35 PVC
	CATCH BASIN TYPE 1, SEE SD-09
	CATCH BASIN TYPE 2, SEE SD-09
	INFILTRATION GALLERY

- GENERAL NOTES:
- ALL CATCH BASINS ARE STATIONED TO THE CENTER OF STRUCTURE
 - ALL SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED (FLOWLINE)
 - CONTRACTORS SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AWAY FROM THE BUILDING AT ALL TIMES.



BY

DATE

REVISIONS

SCJ ALLIANCE
CONSULTING SERVICES
8730 TALLON LANE NE, SUITE 200, LACEY, WA 98516
P: 360.352.1465
SCJALLIANCE.COM

SHEET TITLE:
MASTER STORM DRAINAGE PLAN

PROJECT NAME:
ROANOKE SUBDIVISION
CENTRALIA, WA

SEAL:

DESIGNER:
E. MARTINEZ

DRAWN BY:
K. GANIS

APPROVED BY:
E. SORTEVIK

DATE:
FEBRUARY 2025

JOB NO:
23-000127

DRAWING FILE NO:
23-000127 SD-01

DRAWING NO:
SD-01

SHEET NO:
5 OF 5



SITE PLAN REVIEW COMMITTEE (SPRC) Pre-Application Conference Request

MEETING DATE: Every Monday (except holidays and subject to submittals)

TIME: Meetings begin at 10:00 am and are approximately 30 minutes long. All meetings are scheduled on a first-come basis.

MEETING LOCATION: Centralia Public Works Office (City Light), 1100 N. Tower, Centralia

Parcel Number(s): 021589005000

Site Address: 1426 S SCHEUBER RD

Applicant/Agent: Nick Taylor

Phone: 360 890 8955

Email: ntaylor@irisgroupconsulting.com

Name/Type of Business (if applicable): Iris Group Civil Engineers

Brief Description of Proposal (attach separate sheet if needed):

Please see page 2.

- ☒ Description of Proposal (1 – digital or paper copy)
- ☒ Conceptual Site Plan showing existing and proposed uses/structures (1 – digital or paper copy)
- ☐ N/A Supporting documents including studies (1 – digital or paper copy)

SUBMITTAL REQUIREMENTS:

Submittal items must be received no later than 3 PM on the Wednesday preceding the next meeting date, in order to be added on the following weeks' agenda.

The purpose of the pre-application conference is to acquaint the applicant with the review procedures and applicable Centralia Municipal Code provisions to the proposal. A minimum of one meeting is required for all project permit applications related to the same project action.

The SPRC Pre-Application Conference is available to applicants for projects requiring a land use review or if you have utility or other questions about a specific property. The meeting will include representatives from engineering, public works, water, waste-water, electric, stormwater, planning, and building.

Subject: Description of Proposal

The project proposes to a phased division of the subject tax parcel into approximately 40 single-family residential lots and multiple open space and stormwater tracts.

The project will likely be completed in phases. Phase 1 will likely be a short plat to create two or three separate parcels. The first parcel would include the area shown for Lots 1-10 on the accompanying conceptual site plan. This area will likely be sold and would be further developed into Lots 1-10 by others. The second parcel would include Lots 11-35, which would be platted after the short plat. The third parcel would include the areas for Lots 36-40. It is possible that Lots 11-35 and Lots 36-40 will be platted at the same time.

Water: City water with an offsite extension to the site.

Sewer: City sewer with an offsite extension to the site.

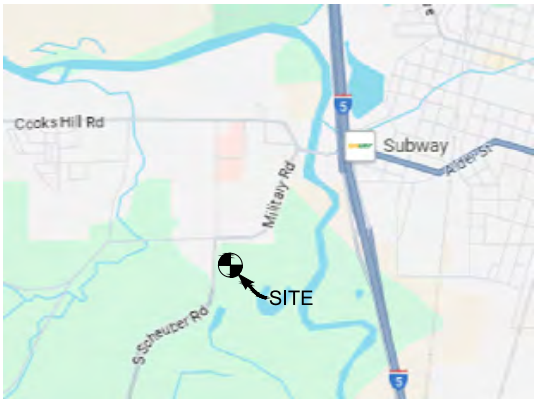
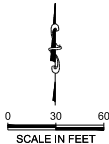
Stormwater: Full or partial onsite infiltration with a potential need for offsite discharge to the ditch.

Roads: All proposed roads are private roads.

FILE NAME:Z:\P\UW401\CAD\Sheets\UW401 Conceptual Parcel Map.dwg DATE/TIME:2/5/2025 10:35:47 AM

A
B
C
D
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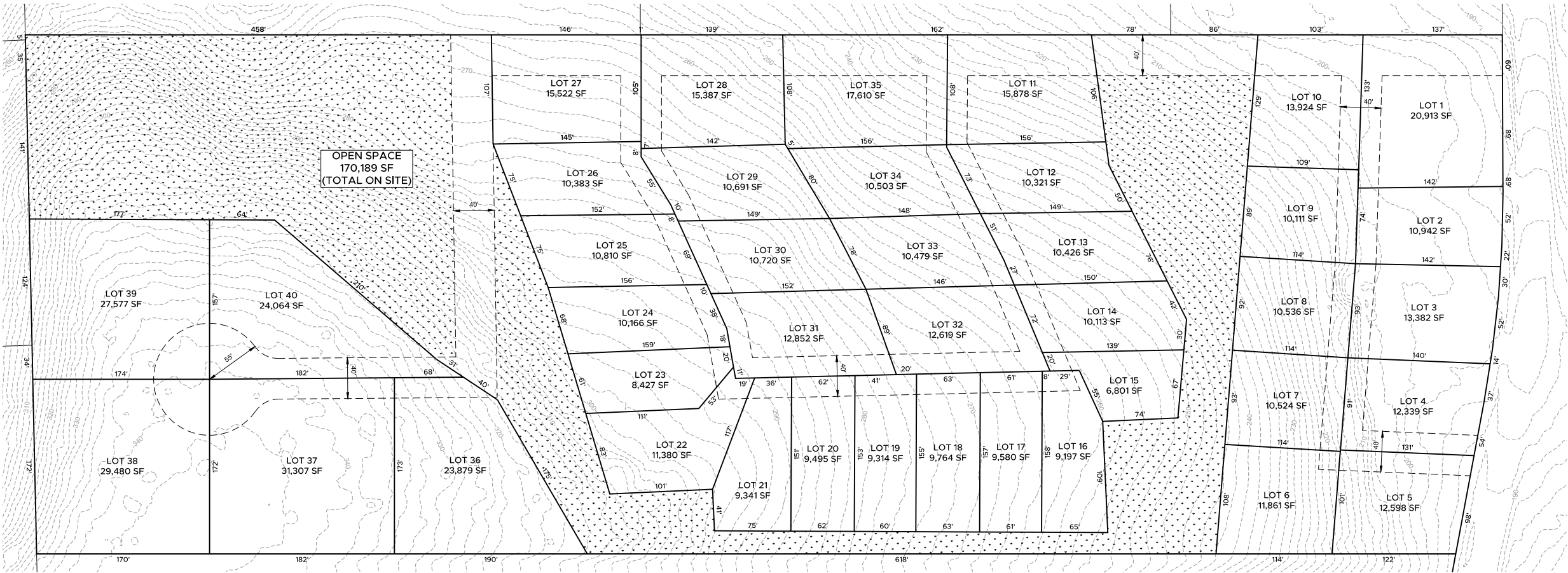
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15



VICINITY MAP
NOT TO SCALE

SITE DATA

PARCEL #:	021589005000
SITE ADDRESS:	1426 S SCHEUBER RD CENTRALIA, WA 98531 16.87 AC (PER COUNTY DATA)
GROSS ACREAGE:	R4
ZONING:	SFR
EXISTING USE:	CENTRALIA, WA
PRESIDING JURISDICTION:	

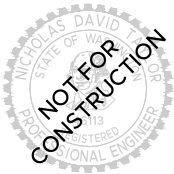


LEWIS COUNTY
TPN 021589005000

CONCEPTUAL PARCEL MAP

PROJECT NO:	JW401
REVIEWED BY:	NDT
DESIGNED BY:	NDT
DRAWN BY:	RCB
DATE:	02-05-2025

Know what's BELOW
Call 811 before you dig.



GENERAL SITE NOTES:

1. THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE COPIES OF THE APPLICABLE GOVERNING AGENCY STANDARDS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
2. CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR SHOWN ON RECORD DRAWING PROVIDED BY OTHERS ARE SHOWN HEREON. EXISTING UNDERGROUND UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO A DEGREE OF UNKNOWN VARIATION. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. BARGHAUSEN CONSULTING ENGINEERS, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR RECORDS OF OTHERS. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE APPROPRIATE UTILITIES INVOLVED PRIOR TO CONSTRUCTION.
6. INSPECTION OF SITE WORK WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE GOVERNING JURISDICTION. INSPECTION OF PRIVATE FACILITIES WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE INSPECTOR 24 HOURS IN ADVANCE OF BACKFILLING ALL CONSTRUCTION.
7. PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY THE CONTRACTOR SHALL CONTACT THE AGENCY AND/OR UTILITY INSPECTION PERSONNEL AND ARRANGE ANY REQUIRED PRE-CONSTRUCTION MEETING(S). CONTRACTOR SHALL PROVIDE ONE WEEK MINIMUM ADVANCE NOTIFICATION TO OWNER, FIELD ENGINEER AND ENGINEER OF PRE-CONSTRUCTION MEETINGS.
8. THE CONTRACTOR IS RESPONSIBLE FOR WORKER AND SITE SAFETY AND SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED.
10. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL ADJACENT PUBLIC AND PRIVATE PROPERTIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITY SERVICES THAT ARE TO REMAIN OPERATIONAL WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
11. TWO (2) COPIES OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. ONE (1) SET WITH RECORDS OF AS-BUILT INFORMATION SHALL BE SUBMITTED TO BARGHAUSEN CONSULTING ENGINEERS, INC. AND CITY OF CENTRALIA AT COMPLETION OF PROJECT.
12. CONTRACTOR SHALL OBTAIN SERVICES OF A LICENSED LAND SURVEYOR TO STAKE HORIZONTAL CONTROL FOR ALL NEW IMPROVEMENTS. STAKING CONTROL SHALL BE TAKEN FROM ELECTRONIC PLAN FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC.
13. CONTRACTOR SHALL REQUEST FROM BARGHAUSEN CONSULTING ENGINEERS, INC. PRIOR TO ANY CONSTRUCTION STAKING OR CONSTRUCTION WORK, A FORMAL CONSTRUCTION RELEASE PLAN SET OR SPECIFIC RELEASE IN WRITING. THE APPROVED AGENCY PERMIT DRAWINGS WILL NOT BE CONSIDERED CONSTRUCTION RELEASE PLANS BY BARGHAUSEN CONSULTING ENGINEERS, INC. UNLESS BARGHAUSEN CONSULTING ENGINEERS, INC. HAS GIVEN A FORMAL WRITTEN RELEASE OR ISSUED A CONSTRUCTION RELEASE PLAN SET.

DEVELOPER

LOGISTICS PROPERTY CO.
1100 BELLEVUE WAY NE
SUITE 8A - NO. 238
BELLEVUE WA 98004
PHONE: 425-419-6887
CONTACT: JOE SANDHU

ARCHITECT

NELSON
1201 3RD AVENUE
SUITE 2200
SEATTLE, WA 98101
PHONE: 206-408-8634
CONTACT: JOSE CORTEZ

ENGINEER/
SURVEYOR

BARGHAUSEN CONSULTING, LLC
18215 72ND AVENUE SOUTH
KENT, WA 98032
PHONE: (425) 251-6222
CONTACT: DAN BALMELLI, PE
RYAN LEE, LLS

GEOTECHNICAL
ENGINEER

GEORESOURCES, LLC
4809 PACIFIC HWY E.
FIFE, WA 98424
PHONE: (253) 869-1011
CONTACT: SETH MATTOSS

CALL BEFORE YOU DIG

ALL DEVELOPERS/CONTRACTORS ARE RESPONSIBLE FOR TIMELY NOTIFICATION OF UTILITIES IN ADVANCE OF ANY CONSTRUCTION IN RIGHT-OF-WAY OR UTILITY EASEMENTS. THE UTILITIES "ONE-CALL" UNDERGROUND LOCATION CENTER PHONE NUMBER IS 1-800-424-5555. A MINIMUM OF 48 HOURS ADVANCE NOTICE IS REQUIRED.

LEGEND

EXISTING:

- POWER VAULT
LUMINAIRE (LUM.)
POWER METER
POWER POLE
JUNCTION BOX (AS NOTED)
CATCH BASIN (CB)
STORM MANHOLE (SDMH)
SANITARY SEWER MANHOLE (SSMH)
CLEANOUT (AS NOTED)
GAS METER
GAS VALVE
WATER VALVE (WV)
FIRE HYDRANT (FH)
FIRE DEPARTMENT CONNECTION (FDC)
BLOW-OFF/AIR VAC
WATER METER
SIGN
IRRIGATION BOX
WOOD PILE
BOULDER
DECIDUOUS TREE
CONIFEROUS TREE
SURVEY MONUMENT (AS NOTED)
FOUND REBAR/CAP (AS NOTED)
BENCHMARK
SECTION CORNER (AS NOTED)
FOUND REBAR/CAP (AS NOTED)
FOUND LEAD/TACK

PROPOSED:

- WATER LINE
SANITARY SEWER LINE
STORM DRAINAGE LINE
GAS LINE
TELEPHONE (OH) OR (UG)
POWER (OH) OR (UG)
CHAIN LINK FENCE
WOOD FENCE
HOGWIRE FENCE
BUILDING LINE
CONTOUR (MAJOR)
CONTOUR (MINOR)
PROJECT BOUNDARY LINE
SECTION LINE
RIGHT-OF-WAY
CENTERLINE
PROPOSED LOT LINE
EASEMENT LINE
SAWCUT
CONCRETE
SAND/GRAVEL (AS NOTED)
PAVEMENT

EXISTING:

- WATER LINE
SANITARY SEWER LINE
STORM DRAINAGE LINE
GAS LINE
TELEPHONE (OH) OR (UG)
POWER (OH) OR (UG)
CHAIN LINK FENCE
WOOD FENCE
HOGWIRE FENCE
BUILDING LINE
CONTOUR (MAJOR)
CONTOUR (MINOR)
PROJECT BOUNDARY LINE
SECTION LINE
RIGHT-OF-WAY
CENTERLINE
PROPOSED LOT LINE
EASEMENT LINE
SAWCUT
CONCRETE
SAND/GRAVEL (AS NOTED)
PAVEMENT

PROPOSED:

- WATER LINE
SANITARY SEWER LINE
STORM DRAINAGE LINE
GAS LINE
TELEPHONE (OH) OR (UG)
POWER (OH) OR (UG)
CHAIN LINK FENCE
WOOD FENCE
HOGWIRE FENCE
BUILDING LINE
CONTOUR (MAJOR)
CONTOUR (MINOR)
PROJECT BOUNDARY LINE
SECTION LINE
RIGHT-OF-WAY
CENTERLINE
PROPOSED LOT LINE
EASEMENT LINE
SAWCUT
CONCRETE
SAND/GRAVEL (AS NOTED)
PAVEMENT

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLES THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE AT 811 AND THEN POTHOLES ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SAID UTILITIES AS SHOWN ON THESE PLANS ARE BASED UPON THE UNVERIFIED PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY, PURSUANT TO WAC 332-120. APPLICATIONS MUST BE COMPLETED BY A REGISTERED LAND SURVEYOR. APPLICATIONS FOR PERMITS TO REMOVE MONUMENTS MAY BE OBTAINED FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES, OR BY CONTACTING THEIR OFFICE BY TELEPHONE AT (206) 902-1190.

WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES
PUBLIC LAND SURVEY OFFICE
1111 WASHINGTON STREET S.E.
P.O. BOX 47060
OLYMPIA, WASHINGTON 98504-7060

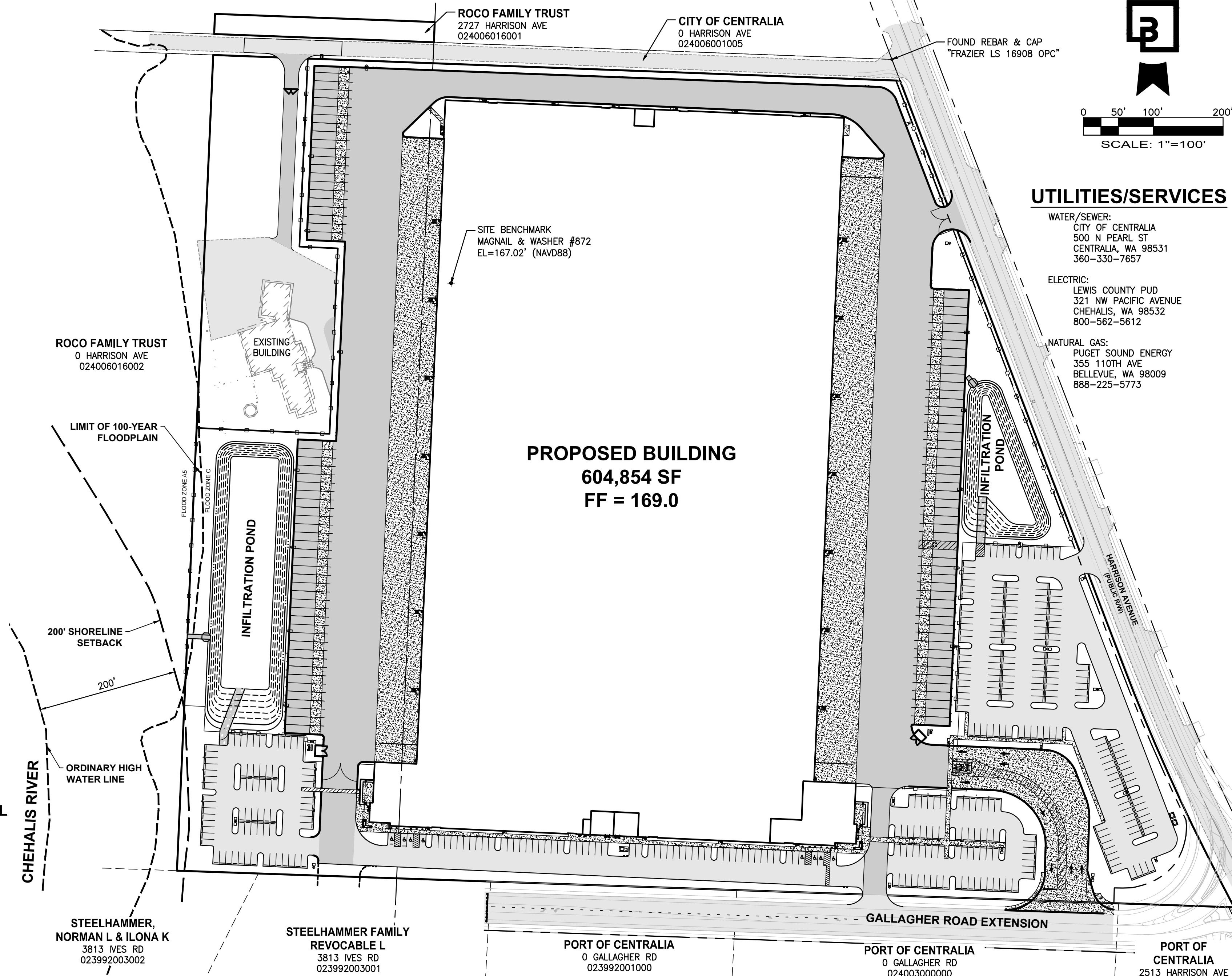
UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR, PURSUANT TO THESE REGULATIONS. THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

MONUMENT DEMOLITION NOTE:

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM ANY JURISDICTIONS HAVING AUTHORITY FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY. UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR, PURSUANT TO THESE REGULATIONS. THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

ROUGH GRADING, FILL, AND TESC COVER SHEET

FOR
FORDS PRAIRIE INDUSTRIAL PARK BUILDING 1
PORTION OF THE NE 1/4 & NW 1/4 OF SECTION 36, TOWNSHIP 15 N., RANGE 03 W., W.M.
CITY OF CENTRALIA, LEWIS COUNTY, WASHINGTON



UTILITIES/SERVICES

WATER/SEWER:
CITY OF CENTRALIA
500 N PEARL ST
CENTRALIA, WA 98531
360-330-7657

ELECTRIC:
LEWIS COUNTY PUD
321 NW PACIFIC AVENUE
CHEHALIS, WA 98532
800-562-5612

NATURAL GAS:
PUGET SOUND ENERGY
355 110TH AVE
BELLEVUE, WA 98009
888-225-5773

PROPOSED BUILDING
604,854 SF
FF = 169.0

- INDEX TO SHEETS:**
E1 OF 7 **ROUGH GRADING, FILL, AND TESC COVER SHEET**
E2 OF 7 **EXISTING CONDITIONS MAP**
E3 OF 7 **DEMOLITION PLAN**
E4 OF 7 **ROUGH GRADING, FILL, AND TESC PLAN**
E5 OF 7 **SITE SECTIONS**
E6 OF 7 **TESC NOTES AND DETAILS**
E7 OF 7 **INADVERTENT DISCOVERY PLAN NOTES AND DETAILS**

ESTIMATED EARTH-WORK QUANTITIES

CUT - 55,000 CY
FILL - 53,000 CY
NET = 2,000 (CUT)
AREA TO BE DISTURBED = 33.76 AC

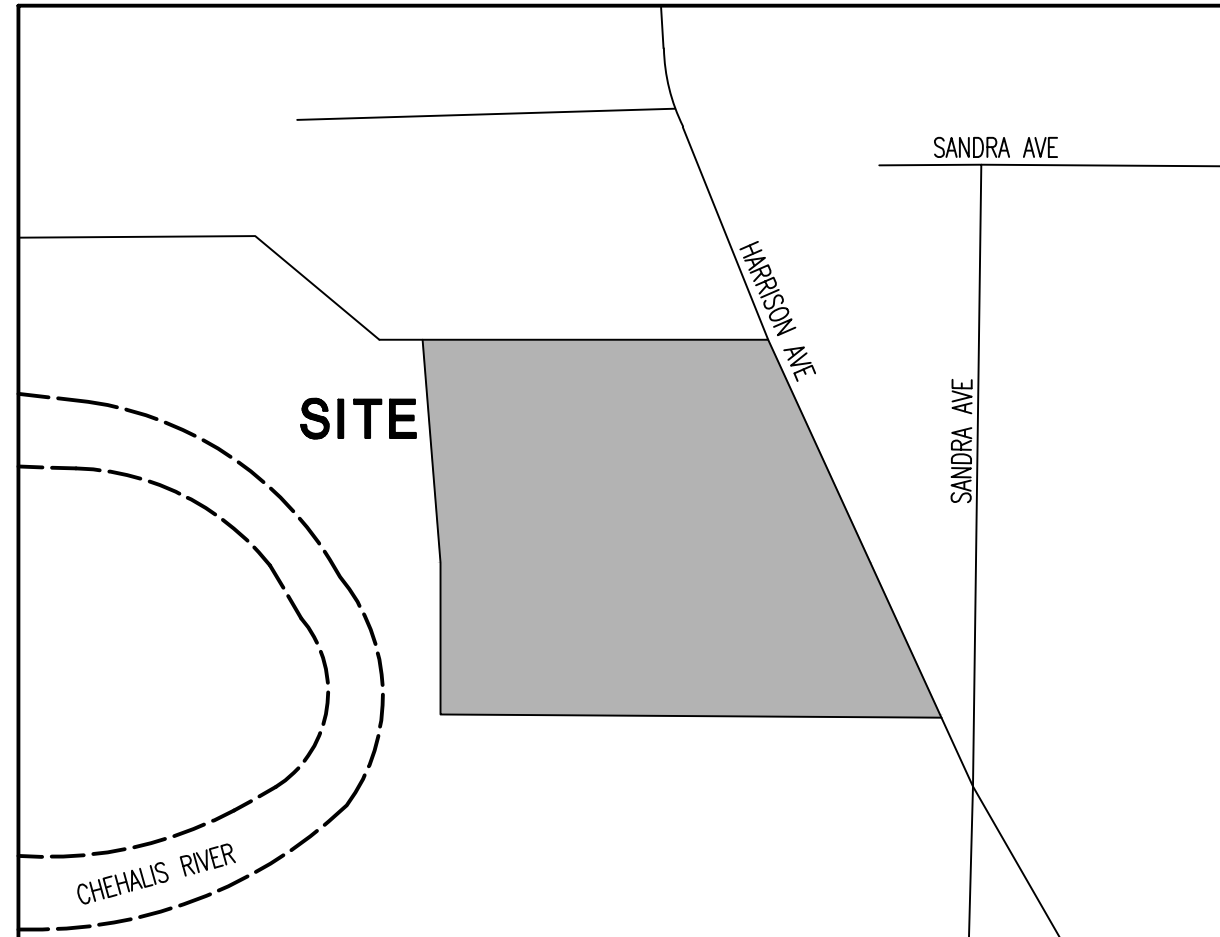
CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT DATED **FEBRUARY 20, 2025** FOR THIS SITE PREPARED BY **GEORESOURCES** FOR GRADING RECOMMENDATIONS. EARTHWORK QUANTITIES ARE FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING PURPOSES. CONTRACTOR SHALL PERFORM AN INDEPENDENT ANALYSIS FOR THE PURPOSES OF PREPARING THEIR BID.

CESCL

WILLIAM (BJ) CARL
POE CONSTRUCTION, INC.
PO BOX 1838
AUBURN, WA 98071-1838
206-851-0647
BJCARL@POECONSTRUCTION

APPROVED FOR CONSTRUCTION

CITY ENGINEER _____ DATE _____
"PLAN APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE OF APPROVAL."



VICINITY MAP CENTRALIA, WASHINGTON

SURVEY INFORMATION

HORIZONTAL DATUM:
NAD 83/11
PER WSDOT PUBLISHED MONUMENTS. WSDOT CONTROL POINT "GP21005-61" WAS HELD FOR POSITION, AND A LINE BETWEEN SAID POINT "GP21005-61" AND CONTROL POINT "GP34005-49" WAS HELD FOR ROTATION, BEING NORTH 11°38'34" EAST.

VERTICAL DATUM:
NAVD88
VERTICAL CONTROL PUBLISHED BY WSDOT, POINT "GP21005-61" WAS HELD FOR ELEVATION. BENCHMARK ELEVATION = 164.16 USFT

TOPOGRAPHIC INFORMATION:
ELEMENTS AND FEATURES DEPICTED HEREON SATISFY THE REQUIREMENTS ESTABLISHED BY W.A.C. 332-130-145 FOR TOPOGRAPHIC ELEMENTS ON MAPS, INCLUDING THE FOLLOWING STATEMENTS:
• THE BASIS OF ELEVATIONS FOR THIS MAP IS NAVD 88 PER WSDOT.
◦ BENCHMARK UTILIZED: WSDOT CONTROL POINT "GP21005-61".
◦ BENCHMARK ELEVATION: 164.16 FEET (NAVD 88).
◦ METHOD OF MEASUREMENT: DIFFERENTIAL GPS UTILIZING WASHINGTON STATE NETWORK (WSPN)
• THE PURPOSE OR INTENDED USE OF THE TOPOGRAPHIC ELEMENTS SHOWN HEREON IS: CIVIL DESIGN.
• THE SOURCE OF THE CONTOURS SHOWN HEREON: DIRECT FIELD OBSERVATIONS.
• PROJECT BENCHMARK(S) ESTABLISHED: SET MAGNAIL & WASHER #872 ON THE NORTH SIDE OF THE DRIVEWAY WITH AN OBSERVED ELEVATION OF 167.02 FEET (NAVD 88).
• THE ELEVATIONS AND CONTOUR ACCURACY IS: PER NATIONAL MAPPING STANDARDS, ONE-HALF THE CONTOUR INTERVAL (2')
• LIMITATION OF USE: NONE.
• SOURCE OF BOUNDARY INFORMATION: BARGHAUSEN CONSULTING ENGINEERS, INC BOUNDARY SURVEY.
• SOURCE OF UTILITY LOCATION: PRIVATE UTILITY LOCATOR SURFACE MARKINGS SUPPLEMENTED WITH CITY PROVIDED ASBUILT INFORMATION.
• ACCURACY OF UTILITY DEPICTION: LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON FIELD MEASUREMENTS.

UTILITY SCOPE OF WORK AS AGREED WITH PROJECT OWNER: MAP ABOVE GROUND VISIBLE UTILITIES UTILIZING DIRECT FIELD OBSERVATIONS, MAP LOCATIONS OF PRIVATE UTILITY LOCATOR PAINT MARKS, GIS AND ASBUILT INFORMATION WILL BE UTILIZED TO VERIFY OBSERVED INFORMATION AND SUPPLEMENT IF NECESSARY.

BOUNDARY NARRATIVE:
THIS SURVEY IS A RETRACEMENT OF TRACT 1 OF THE SURVEY RECORDED UNDER AFN. 3327963. FOUND CONTROL FOR THIS SURVEY AGREES WITH SAID SURVEY UNLESS OTHERWISE NOTED.

REFERENCE SURVEYS:
1. RECORD OF SURVEY - AFN. 8801112
2. RECORD OF SURVEY - AFN. 3161254
3. RECORD OF SURVEY - AFN. 3327963
4. RECORD OF SURVEY - AFN. 3338459

TAX PARCEL NUMBER / ADDRESS / LOT AREA:
024006016003 / 2717 HARRISON AVENUE / 1,353,560 ± S.F. (31.07 ± ACRES)

DATE OF SURVEY:
THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENTS AND SITE CONDITIONS EXISTING ON JUNE 28, 2024 & JULY 26, 2024. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN MAY AND JUNE OF 2024.

FLOOD INFORMATION:
FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) INFORMATION: FLOOD INSURANCE RATE MAP (FIRM) No. 53010200418 PANEL 41 OF 800, DATED OCTOBER 18, 2024 AT 8:00 AM. IN PREPARING THIS MAP, BARGHAUSEN CONSULTING ENGINEERS, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS BARGHAUSEN CONSULTING ENGINEERS, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY SAID COMMITMENT. BARGHAUSEN CONSULTING ENGINEERS, INC. HAS RELIED WHOLLY ON SAID TITLE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE BARGHAUSEN CONSULTING ENGINEERS, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.

TITLE COMMITMENT:
ALL TITLE INFORMATION SHOWN ON THIS MAP, INCLUDING APPURTENANT EASEMENTS AND ADJOINING DEEDS FOR UNPLATTED LOTS, IF ANY, HAS BEEN EXTRACTED FROM AMTRUST TITLE INSURANCE COMPANY OWNERS POLICY COMMITMENT NO. ATIC-20948-WA, DATED OCTOBER 18, 2024 AT 8:00 AM. IN PREPARING THIS MAP, BARGHAUSEN CONSULTING ENGINEERS, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS BARGHAUSEN CONSULTING ENGINEERS, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY SAID COMMITMENT. BARGHAUSEN CONSULTING ENGINEERS, INC. HAS RELIED WHOLLY ON SAID TITLE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND THEREFORE BARGHAUSEN CONSULTING ENGINEERS, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.

LEGAL DESCRIPTION
(PER ABOVE REFERENCED TITLE REPORT)
TRACT 1 OF SURVEY RECORDED JUNE 10, 2009 UNDER AUDITOR'S FILE NO. 3327963 IN VOLUME 27 OF SURVEYS, PAGE 67, BEING A PORTION OF THE S.S. FORD DONATION LAND CLAIM AND THE NORTH HALF OF SECTION 36, TOWNSHIP 15 NORTH, RANGE 3 WEST, W.M.
EXCEPT THAT PORTION CONVEYED TO THE CITY OF CENTRALIA IN DEED RECORDED JUNE 25, 2002 UNDER AUDITOR'S FILE NO. 3141875.
LEWIS COUNTY, WASHINGTON

HORIZONTAL CONTROL NOTE:

CONTRACTOR SHALL HAVE ALL PROPERTY LINES AND CIVIL IMPROVEMENTS DEPICTED ON THESE PLANS STAKED FOR CONSTRUCTION BY A LICENSED SURVEYOR. LICENSED SURVEYOR SHALL STAKE ALL ITEMS USING COORDINATE GEOMETRY (RECTIFIED TO SITE CONTROL) CONTAINED IN CAD DRAWING FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETRIEVE LATEST CAD FILES FROM BARGHAUSEN CONSULTING ENGINEERS INC., REFLECTING ANY ISSUED PLAN REVISIONS. BARGHAUSEN CONSULTING ENGINEERS SHALL IMMEDIATELY BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

Title:
**ROUGH GRADING, FILL, AND TESC
COVER SHEET
FOR
FORDS PRAIRIE INDUSTRIAL PARK BUILDING 1**

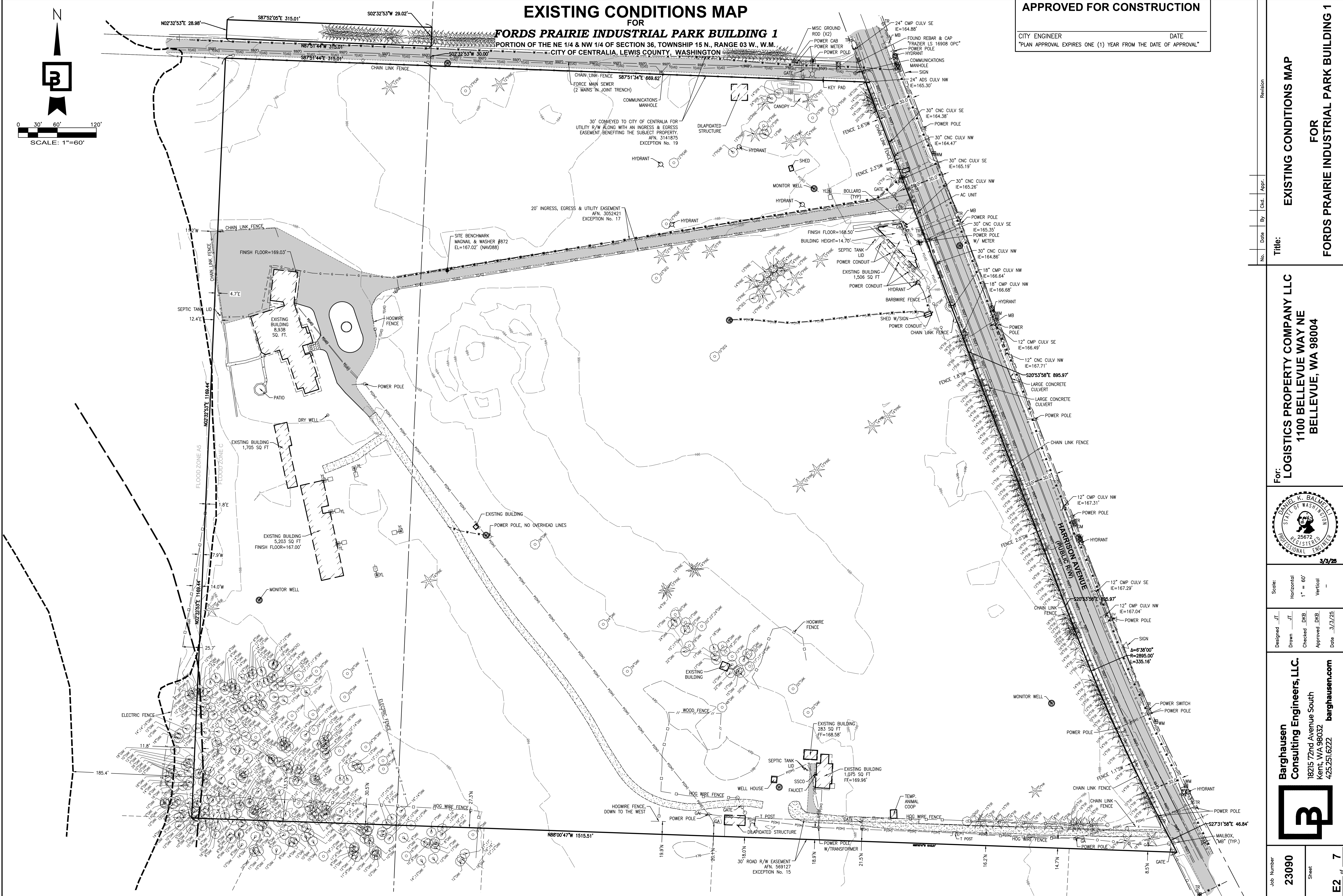
For:
**LOGISTICS PROPERTY COMPANY LLC
1100 BELLEVUE WAY NE
BELLEVUE, WA 98004**



Scale:
Horizontal 1" = 100'
Vertical -
Designed JT
Drawn JT
Checked DKB
Approved DKB
Date 3/23/25

Barghausen Consulting Engineers, LLC.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

Job Number
23090
Sheet
E1 of **7**

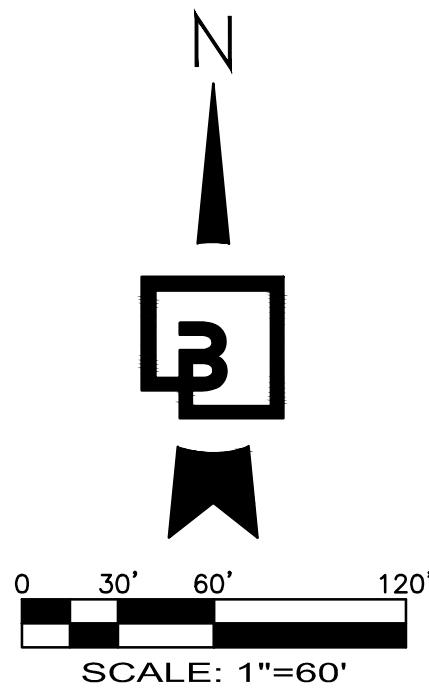


EXISTING CONDITIONS MAP

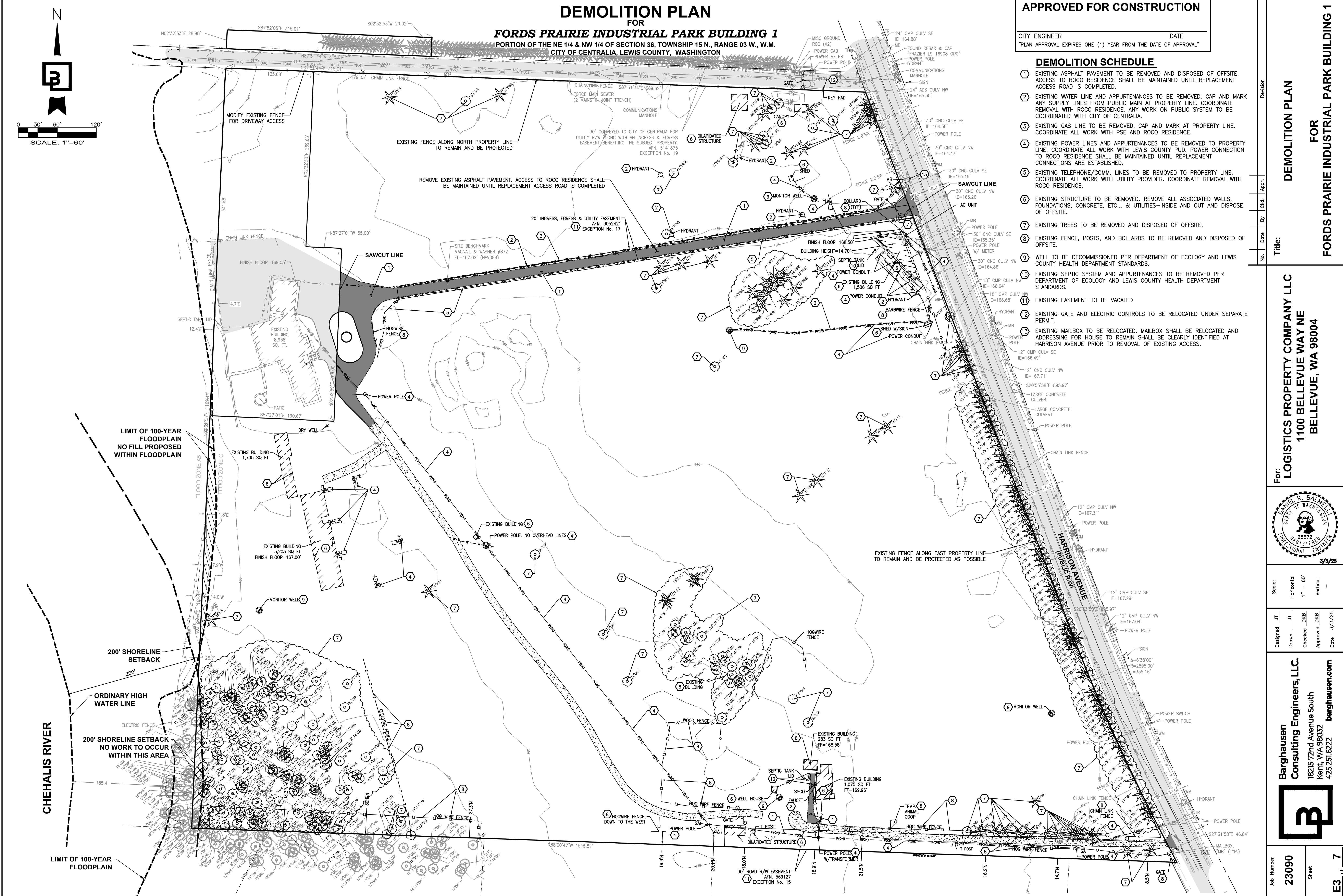
FOR
FORDS PRAIRIE INDUSTRIAL PARK BUILDING 1
PORTION OF THE NE 1/4 & NW 1/4 OF SECTION 36, TOWNSHIP 15 N., RANGE 03 W., W.M.
CITY OF CENTRALIA, LEWIS COUNTY, WASHINGTON

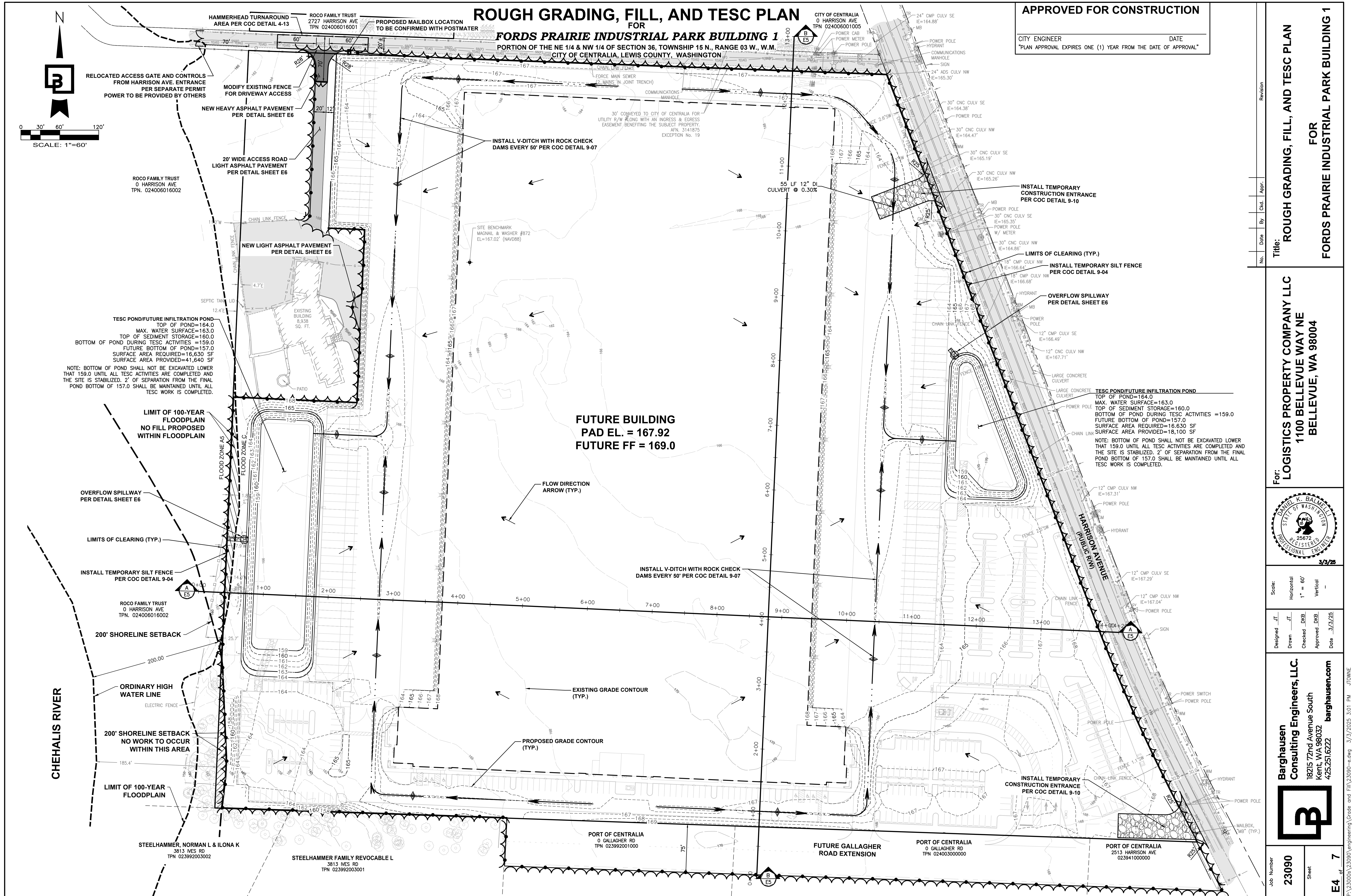
APPROVED FOR CONSTRUCTION

CITY ENGINEER _____ DATE _____
"PLAN APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE OF APPROVAL"



Revision		Title:	
No.	Date	By	Appr.
For: LOGISTICS PROPERTY COMPANY LLC 1100 BELLEVUE WAY NE BELLEVUE, WA 98004			
Scale:		Horizontal 1" = 60' Vertical 1" = 10'	
Designed	Drawn	Checked	Approved
_____	_____	_____	_____
Date		3/3/25	
Job Number		23090	
Sheet		E2 of 7	
For: Barghausen Consulting Engineers, LLC. 18215 72nd Avenue South Kent, WA 98032 425.251.6222 barghausen.com			



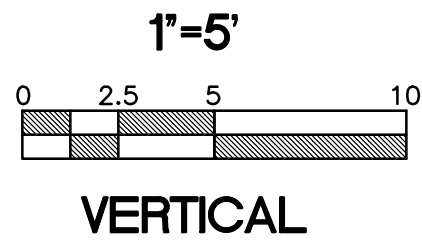
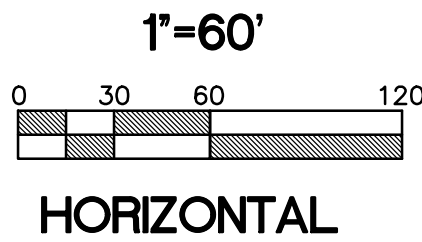


SITE SECTIONS

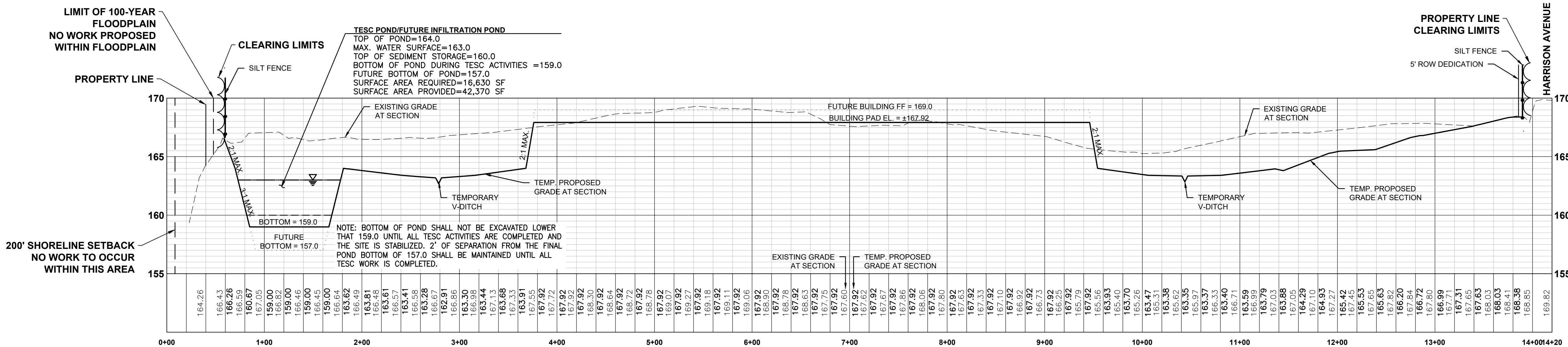
FOR
FORDS PRAIRIE INDUSTRIAL PARK BUILDING 1
PORTION OF THE NE 1/4 & NW 1/4 OF SECTION 36, TOWNSHIP 15 N., RANGE 03 W., W.M.
CITY OF CENTRALIA, LEWIS COUNTY, WASHINGTON

APPROVED FOR CONSTRUCTION

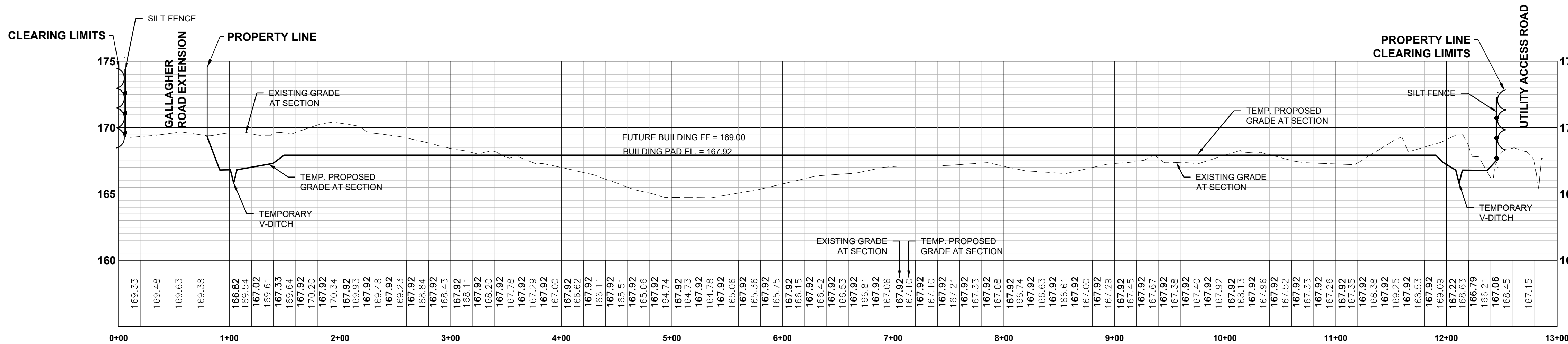
CITY ENGINEER _____ DATE _____
"PLAN APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE OF APPROVAL"



Know what's below.
Call before you dig.



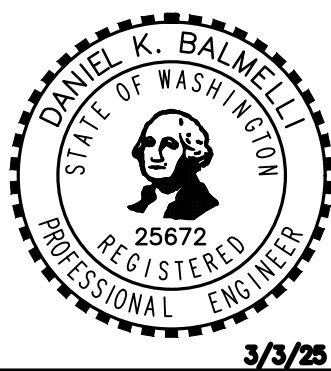
A
E4 SITE SECTION A
SCALE: HOR: 1"=60' VER: 1"=5'



B
E4 SITE SECTION B
SCALE: HOR: 1"=60' VER: 1"=5'

Revision
No. Date By Ckd. Appr.
Title:
SITE SECTIONS
FOR
FORDS PRAIRIE INDUSTRIAL PARK BUILDING 1

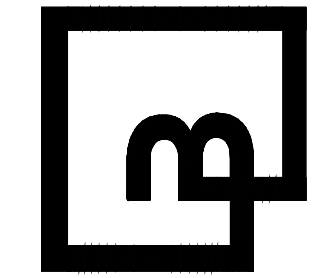
For: LOGISTICS PROPERTY COMPANY LLC
1100 BELLEVUE WAY NE
BELLEVUE, WA 98004



Scale:
Horizontal 1" = 60'
Vertical 1" = 5'

Designed JT
Drawn JT
Checked DKB
Approved DKB
Date 3/3/25

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Consulting Engineers, LLC.
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425.251.6222
barghausen.com



Job Number
23090
Sheet
E5 of 7

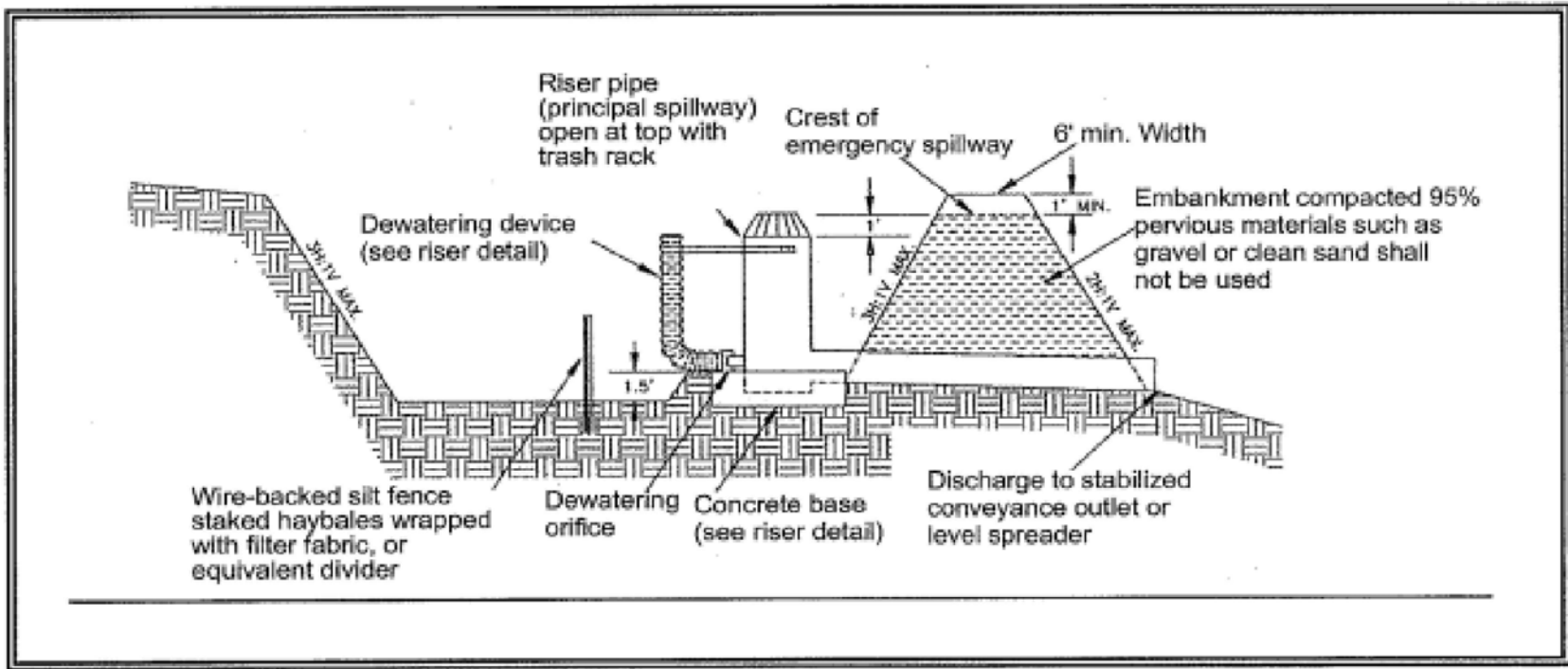
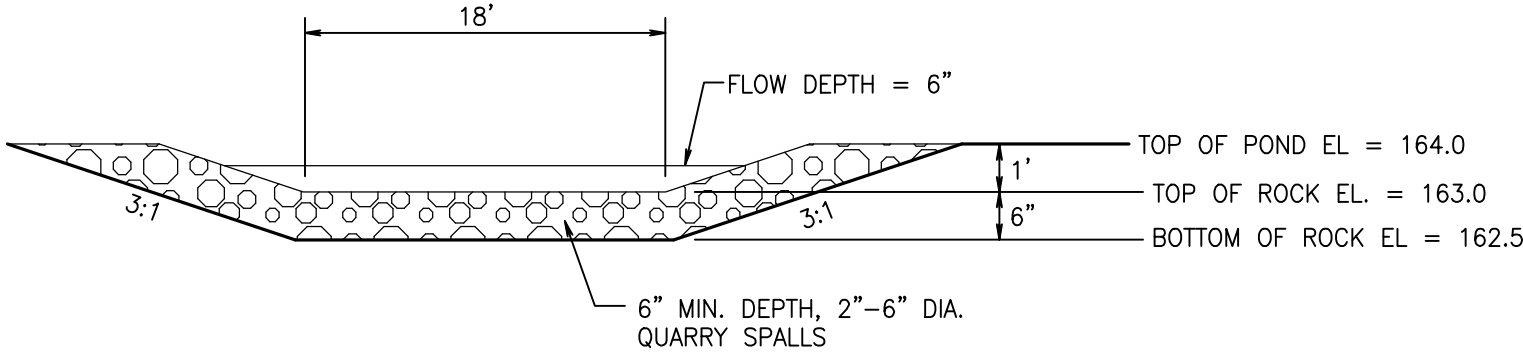


Figure 4.2.19 – Sediment Pond Cross Section

TESC NOTES AND DETAILS
FOR
FORDS PRAIRIE INDUSTRIAL PARK BUILDING 1
PORTION OF THE NE 1/4 & NW 1/4 OF SECTION 36, TOWNSHIP 15 N., RANGE 03 W., W.M.
CITY OF CENTRALIA, LEWIS COUNTY, WASHINGTON



OVERFLOW SPILLWAY DETAIL

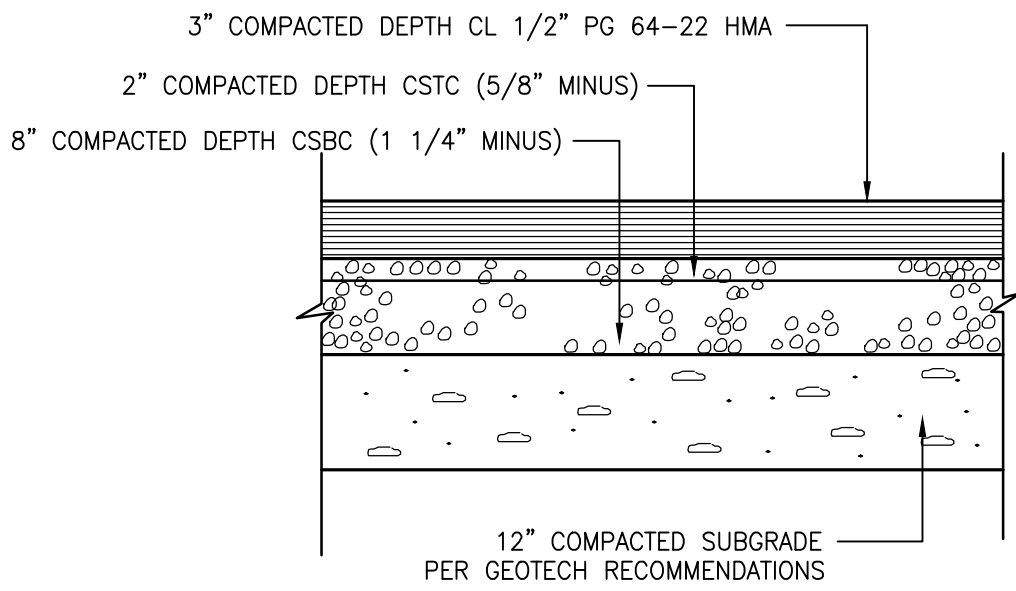
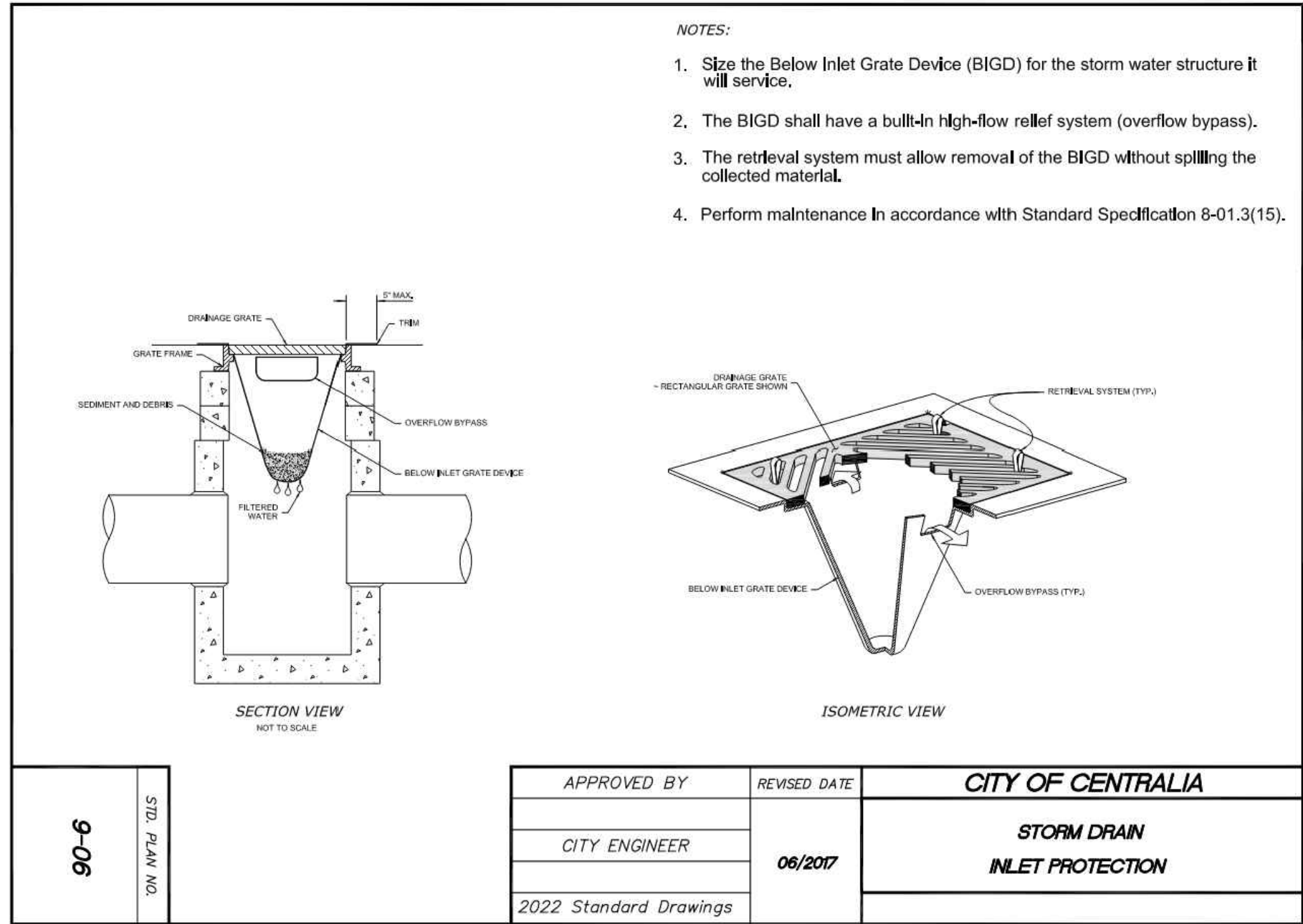
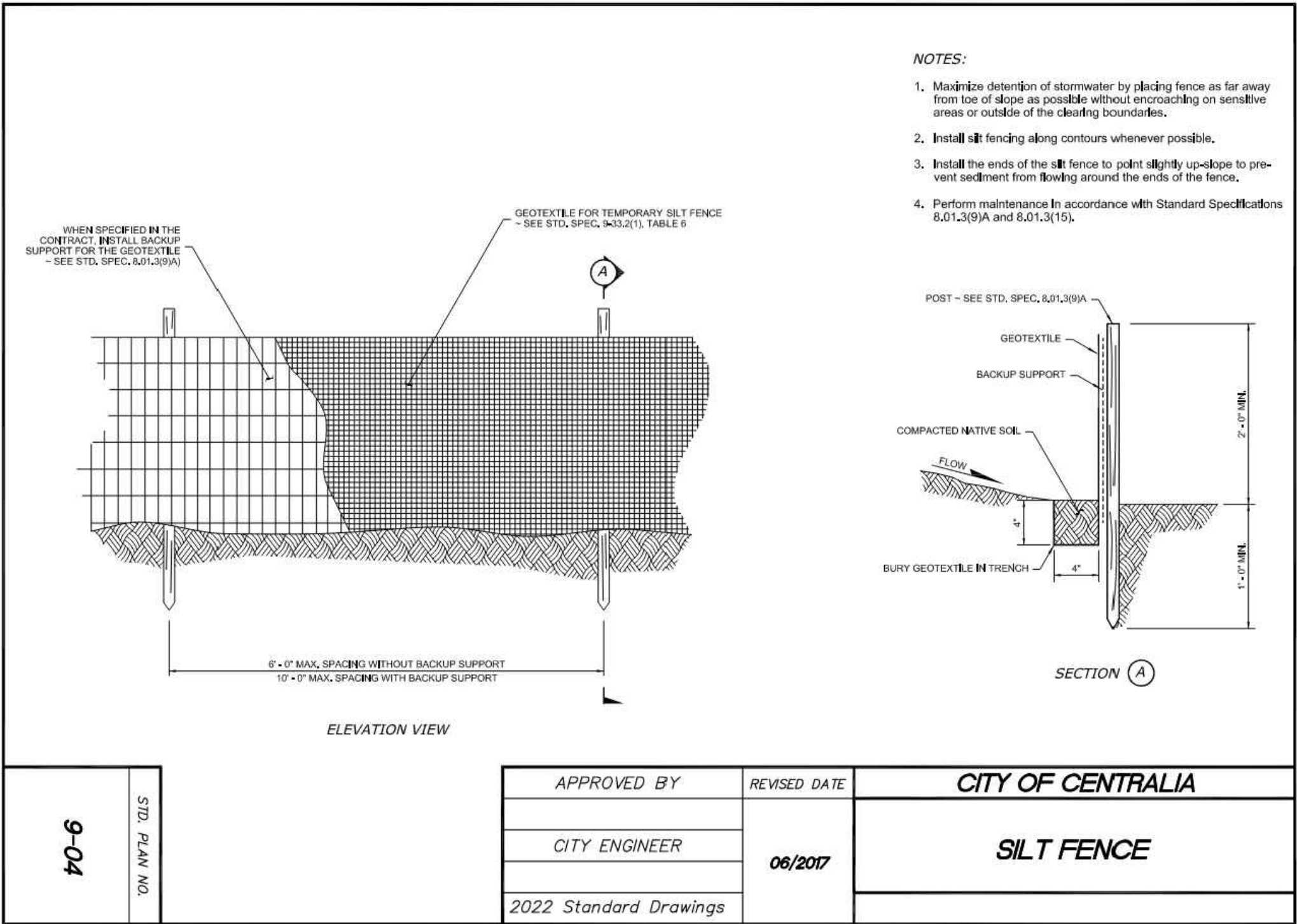
NOT TO SCALE

APPROVED FOR CONSTRUCTION

CITY ENGINEER _____ DATE _____
"PLAN APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE OF APPROVAL"

GENERAL EROSION CONTROL NOTES:

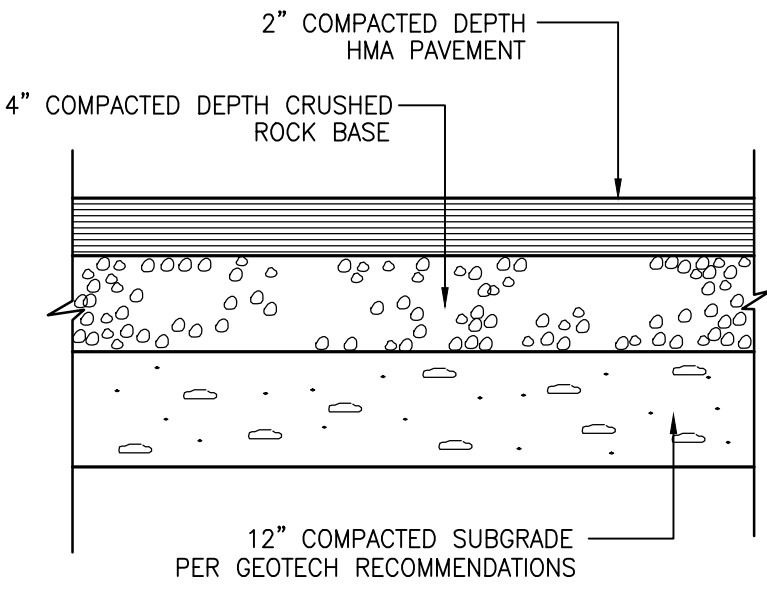
1. EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO THE BEGINNING OF CONSTRUCTION. THE PROJECT ENGINEER AND THE CITY SHALL INSPECT AND APPROVE THE INSTALLATION OF EROSION CONTROL MEASURES PRIOR TO BEGINNING OF CONSTRUCTION.
2. EROSION CONTROL MEASURES ARE NOT LIMITED TO THE ITEMS ON THIS PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES. NO SILTATION OF EXISTING OR PROPOSED DRAINAGE FACILITIES SHALL BE ALLOWED. CARE SHALL BE TAKEN TO PREVENT MIGRATION OF SILTS TO OFF SITE PROPERTIES.
3. THE CONTRACTOR SHALL MAKE DAILY SURVEILLANCE OF ALL EROSION CONTROL MEASURES AND MAKE ANY NECESSARY REPAIRS OR ADDITIONS TO THE EROSION CONTROL MEASURES. THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL MEASURES AS DETERMINED NECESSARY BY THE CITY INSPECTOR AND/OR THE PROJECT ENGINEER. FAILURE TO COMPLY WITH ALL LOCAL AND STATE EROSION CONTROL REQUIREMENTS MAY RESULT IN CIVIL PENALTIES BEING LEVIED AGAINST THE CONTRACTOR AND/OR PROJECT OWNER.
4. DURING THE WET SEASON NOVEMBER TO MARCH ALL DISTURBED SOILS SHALL BE STABILIZED WITHIN 48 HOURS AFTER STOP OF WORK. EROSION CONTROL MEASURES SHALL INCLUDE BUT ARE NOT LIMITED TO COVERING THE EFFECTED AREA INCLUDING SPOIL PILES WITH PLASTIC SHEETING, STRAW MATTING, JUTE MATTING, STRAW MULCH, OR WOOD CHIPS. SEEDING OF THE DISTURBED AREAS SHALL TAKE PLACE AS WEATHER PERMITS.
5. ALL SEEDING OR SODDED AREAS SHALL BE CHECKED REGULARLY TO MAKE SURE VEGETATIVE COVERAGE IS COMPLETE. AREAS SHALL BE REPAIRED, RESEEDING, AND FERTILIZED AS REQUIRED.
6. TRACKING OF SOIL OFFSITE WILL NOT BE ALLOWED. IF ANY SOIL IS TRACKED ONTO A CITY STREET IT SHALL BE REMOVED BY THE END OF THAT WORKING DAY. ANY FURTHER TRACKING OF MUD WILL THEN BE PREVENTED BY SWEEPING OR WASHING OF THE VEHICLES TIRES BEFORE DRIVING ON A CITY STREET.
7. NO MORE THAN 500 LF OF TRENCH ON A DOWNSLOPE OF MORE THAN 5% SHALL BE OPENED AT ONE TIME.
8. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
9. TRENCH DEWATERING DEVICES SHALL BE DISCHARGED IN A MANNER THAT WILL NOT ADVERSELY AFFECT FLOWING STREAMS, DRAINAGE SYSTEMS OR OFFSITE PROPERTIES.
10. ALL STORM SEWER INLETS RECEIVING RUNOFF FROM THE PROJECT DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER WILL BE FILTERED BEFORE ENTERING THE CONVEYANCE SYSTEM.
11. ALL OFF-SITE CATCH BASINS IMMEDIATELY ADJACENT TO THE SITE SHALL BE PROTECTED FROM SILTATION.
12. ALL DISTURBED AREAS SHALL BE SEEDING OR SODDED UPON COMPLETION OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT COMPLETE COVERAGE OF THE DISTURBED AREAS IS PROVIDED AND THAT GROWTH OF THE VEGETATION IS ESTABLISHED.



NOTE:
SEE GEOTECHNICAL REPORT PREPARED BY
GEORESOURCES DATED JANUARY 20, 2025
FOR PAVEMENT AND SUBGRADE RECOMMENDATIONS

ROCO DRIVEWAY HEAVY ASPHALT PAVEMENT SECTION

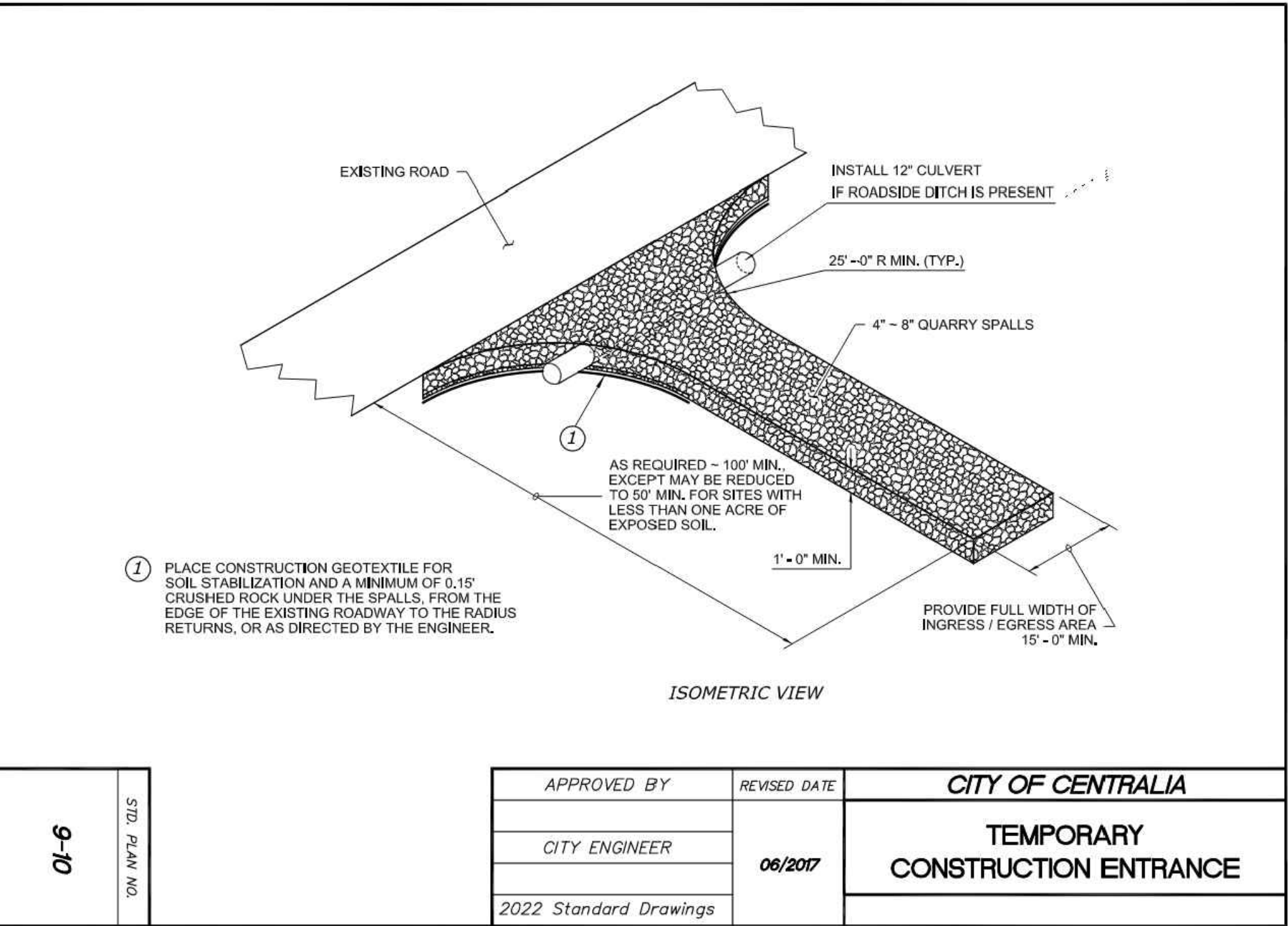
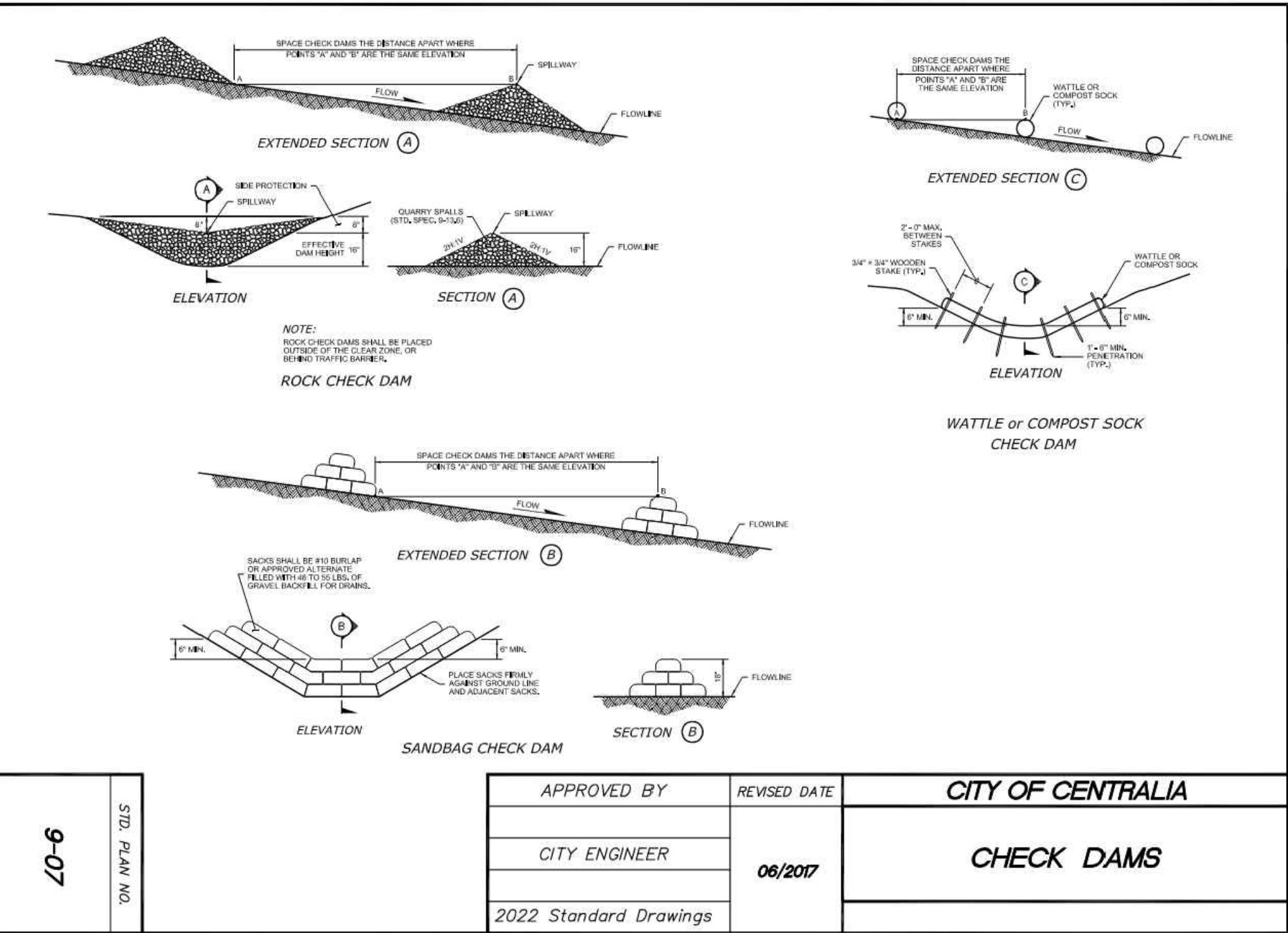
PER LOCAL ACCESS ROADWAY SECTION C0C DETAIL 4-09



NOTE:
SEE GEOTECHNICAL REPORT PREPARED BY
GEORESOURCES DATED JANUARY 20, 2025
FOR PAVEMENT AND SUBGRADE RECOMMENDATIONS

ROCO DRIVEWAY LIGHT ASPHALT PAVEMENT SECTION

NOT TO SCALE



Revision

No. _____ Date _____ By _____ Ckd. _____ Appr. _____

Title: **TESC NOTES AND DETAILS**
FOR
FORDS PRAIRIE INDUSTRIAL PARK BUILDING 1

For: **LOGISTICS PROPERTY COMPANY LLC**
1100 BELLEVUE WAY NE
BELLEVUE, WA 98004

DANIEL K. BALMELLE
STATE OF WASHINGTON
25672
REGISTERED
PROFESSIONAL ENGINEER
3/3/25

Scale: Horizontal _____ AS NOTED Vertical _____

Designed _____ JT _____
Drawn _____ JT _____
Checked _____ DKB _____
Approved _____ DKB _____
Date _____ 3/3/25

Barghausen Consulting Engineers, LLC.
18215 72nd Avenue South
Kent, WA 98032
425.251.6222
barghausen.com

B

Job Number **23090**
Sheet **E6** of **7**

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INADVERTENT DISCOVERY PLAN NOTES AND DETAILS

FOR
FORDS PRAIRIE INDUSTRIAL PARK BUILDING 1
PORTION OF THE NE 1/4 & NW 1/4 OF SECTION 36, TOWNSHIP 15 N., RANGE 03 W., W.M.
CITY OF CENTRALIA, LEWIS COUNTY, WASHINGTON

APPROVED FOR CONSTRUCTION

CITY ENGINEER _____ DATE _____
"PLAN APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE OF APPROVAL"

APPENDIX B: Inadvertent Discovery Plan CRA for the Logistics Property Development Project, Lewis County, WA

Inadvertent Discovery Plan for Cultural Resources

Washington state law protects archaeological resources (RCW 27.53, 27.44, and WAC 25-48) and human remains (RCW 68.50) from disturbance or theft. If artifacts or cultural deposits are discovered inadvertently during ground-disturbing activities in the API, construction should be immediately stopped. Artifacts and cultural deposits might include, but are not limited to, evidence for precontact activities such as chipped stone tools, chipped stone tool debris, ground stone tools, bone, and shell objects, fire-cracked or discolored rocks, concentrations of charcoal and discolored soil, or shell middens. There may also be evidence of Historic period land use or dumping such as structural debris, mechanical items, or concentration of cans, bottles, or other debris (Photos B.1–B.6 for examples of artifacts and cultural deposits).

If there is any question as to whether the finds are cultural, a professional archaeologist may be consulted to verify that the finds are archaeological. The construction supervisor will establish a 20 m (65 foot) buffer area around the discovery to protect the find while it is investigated. The construction supervisor and the landowner will notify the City of Centralia (City). Ground-disturbing work may proceed in other parts of the API, provided it will not affect the cultural discovery. The City, as lead agency for SEPA compliance, will carry out any necessary consultation with the Washington State DAHP, affected Tribes, and other interested parties.

Inadvertent Discovery Plan for Human Remains

If ground-disturbing activities encounter human skeletal remains during the course of construction, then all activity will cease that may cause further disturbance to those remains. The area of the find will be secured and protected from further disturbance until the State provides notice to proceed. The finding of human skeletal remains will be reported to the Lewis County Medical Examiner (360-740-1376) and the City of Centralia Police Department (360-330-7680) in the most expeditious manner possible. The remains will not be touched, moved, or further disturbed. The coroner will assume jurisdiction over the human skeletal remains and make a determination of whether those remains are forensic or non-forensic. If the medical examiner determines the remains are non-forensic, then they will report that finding to the DAHP, who will then take jurisdiction over the remains. The State Physical Anthropologist, Guy Tasa (360-790-1633), will make a determination of whether the remains are Indian or non-Indian and report that finding to any appropriate cemeteries and the affected Tribes. The DAHP will then handle all consultation with the affected parties as to the future preservation, excavation, and disposition of the remains.

WestLand Engineering & Environmental Services September 4, 2024 | Page B1

APPENDIX B: Inadvertent Discovery Plan CRA for the Logistics Property Development Project, Lewis County, WA



Photo B.3. Examples of hearth features and unusual accumulations of rocks, possibly with burnt or charcoal-stained soils.



Photo B.4. Examples of historic artifacts

WestLand Engineering & Environmental Services September 4, 2024 | Page B3

APPENDIX B: Inadvertent Discovery Plan CRA for the Logistics Property Development Project, Lewis County, WA



Photo B.1. Shell midden and layered stratigraphy of shell and blackened soil



Photo B.2. Examples of stone tools and flaked stone

WestLand Engineering & Environmental Services September 4, 2024 | Page B2

APPENDIX B: Inadvertent Discovery Plan CRA for the Logistics Property Development Project, Lewis County, WA



Photo B.5. Examples of historic bottles



Photo B.6. Example of a historic building foundation

WestLand Engineering & Environmental Services September 4, 2024 | Page B4

Revision		Appr.		Cld.		By		Date		No.	
Title: INADVERTENT DISCOVERY PLAN NOTES AND DETAILS FOR FORDS PRAIRIE INDUSTRIAL PARK BUILDING 1											
For: LOGISTICS PROPERTY COMPANY LLC 1100 BELLEVUE WAY NE BELLEVUE, WA 98004											
Scale: Horizontal - Vertical -											
Designed JT Drawn JT Checked DKB Approved DKB Date 3/3/25											
Barghausen Consulting Engineers, LLC. 18215 72nd Avenue South Kent, WA 98032 425.251.6222 barghausen.com											
Job Number 23090		Sheet E7 of 7									