



Site Plan Review Committee

Michael Thomas, City Manager

**COMMUNITY DEVELOPMENT
DEPARTMENT**
360-330-7662

Emil Pierson, CD Director
epierson@cityofcentralia.com

Mike Watilo, Building Official
mwatalo@cityofcentralia.com

PUBLIC WORKS DEPARTMENT
360-330-7512

Kim Ashmore, PW Director
kashmore@cityofcentralia.com

Patty Page, City Engineer
ppage@cityofcentralia.com

CENTRALIA CITY LIGHT
360-330-7512
ML Norton, CCL General Manager
mlnorton@cityofcentralia.com

POLICE DEPARTMENT
360-330-7680
Andy Caldwell, Chief
acaldwell@cityofcentralia.com

RIVERSIDE FIRE AUTHORITY
360-736-3975
Kevin Anderson, Chief
kanderson@riversidefire.net

LEGAL DEPARTMENT
360-330-7675
Kyle Manley, City Attorney
kmanley@cityofcentralia.com

SITE PLAN REVIEW COMMITTEE

Meeting Agenda

Monday, March 10, 2025

Join Zoom meeting:

<https://us02web.zoom.us/j/89118869218?pwd=11a9b4quXhUyVEqEEoUwe9dV7gehqr.1>

Join by mobile: #1-253-215-8782

Meeting ID: 891 1886 9218 Passcode: 926458

All applicants should join the meeting at 10 AM as time frames are estimations only and subject to change. The public is invited to participate.

9:00 AM STAFF REVIEW TIME

1. Weekly Permit List (pg. 1)
2. E Roanoke Subdivision (pg. 2-6)

10:00 AM – Pre-Application Conference (pgs. 7-9)

Project Name: S Scheuber Road
Applicant/Owner: Nick Taylor, Iris Group Consulting
Property Address: 1426 S Scheuber Road
Contact Phone: 360.890.8955
Email: ntaylor@irisgroupconsulting.com
Zone: R:4, Low Density Residential
Comp. Plan: LDR, Low Density Residential
Parcel Information: 021589-005-000, 16.87 acres
Request: Subdivide into 40 residential lots.

10:30 AM – Site Plan Review (pgs. 10-16)

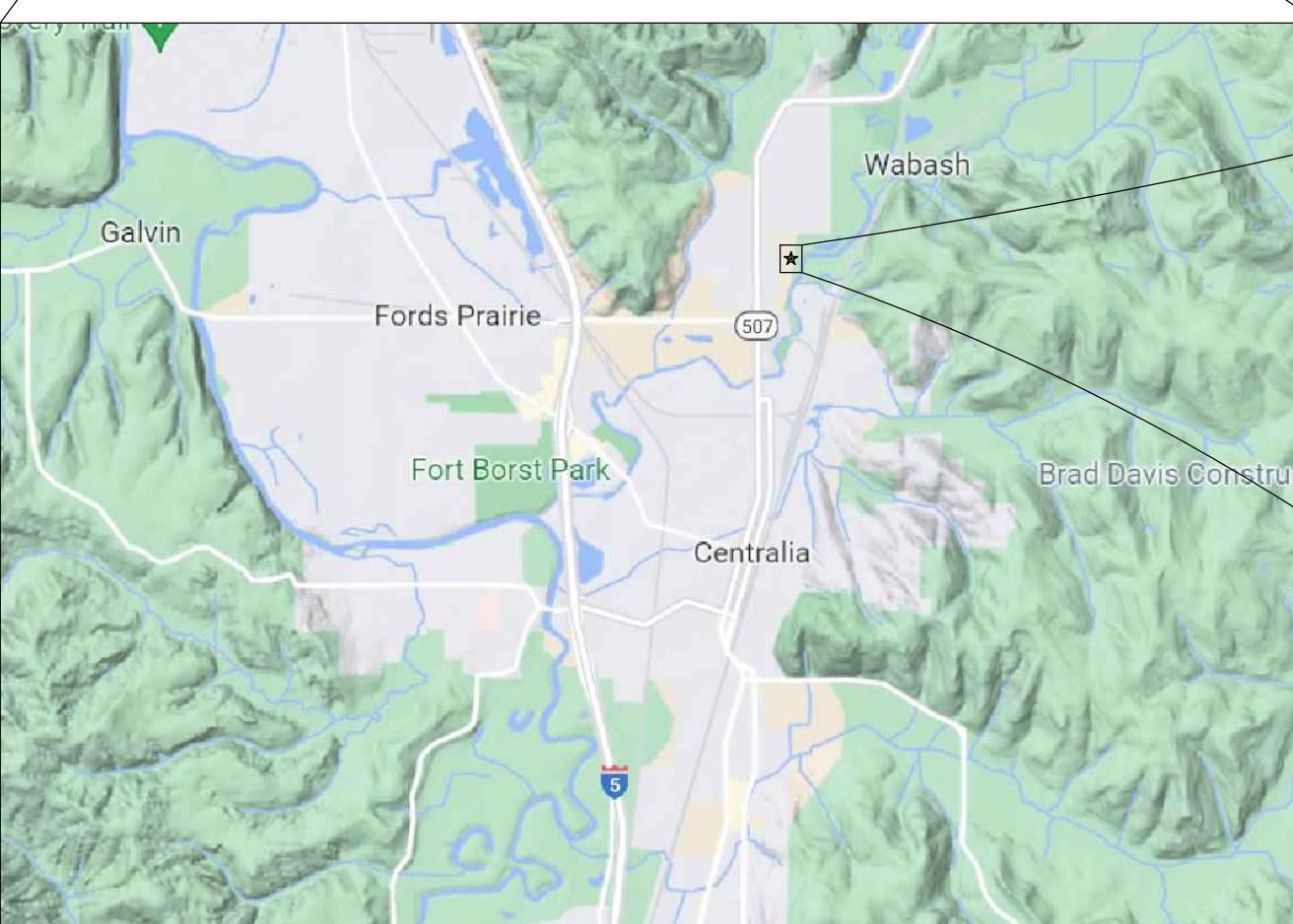
Project Name: Fords Prairie Industrial Park
Applicant/Owner: Joe Sandhu, Logistics Property Company
Property Address: near 2727 Harrison Avenue
Contact Phone: 425.419.6887
Email: jsandhu@logisticspropco.com
Zone: M-2, Industrial District
Comp. Plan: HI, Heavy Industrial
Parcel Information: 024006-016-003, 31.07 acres
Request: Final fill and grade permit approval.

Permit Report

Permit #	Permit Date	Building/ Land Use	Permit Type	CONSTRUCTION SITE ADD	Description of work being done under this permit	Applicant Name
20200407	2/27/2025	Building Permit	Accessory Building	405 South Iron Street	Build 1800 SF Pole Barn to be used as garage, on vacant lot	Ray Wilson
20200578	2/27/2025	Building Permit	Single Family Residence - New	405 South Iron Street	New foundation wall and the placement of a pre-existing house from another property	Ray Wilson
20250125	2/27/2025	Building Permit	Mechanical	1810 N Tower Ave	Replacing single zone ductless	Elissa Carbajal
20250127	2/28/2025	Building Permit	Single Family Residence - New	1477 SALZER Crk Dr/ Lot 69	Lot 69 New Single Family Residence 3 bed 2.5 bath 1586 sf, with covered patio 100 sf, garage 391 sf, front porch 82 sf.	Amber Cronister
20250128	2/28/2025	Building Permit	Single Family Residence - New	1467 SALZER CREEK DRIVE	LOT 68 New Single Family Residence 3 bed 2.5 bath 1907 sf. Plan 1797/GR/ElevB	Amber Cronister
20250130	2/28/2025	Building Permit	Single Family Residence - New	1450 Salzer Crk Dr / Lot 79	Lot 79 New Single Family Residence. Stock Plan 2378/GL/ ElevB	Briana Gorman
20250131	2/28/2025	Building Permit	Single Family Residence - New	1444 Salzer Crk Dr / Lot 78	Lot 78 New Single Family Residence 5 bed 3 bath 2621 sf garage 386 sf patio/front porch 216 sf	Briana Gorman
20250132	2/28/2025	Building Permit	Single Family Residence - New	1438 Salzer Crk Dr / Lot 77	Lot 77 New Single Family Residence 4 bed 2.5 bath 2447 sf garage 391 sf front porch/patio 132 sf	Briana Gorman
20250133	2/28/2025	Building Permit	Single Family Residence - New	1457 Salzer Crk Dr / Lot 67	Lot 67 New Single Family Residence 3 bed 2.5 bath 2015 sf 458 sf covered patio/porch 227 sf	Briana Gorman
20250134	2/28/2025	Building Permit	Single Family Residence - New	1449 Salzer Crk Dr/ Lot 66	Lot 66 New Single Family Residence 5 bed 3 bath 2621 sf garage 386 sf porch/patio 316 sf	Briana Gorman
20250135	2/28/2025	Building Permit	Single Family Residence - New	1441 Salzer Crk Dr / Lot 65	Lot 65 New Single Family Residence 4 bed 2.5 bath 2447 sf 391 sf porch/patio 216 sf/	Briana Gorman
20250136	2/28/2025	Land Use Application	Subdivision	3215 Harrison Avenue	16-lot Preliminary Plat Application	Tim Barney
20250137	3/3/2025	Building Permit	Single Family - Remodel	601 S Silver Street	Insulate and reside 12'x12' area of residence	Patricia Geist and Patricia Dean
20250138	3/4/2025	Building Permit	Single Family - Remodel	1220 St Helens St	Convert office to a bedroom and convert SFR to an adult family home	William K Araka
20250139	3/4/2025	Land Use Application	Boundary Line Adjustment	1127 Centralia Ave	Boundary Line Adjustment	Alison Ward
20250140	3/5/2025	Building Permit	Change of Occupancy	313 S Berry St	Convert accessory building to an ADU	Jennifer Kent
20250143	3/5/2025	Building Permit	Mechanical	701 S Silver St	Installing 12k BTU single zone ductless heat pump 12k fan coil in living room	Sarita David
20250142	3/5/2025	Building Permit	Deck	505 E Plum St	Addition of self supporting deck; replaced existing elect furnace, install cook range vent,	Jessica Stirling

SEC. 33, T 15 N., R 2 W., W.M.

ROANOKE SUBDIVISION
CONSTRUCTION DOCUMENTS
CENTRALIA, WA



OWNER / APPLICANT

SUNRISE FORTUNE INVESTMENT LLC
12509 BEL-RED RD #200
BELLEVUE, WA 98005
PHONE: 206.228.4158
CONTACT: LILI LU

CONSULTANTS

SCJ ALLIANCE
8730 TALLON LANE NE, SUITE 200
LACEY, WA 98516
PHONE: 360.352.1465
CONTACT: WHITNEY HOLM, PE

ARCHITECT:
ZO ARCHITECTURE LLC
3600 136TH PL SE SUITE 300
BELLEVUE, WA 98006
PHONE: 425.749.8158
CONTACT: XIAOGUANG (XG) ZHANG, AIA, MCARB

SURVEYOR:
D.R. STRONG
620 7TH AVENUE
KIRKLAND, WA 98033
PHONE: 425.827.3063
CONTACT: DOUGLAS J. COOMBS, P.L.S.

SITE INFORMATION

PARCEL NUMBERS: 009371001002, 009438021002,
009438021003, 003682070000
ACRES: ±14.76
ZONING: MODERATE-DENSITY RESIDENTIAL DISTRICT (R:8)

SITE ADDRESS:

E ROANOKE ST TO TACOMA AVE
EAST OF N TOWER AVE
CENTRALIA, WA 98531

UTILITIES

WATER:
CITY OF CENTRALIA

SEWER:
CITY OF CENTRALIA

POWER:
CENTRALIA CITY LIGHT

GAS:
CITY OF CENTRALIA

PHONE:
CENTURY LINK

CATV:
DIRECTV, XFINITY

LEGAL DESCRIPTION:

PARCEL A (009371001002)

LOT 2 OF SHORT PLAT NO. 2002-0321, RECORDED AUGUST 31, 2022, UNDER AUDITOR'S FILE NO. 3582670, IN VOLUME 3 OF SHORT PLATS PAGE 235, RECORDS OF LEWIS COUNTY, WASHINGTON, BEING LOCATED WITHIN AUGUST SAWALL ADDITION AND PORTLAND PLACE ADDITION OF SECTION 33, TOWNSHIP 15 NORTH, RANGE 2 WEST, W.M., LEWIS COUNTY, WASHINGTON.

PARCEL B (009438021002)

LOT 2 OF SHORT PLAT NO. SP2008-5, RECORDED OCTOBER 22, 2008, UNDER AUDITOR'S FILE NO. 3315386, BEING LOCATED WITHIN SOUTHEAST QUARTER OF SECTION 32 AND SOUTHWEST QUARTER 33 ALL IN TOWNSHIP 15 NORTH, RANGE 2 WEST, W.M., LEWIS COUNTY, WASHINGTON.

PARCEL C (009438021003 AND 003682070000)

PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, ALSO, PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 33; ALL IN TOWNSHIP 15 NORTH, RANGE 2 WEST, W.M., IN LEWIS COUNTY, WASHINGTON, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER, 305.23 FEET EAST OF ITS INTERSECTION WITH THE EAST LINE OF PARK AVENUE; THENCE EAST ALONG THE NORTH LINE OF SAID SUBDIVISION 893.53 FEET, MORE OR LESS, TO THE WESTERLY BANK OF THE SKOOKUMCHUCK RIVER; THENCE SOUTHWESTERLY ALONG THE WESTERLY BANK OF SAID RIVER 275 FEET, MORE OR LESS, TO THE NORTH LINE OF TACOMA AVENUE OR SAID LINE EXTENDED; THENCE WEST ALONG THE NORTH LINE OF TACOMA AVENUE OR SAID LINE EXTENDED 705 FEET, MORE OR LESS, TO A POINT ON SAID LINE 303 FEET EAST OF ITS INTERSECTION WITH THE EAST LINE OF PARK AVENUE; THENCE NORTH 245.82 FEET TO THE PLACE OF BEGINNING.

EXCEPT BEGINNING AT A POINT ON THE NORTH LINE OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 15 NORTH, RANGE 2 WEST, W.M., THAT BEARS NORTH 02°7' WEST, 1320.20 FEET AND NORTH 88°49' WEST, 522.99 FEET DISTANCE FROM THE SOUTHEAST CORNER OF SECTION 32, TOWNSHIP 15 NORTH, RANGE 2 WEST, W.M., THENCE SOUTH 102° EAST, 245.82 FEET TO A POINT; THENCE NORTH 88°58' EAST, 6.38 FEET TO A POINT; THENCE NORTH 72° EAST, 236.9 FEET TO A POINT; THENCE NORTH 88°49' WEST, 40.90 FEET TO THE PLACE OF BEGINNING. [NOTE: THIS EXCEPTION DOES NOT MATHEMATICALLY CLOSE].

BASIS OF BEARINGS:

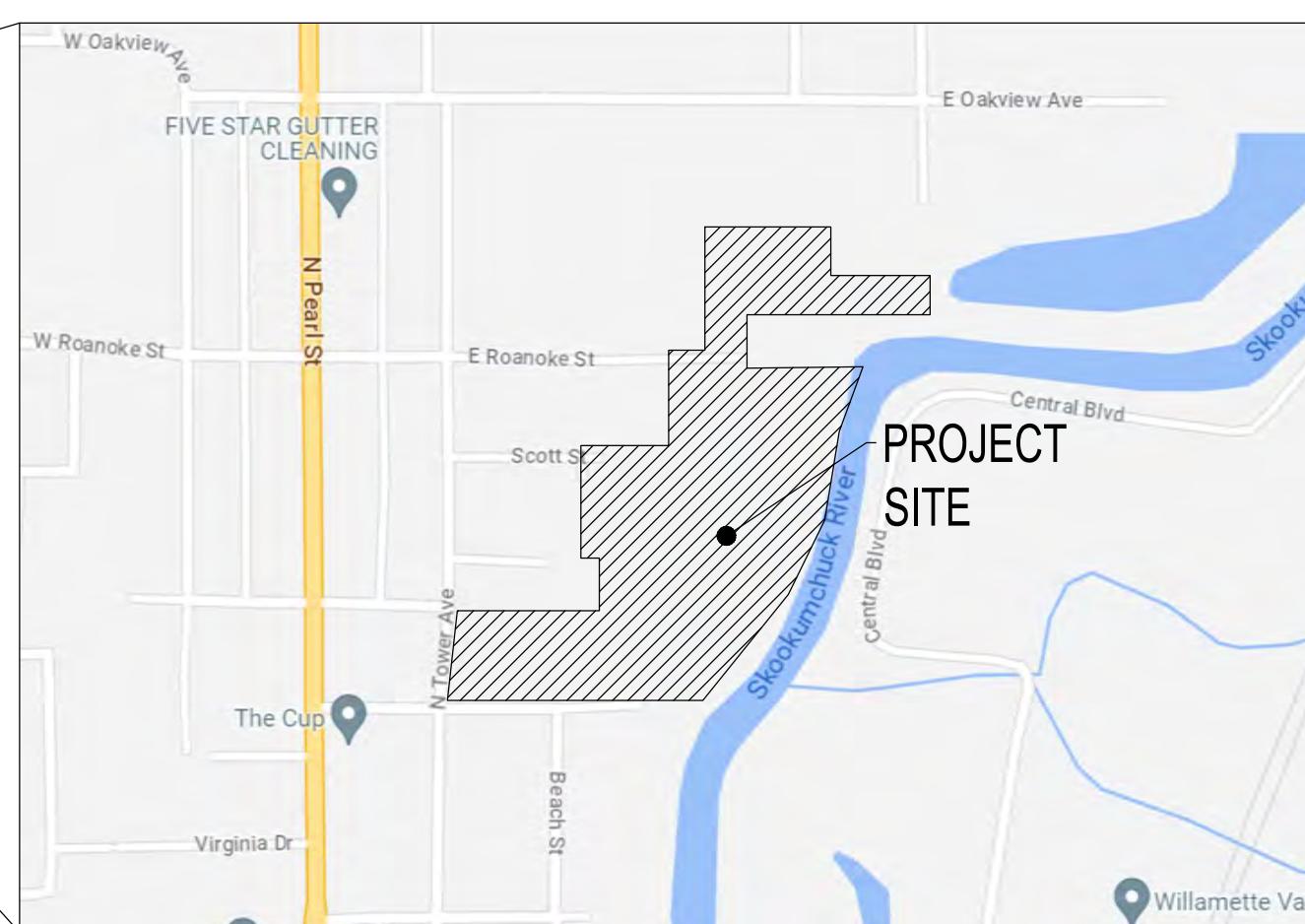
N 88°0'42" W BETWEEN THE MONUMENTS FOUND IN PLACE ALONG E OAKVIEW AVENUE.

HORIZONTAL DATUM:

WASHINGTON PLANE COORDINATE SYSTEM, SOUTH ZONE (4602). NAD83-2011 EPOCH 2010.00

VERTICAL DATUM:

NAVD 88 PER GNSS OBSERVATION



A PORTION OF SEC 33, T15N., R2W., W.M.
CENTRALIA, WA

CALL BEFORE YOU DIG

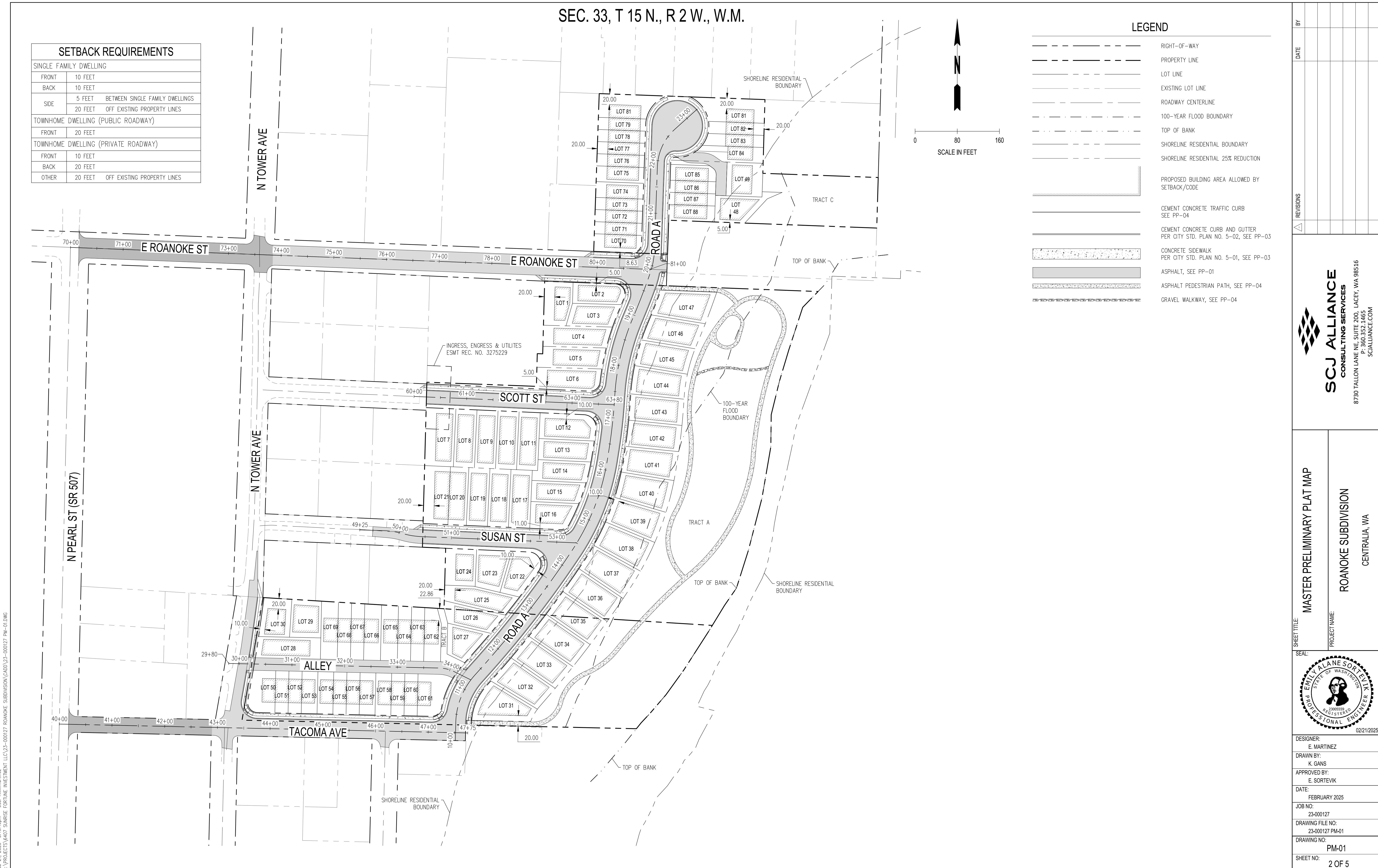
THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 OR 1.800.424.5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.

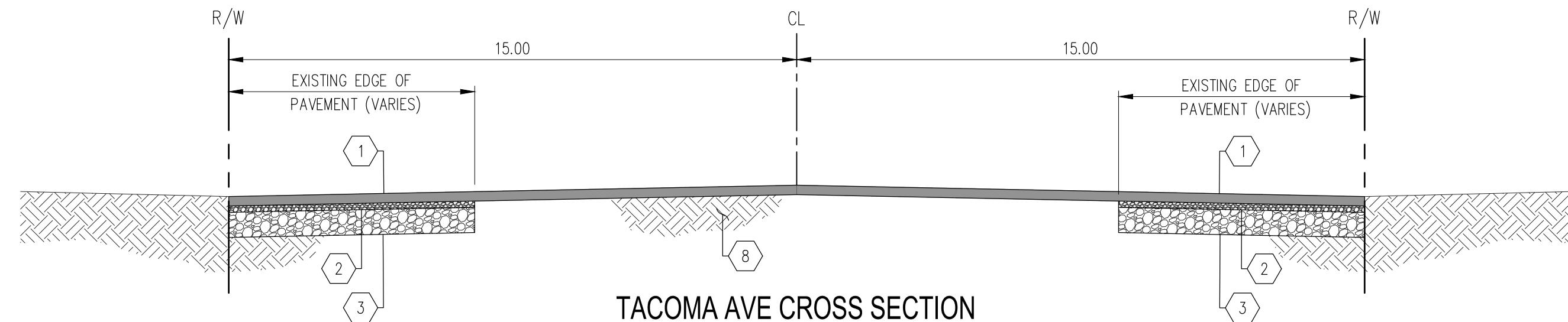
Approved by City of Centralia

City Engineer _____ Date _____
approval expires one year from above date

SCJ ALLIANCE
CONSULTING SERVICES
8730 TALLON LANE NE SUITE 200, LACEY, WA 98516
P: 360.352.1465
SCJALLIANCE.COM

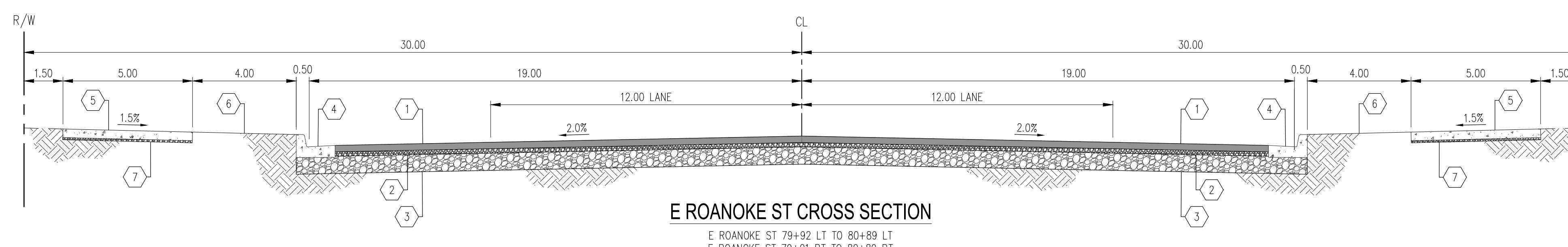
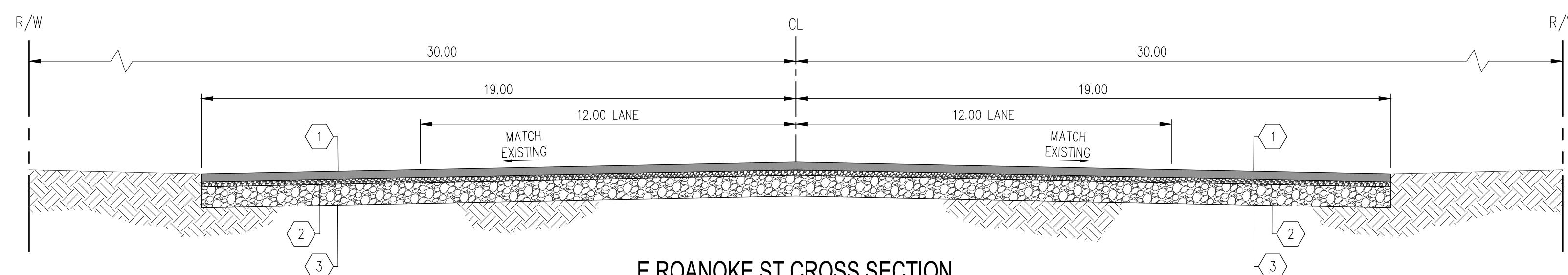
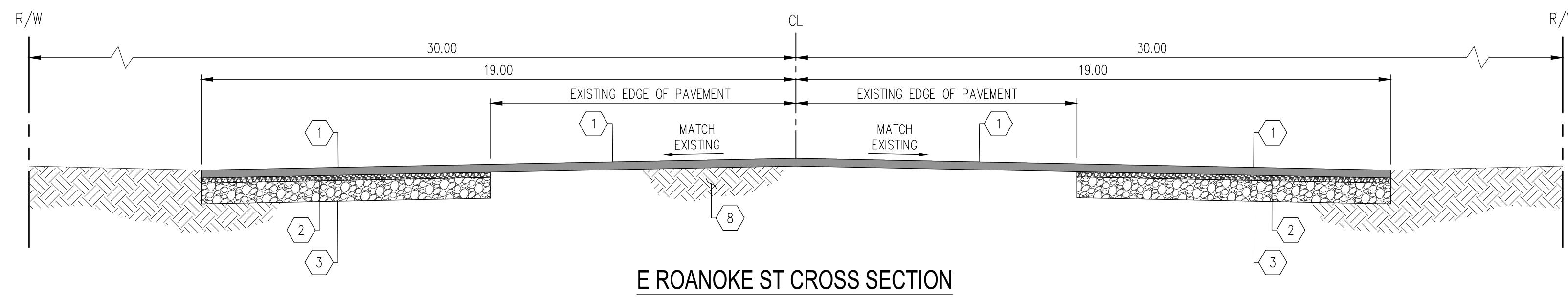
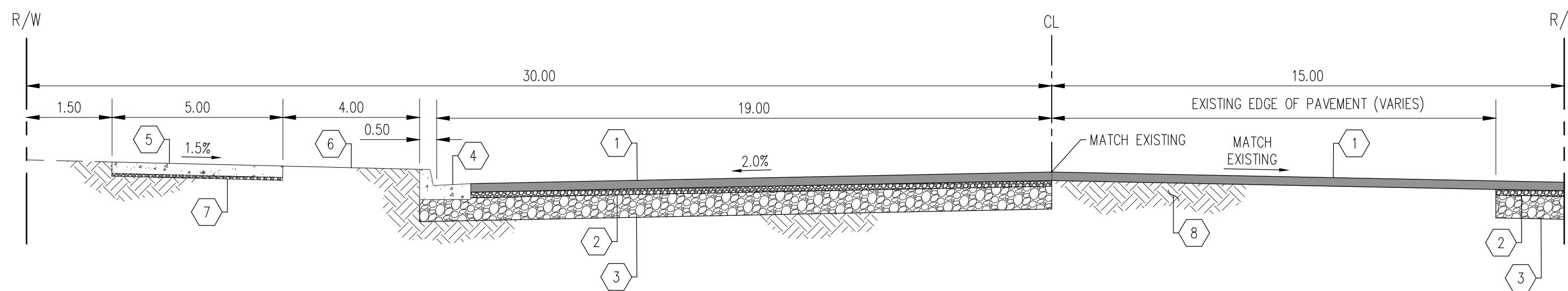
SEAL:		
DESIGNER:	E. MARTINEZ	
DRAWN BY:	N. ALTHAUSER	
APPROVED BY:	E. SORTEVIK	
DATE:	FEBRUARY 2025	
JOB NO:	23-000127	
DRAWING FILE NO:	23-000127-CV-01	
DRAWING NO:	CV-01	
SHEET NO:	1 OF 5	





SURFACING LEGEND

- ① 3" DEPTH HMA CL 1/2 IN. PG 58H-22 SHALL CONFORM TO WSDOT STD. SPECIFICATIONS 5-04, 9-02, AND 9-03.
- ② 2" DEPTH CRUSHED SURFACING TOP COURSE (5/8" MINUS) AT LEAST 95 PERCENT COMPACTION PER WSDOT STD. SPECIFICATIONS 4-04 AND 9-03.9(3).
- ③ 8" CRUSHED SURFACING BASE COURSE (1 1/4" MINUS) AT LEAST 95 PERCENT COMPACTION PER WSDOT STD. SPECIFICATIONS 4-04 AND 9-03.9(3).
- ④ CEMENT CONCRETE CURB AND GUTTER PER CITY STD. PLAN 5-02 ON PP-03
- ⑤ 4" CEMENT CONCRETE SIDEWALK PER CITY STD. PLAN 5-01 ON PP-03
- ⑥ PLANTER STRIP SEE LANDSCAPE PLANS
- ⑦ 1" DEPTH CRUSHED SURFACING TOP COURSE (5/8" MINUS) AT LEAST 95 PERCENT COMPACTION PER WSDOT STD. SPECIFICATIONS 4-04 AND 9-03.9(3).
- ⑧ PREPARED SUBGRADE SHALL CONFORM TO WSDOT STD. SPECIFICATIONS 2-06



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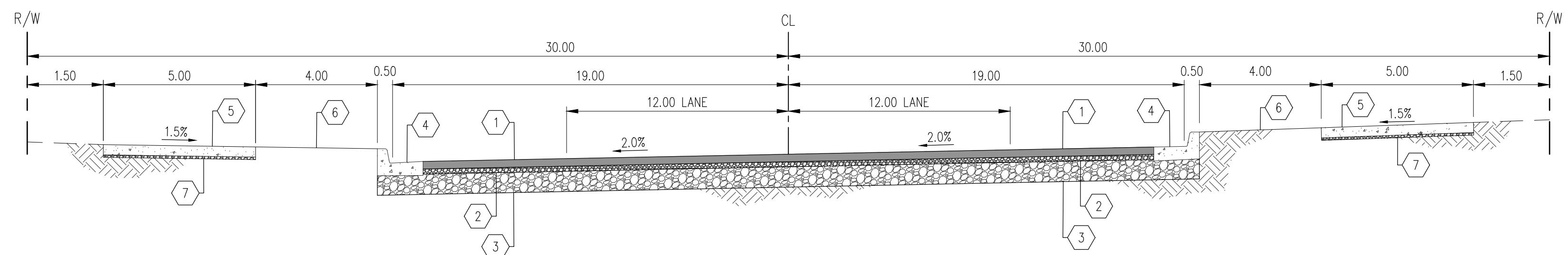
ROADWAY SECTIONS
ROANOKE SUBDIVISION
CENTRALIA, WA

SEAL:
EMILY A. LANESORT
PROFESSIONAL ENGINEER
REGISTRATION NO. 23005599
02/21/2025

DESIGNER:
E. MARTINEZ
DRAWN BY:
K. GANS
APPROVED BY:
E. SORTEVIK
DATE:
FEBRUARY 2025
JOB NO:
23-000127
DRAWING FILE NO:
23-000127 PP-01
DRAWING NO:
PP-01
SHEET NO:
3 OF 5

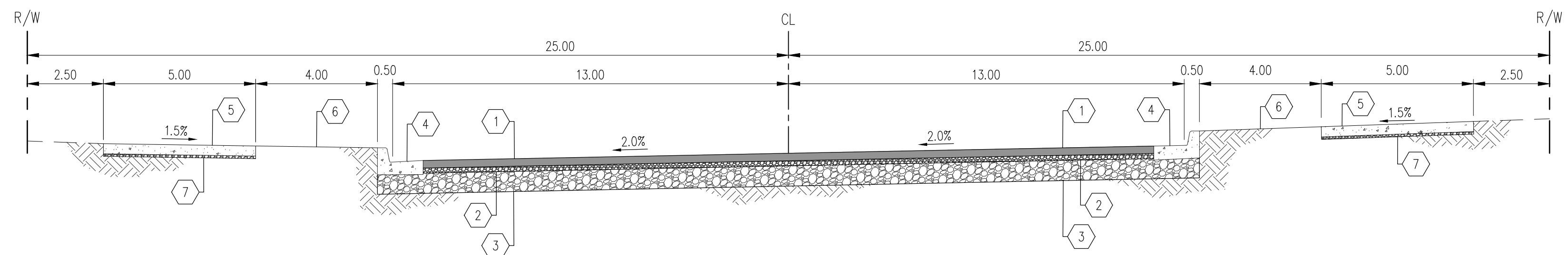
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- 4 CEMENT CONCRETE CURB AND GUTTER PER CITY STD. PLAN 5-02 ON PP-03
- 5 4" CEMENT CONCRETE SIDEWALK PER CITY STD. PLAN 5-01 ON PP-03
- 6 PLANTER STRIP SEE LANDSCAPE PLANS
- 7 1" DEPTH CRUSHED SURFACING TOP COURSE (5/8" MINUS) AT LEAST 95 PERCENT COMPACTION PER WSDOT STD. SPECIFICATIONS 4-04 AND 9-03.9(3).
- 8 PREPARED SUBGRADE SHALL CONFORM TO WSDOT STD. SPECIFICATIONS 2-06



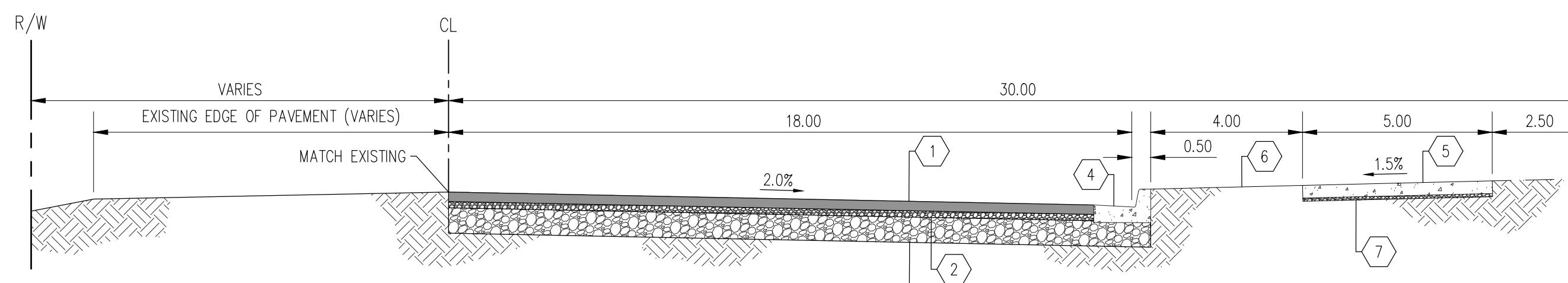
ROAD A

ROAD A 10+00 TO 21+11
NTS



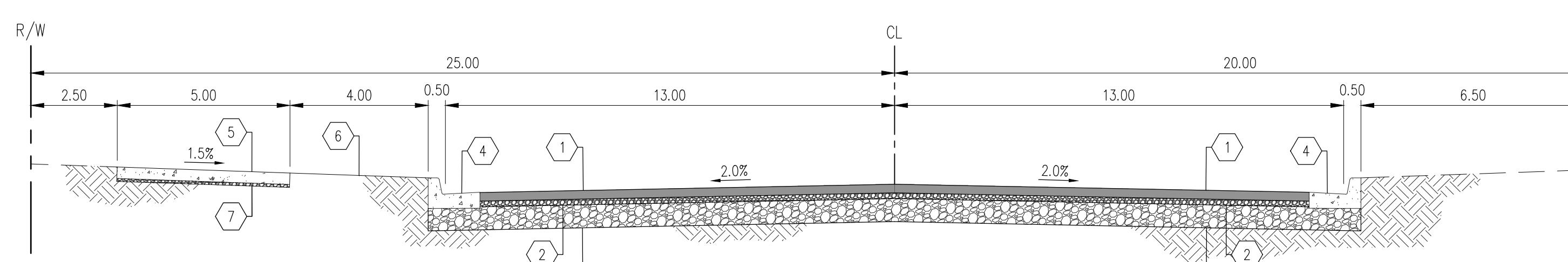
ROAD A

ROAD A 21+11 TO 23+22
NTS



N TOWER AVE CROSS SECTION

N TOWER AVE 0+32 TO 2+51
NTS



SUSAN ST & SCOTT ST CROSS SECTION

ROAD B 30+18 TO 34+42
SUSAN ST 50+45 TO 53+23
SCOTT ST 60+10 TO 63+70
NTS

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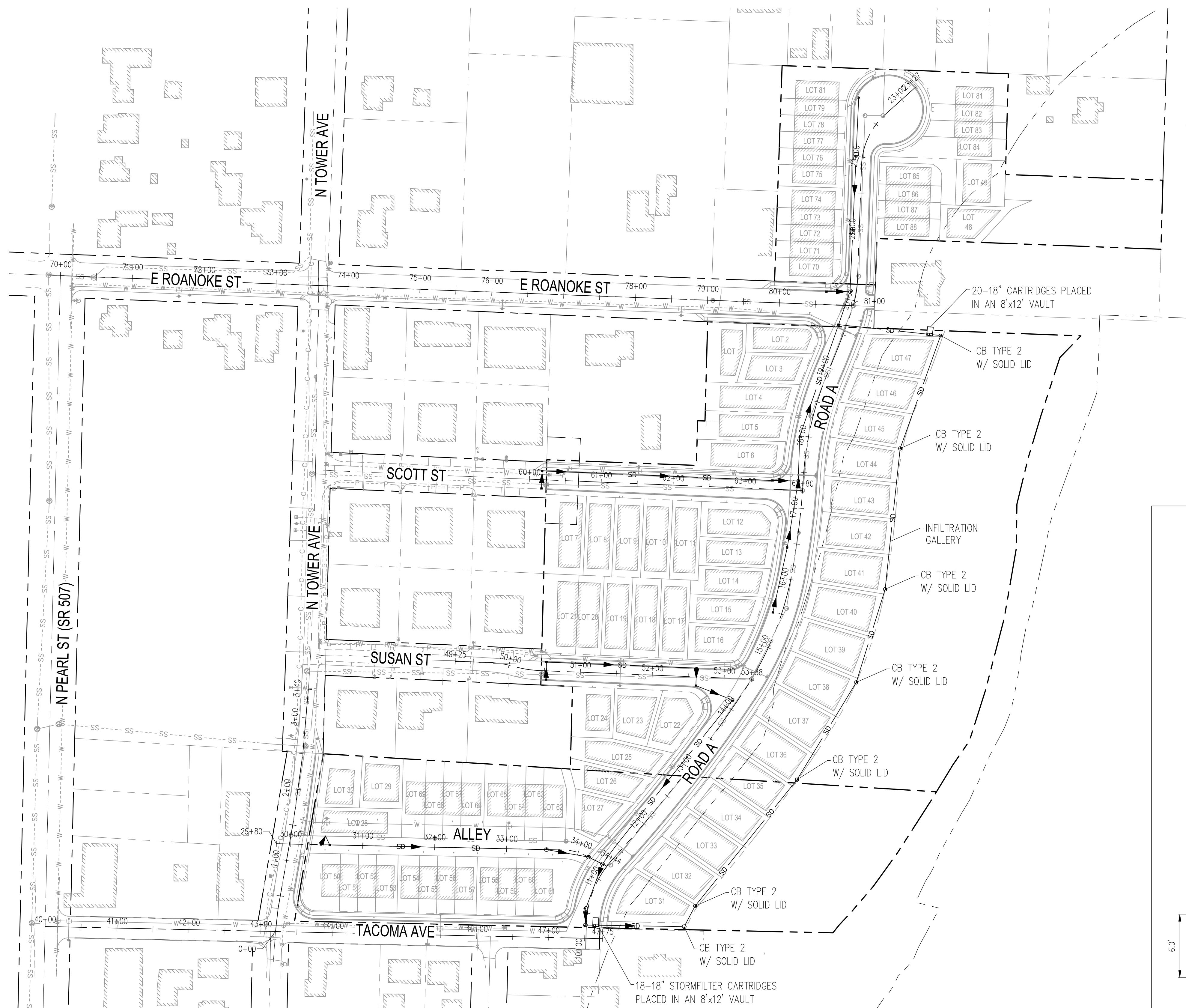
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P: 360.352.1065
SCJALLIANCE.COM

ROADWAY SECTIONS
ROADWAY SUBDIVISION
CENTRALIA, WA

SEAL:
EMILY A. LANESORT
PROFESSIONAL ENGINEER
STATE OF WASHINGTON
REGISTRATION NO. 23005599
02/21/2025

DESIGNER:
E. MARTINEZ
DRAWN BY:
K. GANS
APPROVED BY:
E. SORTEVIK
DATE:
FEBRUARY 2025
JOB NO:
23-000127
DRAWING FILE NO:
23-000127 PP-02
DRAWING NO:
PP-02
SHEET NO:
4 OF 5

SEC. 33, T 15 N., R 2 W., W.M.



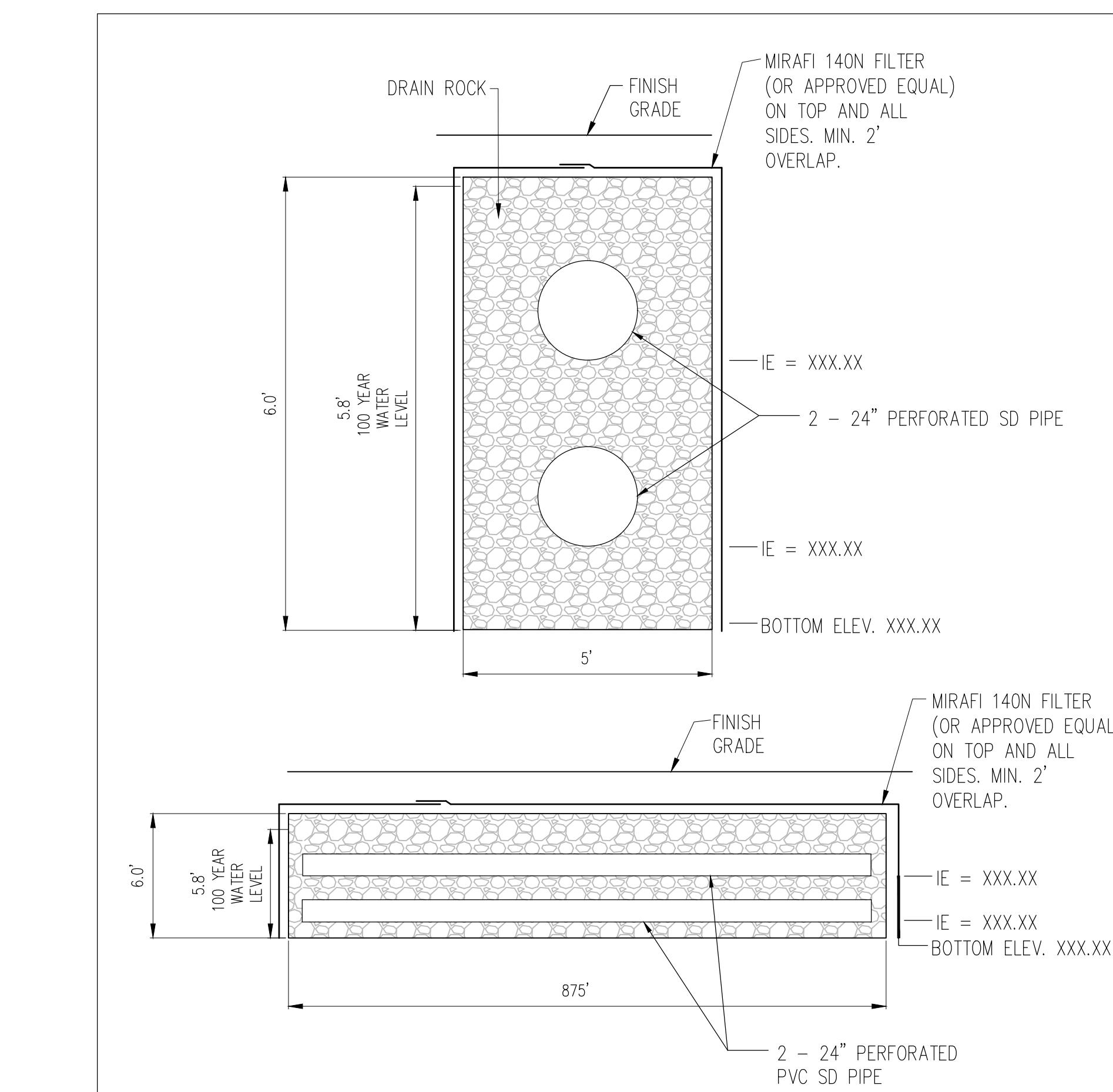
0 80 160
SCALE IN FEET

LEGEND

- SD → 12" STORM PIPE, SDR35 PVC
- CATCH BASIN TYPE 1, SEE SD-09
- CATCH BASIN TYPE 2, SEE SD-09
- INFILTRATION GALLERY

GENERAL NOTES:

1. ALL CATCH BASINS ARE STATIONED TO THE CENTER OF STRUCTURE
2. ALL SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED (FLOWLINE)
3. CONTRACTORS SHALL ENSURE THAT THERE IS POSITIVE DRAINAGE AWAY FROM THE BUILDING AT ALL TIMES.



INFILTRATION GALLERY
NTS

MASTER STORM DRAINAGE PLAN
PROJECT NAME: ROANOKE SUBDIVISION
CENTRALIA, WA

SEAL: STATE OF WASHINGTON
PROFESSIONAL ENGINEER
EMILY A. LANESORT
REGISTRATION NO. 23005599
02/21/2025

DESIGNER: E. MARTINEZ

DRAWN BY: K. GANS

APPROVED BY: E. SORTEVIK

DATE: FEBRUARY 2025

JOB NO: 23-000127

DRAWING FILE NO: 23-000127 SD-01

DRAWING NO: SD-01

SHEET NO: 5 OF 5

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P: 360.352.1065
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SITE PLAN REVIEW COMMITTEE (SPRC) Pre-Application Conference Request

MEETING DATE: Every Monday (except holidays and subject to submittals)

TIME: Meetings begin at 10:00 am and are approximately 30 minutes long. All meetings are scheduled on a first-come basis.

MEETING LOCATION: Centralia Public Works Office (City Light), 1100 N. Tower, Centralia

Parcel Number(s): 021589005000

Site Address: 1426 S SCHEUBER RD

Applicant/Agent: Nick Taylor

Phone: 360 890 8955

Email: ntaylor@irisgroupconsulting.com

Name/Type of Business (if applicable): Iris Group Civil Engineers

Brief Description of Proposal (attach separate sheet if needed):

Please see page 2.

- Description of Proposal (1 – digital or paper copy)
- Conceptual Site Plan showing existing and proposed uses/structures (1 – digital or paper copy)
- N/A Supporting documents including studies (1 – digital or paper copy)

SUBMITTAL REQUIREMENTS:

Submittal items must be received no later than 3 PM on the Wednesday preceding the next meeting date, in order to be added on the following weeks' agenda.

The purpose of the pre-application conference is to acquaint the applicant with the review procedures and applicable Centralia Municipal Code provisions to the proposal. A minimum of one meeting is required for all project permit applications related to the same project action.

The SPRC Pre-Application Conference is available to applicants for projects requiring a land use review or if you have utility or other questions about a specific property. The meeting will include representatives from engineering, public works, water, waste-water, electric, stormwater, planning, and building.

Subject: Description of Proposal

The project proposes to a phased division of the subject tax parcel into approximately 40 single-family residential lots and multiple open space and stormwater tracts.

The project will likely be completed in phases. Phase 1 will likely be a short plat to create two or three separate parcels. The first parcel would include the area shown for Lots 1-10 on the accompanying conceptual site plan. This area will likely be sold and would be further developed into Lots 1-10 by others. The second parcel would include Lots 11-35, which would be platted after the short plat. The third parcel would include the areas for Lots 36-40. It is possible that Lots 11-35 and Lots 36-40 will be platted at the same time.

Water: City water with an offsite extension to the site.

Sewer: City sewer with an offsite extension to the site.

Stormwater: Full or partial onsite infiltration with a potential need for offsite discharge to the ditch.

Roads: All proposed roads are private roads.

CONCEPTUAL PARCEL MAP

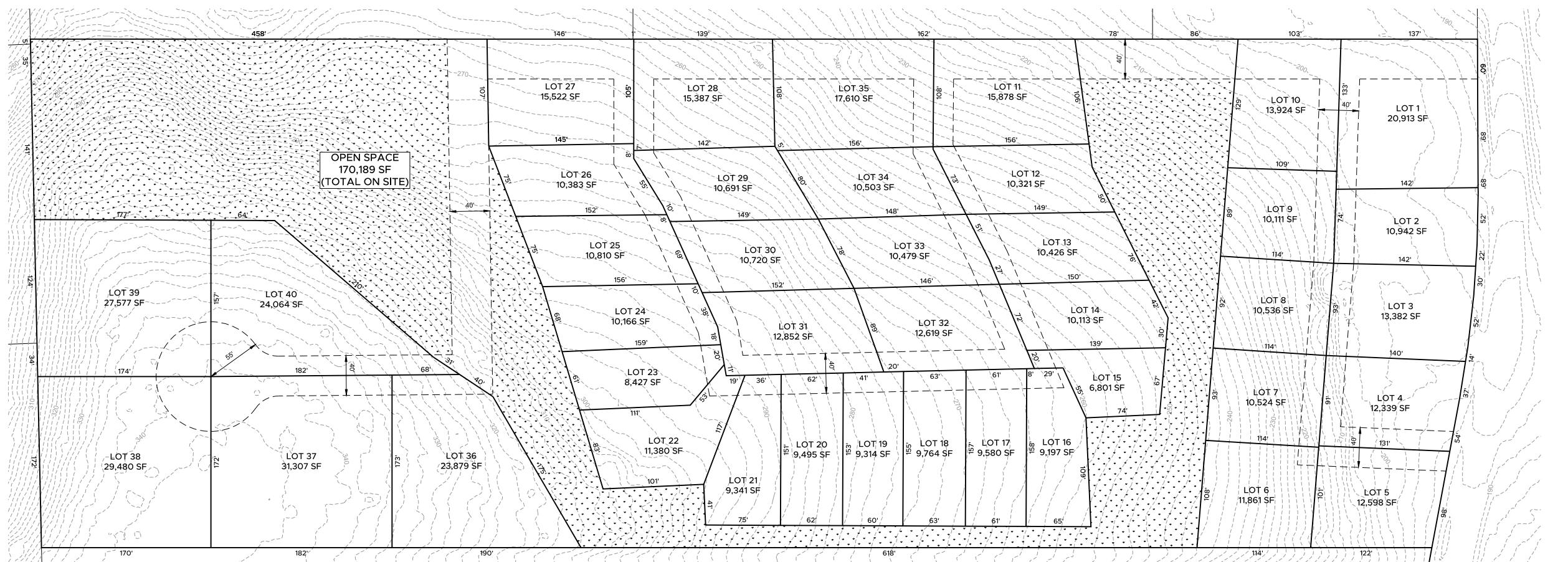
PROJ. NO.:	JW401
REVIEWED BY:	NDT
DESIGNED BY:	NDT
DRAWN BY:	RCB
DATE:	02-05-2025

Know what's BELOW
Call 811 before you dig.



C1

1 of 1



GENERAL SITE NOTES:

1. THE CONTRACTOR SHALL OBTAIN AND HAVE AVAILABLE COPIES OF THE APPLICABLE GOVERNING AGENCY STANDARDS AT THE JOB SITE DURING THE RELATED CONSTRUCTION OPERATIONS.
2. CONTRACTOR SHALL ENSURE THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. UTILITIES OTHER THAN THOSE SHOWN MAY EXIST ON THIS SITE. ONLY THOSE UTILITIES WITH EVIDENCE OF THEIR INSTALLATION VISIBLE AT GROUND SURFACE OR SHOWN ON RECORD DRAWING PROVIDED BY OTHERS ARE SHOWN HEREON. EXISTING UNDERGROUND UTILITIES LOCATIONS SHOWN ARE APPROXIMATE ONLY AND ARE SUBJECT TO A DEGREE OF UNKNOWN VARIATION. SOME UNDERGROUND LOCATIONS SHOWN HEREON MAY HAVE BEEN TAKEN FROM PUBLIC RECORDS. BARGHAUSEN CONSULTING ENGINEERS, INC. ASSUMES NO LIABILITY FOR THE ACCURACY OF PUBLIC RECORDS OR RECORDS OF OTHERS. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. THEREAFTER, THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH LOCAL REGULATIONS AND CODES.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE APPROPRIATE UTILITIES INVOLVED PRIOR TO CONSTRUCTION.
6. INSPECTION OF SITE WORK WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE GOVERNING JURISDICTION. INSPECTION OF PRIVATE FACILITIES WILL BE ACCOMPLISHED BY A REPRESENTATIVE OF THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE INSPECTOR 24 HOURS IN ADVANCE OF BACKFILLING ALL CONSTRUCTION.
7. PRIOR TO ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY THE CONTRACTOR SHALL CONTACT THE AGENCY AND/OR UTILITY INSPECTION PERSONNEL AND ARRANGE ANY REQUIRED PRE-CONSTRUCTION MEETING(S). CONTRACTOR SHALL PROVIDE ONE WEEK MINIMUM ADVANCE NOTIFICATION TO OWNER, FIELD ENGINEER AND ENGINEER OF PRE-CONSTRUCTION MEETINGS.
8. THE CONTRACTOR IS RESPONSIBLE FOR WORKER AND SITE SAFETY AND SHALL COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK RELEASING BY THE CONTRACTOR, ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED.
10. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ALL ADJACENT PUBLIC AND PRIVATE PROPERTIES AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF ALL EXISTING UTILITY SERVICES THAT ARE TO REMAIN OPERATIONAL WITHIN THE CONSTRUCTION AREA WHETHER SHOWN OR NOT SHOWN ON THE PLANS.
11. TWO (2) COPIES OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. ONE (1) SET WITH RECORDS OF AS-BUILT INFORMATION SHALL BE SUBMITTED TO BARGHAUSEN CONSULTING ENGINEERS, INC. AND CITY OF CENTRALIA AT COMPLETION OF PROJECT.
12. CONTRACTOR SHALL OBTAIN SERVICES OF A LICENSED LAND SURVEYOR TO STAKE HORIZONTAL CONTROL FOR ALL NEW IMPROVEMENTS. STAKING CONTROL SHALL BE TAKEN FROM ELECTRONIC PLAN FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC.
13. CONTRACTOR SHALL REQUEST FROM BARGHAUSEN CONSULTING ENGINEERS, INC., PRIOR TO ANY CONSTRUCTION, A STAKEOUT FOR FUTURE CONSTRUCTION RELEASE PLAN SET OR SPECIFIC RELEASES IN WRITING. APPROVED AGENCY PERMIT DRAWINGS WILL NOT BE CONSIDERED CONSTRUCTION RELEASE PLANS BY BARGHAUSEN CONSULTING ENGINEERS, INC. UNLESS BARGHAUSEN CONSULTING ENGINEERS, INC. HAS GIVEN A FORMAL WRITTEN RELEASE OR ISSUED A CONSTRUCTION RELEASE PLAN SET.

DEVELOPER LOGISTICS PROPERTY CO.
1100 BELLEVUE WAY NE
SUITE 8A - NO. 238
BELLEVUE, WA 98004
PHONE: 425-419-6887
CONTACT: JOE SANDHU

ARCHITECT NELSON
1201 3RD AVENUE
SUITE 2200
SEATTLE, WA 98101
PHONE: 206-405-8634
CONTACT: JOSE CORTEZ

ENGINEER/ SURVEYOR BARGHAUSEN CONSULTING, LLC
18215 72ND AVENUE SOUTH
KENT, WA 98032
PHONE: (425) 251-6222
CONTACT: DAN BALLEMI, PE
RYAN LEE, PLS

GEOTECHNICAL ENGINEER GEORESOURCES, LLC
4809 PACIFIC HWY E.
FIFE, WA 98424
PHONE: (253) 869-1011
CONTACT: SETH MATTOS

CALL BEFORE YOU DIG

ALL DEVELOPERS/CONTRACTORS ARE RESPONSIBLE FOR TIMELY NOTIFICATION OF UTILITIES IN ADVANCE OF ANY CONSTRUCTION IN RIGHT-OF-WAY OR UTILITY EASEMENTS. THE UTILITIES "ONE-CALL" UNDERGROUND LOCATION CENTER PHONE NUMBER IS 1-800-424-5555. A MINIMUM OF 48 HOURS ADVANCE NOTICE IS REQUIRED.

LEGEND

EXISTING:	PROPOSED:	EXISTING:	PROPOSED:
POWER VAULT		WATER LINE	W
LUMINAIRE (LUM.)		SANITARY SEWER LINE	→
POWER METER		STORM DRAINAGE LINE	→
POWER POLE		GAS LINE	
JUNCTION BOX (AS NOTED)		TELEPHONE (OH) OR (UG)	
CATCH BASIN (CB)		POWER (OH) OR (UG)	
STORM MANHOLE (SDMH)		CHAIN LINK FENCE	
SANITARY SEWER MANHOLE (SSMH)		WOOD FENCE	
CLEANOUT (AS NOTED)		HOGWIRE FENCE	
GAS METER		BUILDING LINE	
GAS VALVE		CONTOUR (MAJOR)	100
WATER VALVE (WV)		CONTOUR (MINOR)	100
FIRE HYDRANT (FH)		PROJECT BOUNDARY LINE	
FIRE DEPARTMENT CONNECTION (FDC)		SECTION LINE	
BLOW-OFF/AIR VAC		RIGHT-OF-WAY	
WATER METER		CENTERLINE	
SIGN		PROPOSED LOT LINE	
IRRIGATION BOX		EASEMENT LINE	
WOOD PILE		SAWCUT	
BOULDER		CONCRETE	
DECIDUOUS TREE		SAND/GRAVEL (AS NOTED)	
CONIFEROUS TREE		PAVEMENT	
SURVEY MONUMENT (AS NOTED)			
FOUND REBAR/CAP (AS NOTED)			
BENCHMARK			
SECTION CORNER (AS NOTED)			
FOUND REBAR/CAP (AS NOTED)			
FOUND LEAD/TACK			

UTILITY CONFLICT NOTE:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DIMENSION, AND DEPTH OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT BY POTHOLING THE UTILITIES AND SURVEYING THE HORIZONTAL AND VERTICAL LOCATION PRIOR TO CONSTRUCTION. THIS SHALL INCLUDE CALLING UTILITY LOCATE AT 811 AND THEN POTHOLING ALL OF THE EXISTING UTILITIES AT LOCATIONS OF NEW UTILITY CROSSINGS TO PHYSICALLY VERIFY WHETHER OR NOT CONFLICTS EXIST. LOCATIONS OF SIGHT UTILITIES AS SHOWN ON THESE PLANS ARE NOT FOR CONSTRUCTION. PUBLIC INFORMATION AND ARE SUBJECT TO VARIATION. IF CONFLICTS SHOULD OCCUR, THE CONTRACTOR SHALL CONSULT BARGHAUSEN CONSULTING ENGINEERS, INC. TO RESOLVE ALL PROBLEMS PRIOR TO PROCEEDING WITH CONSTRUCTION.

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY, PURSUANT TO WAC 332-120. APPLICATIONS MUST BE COMPLETED BY A REGISTERED LAND SURVEYOR. APPLICATIONS FOR PERMITS TO REMOVE MONUMENTS MAY BE OBTAINED FROM THE WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES, OR BY CONTACTING THEIR OFFICE BY TELEPHONE AT (206) 902-1190.

WASHINGTON STATE DEPARTMENT OF NATURAL RESOURCES
PUBLIC LAND SURVEY OFFICE
1111 WASHINGTON STREET S.E.
P.O. BOX 47060
OLYMPIA, WASHINGTON 98504-7060

UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR, PURSUANT TO THESE REGULATIONS. THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

MONUMENT DEMOLITION NOTE:

CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR OBTAINING PERMITS FROM ANY JURISDICTIONS HAVING AUTHORITY FOR REMOVING AND REPLACING ALL SURVEY MONUMENTATION THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITY. UPON COMPLETION OF CONSTRUCTION, ALL MONUMENTS DISPLACED, REMOVED, OR DESTROYED SHALL BE REPLACED BY A REGISTERED LAND SURVEYOR, AT THE COST AND AT THE DIRECTION OF THE CONTRACTOR, PURSUANT TO THESE REGULATIONS. THE APPROPRIATE FORMS FOR REPLACEMENT OF SAID MONUMENTATION SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.

ESTIMATED EARTHWORK QUANTITIES

CUT - 55,000 CY

FILL - 53,000 CY

NET - 2,000 (CUT)

AREA TO BE DISTURBED - 33.76 AC

CONTRACTOR SHALL REFER TO THE GEOTECHNICAL REPORT DATED FEBRUARY 20, 2025 FOR THIS SITE PREPARED BY GEORESOURCES FOR GRADING RECOMMENDATIONS. EARTHWORK QUANTITIES ARE FOR PERMITTING PURPOSES ONLY AND SHALL NOT BE USED FOR BIDDING PURPOSES. CONTRACTOR SHALL PERFORM AN INDEPENDENT ANALYSIS FOR THE PURPOSES OF PREPARING THEIR BID.

CESCL
WILLIAM (BU) CARL
POE CONSTRUCTION, INC.
PO BOX 1838
AUBURN, WA 98071-1838
206-851-0647
BUJCAR@POECONSTRUCTION

5. THE SOILS ENGINEER SHOULD BE NOTIFIED AT LEAST FIVE (5) WORKING DAYS PRIOR TO ANY SITE CLEARING OR GRADING.

GEOTECHNICAL REPORT NOTES:

1. THE FOLLOWING GEOTECHNICAL REPORTS FOR THE SITE SHALL BE CONSIDERED PART OF THESE CONSTRUCTION DOCUMENTS:

SOILS REPORT: GEOTECHNICAL REPORT DATED FEBRUARY 20, 2025

PREPARED BY: GEORESOURCES

4809 PACIFIC HIGHWAY EAST
FIFE, WA 98424
PHONE: (253) 896-1011

2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL PROVISIONS OF THE SOILS REPORT FOR THE SITE BE OBSERVED AND COMPLIED WITH DURING ALL PHASES OF THE SITE PREPARATION, GRADING OPERATIONS, FOUNDATION, SLAB, AND PAVING CONSTRUCTION.

3. ANY PROVISIONS OF THE SOILS REPORT WHICH CONFLICT WITH INFORMATION SHOWN ELSEWHERE ON THESE DRAWINGS, OR WHICH REQUIRE FURTHER CLARIFICATION, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER FOR DETERMINATION.

4. A REPRESENTATIVE OF THE SOILS ENGINEER SHALL BE AVAILABLE TO OBSERVE AND APPROVE THE EARTHWORK OPERATIONS AND TO VERIFY FIRM CONDITIONS AS WORK PROCEEDS. THE SOILS ENGINEER SHALL SUBMIT FIELD REPORTS CERTIFYING THAT THE METHODS AND MATERIALS OF THE EARTHWORK OPERATIONS WERE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE SOILS INVESTIGATION AND THAT THE WORK WAS PERFORMED TO HIS/HER SATISFACTION.

5. THE SOILS ENGINEER SHOULD BE NOTIFIED AT LEAST FIVE (5) WORKING DAYS PRIOR TO ANY SITE CLEARING OR GRADING.

HORIZONTAL CONTROL NOTE:

CONTRACTOR SHALL HAVE ALL PROPERTY LINES AND CIVIL IMPROVEMENTS DEPICTED ON THESE PLANS STAKED FOR CONSTRUCTION BY A LICENSED SURVEYOR. LICENSED SURVEYOR SHALL STAKE ALL ITEMS USING COORDINATE GEOMETRY (RECTIFIED TO SITE CONTROL) CONTAINED IN CAD DRAWING FILES PROVIDED BY BARGHAUSEN CONSULTING ENGINEERS, INC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO RETRIEVE LATEST CAD FILES FROM BARGHAUSEN CONSULTING ENGINEERS, INC. REFLECTING ANY ISSUED PLAN REVISIONS. BARGHAUSEN CONSULTING ENGINEERS SHALL IMMEDIATELY BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE START OF CONSTRUCTION.

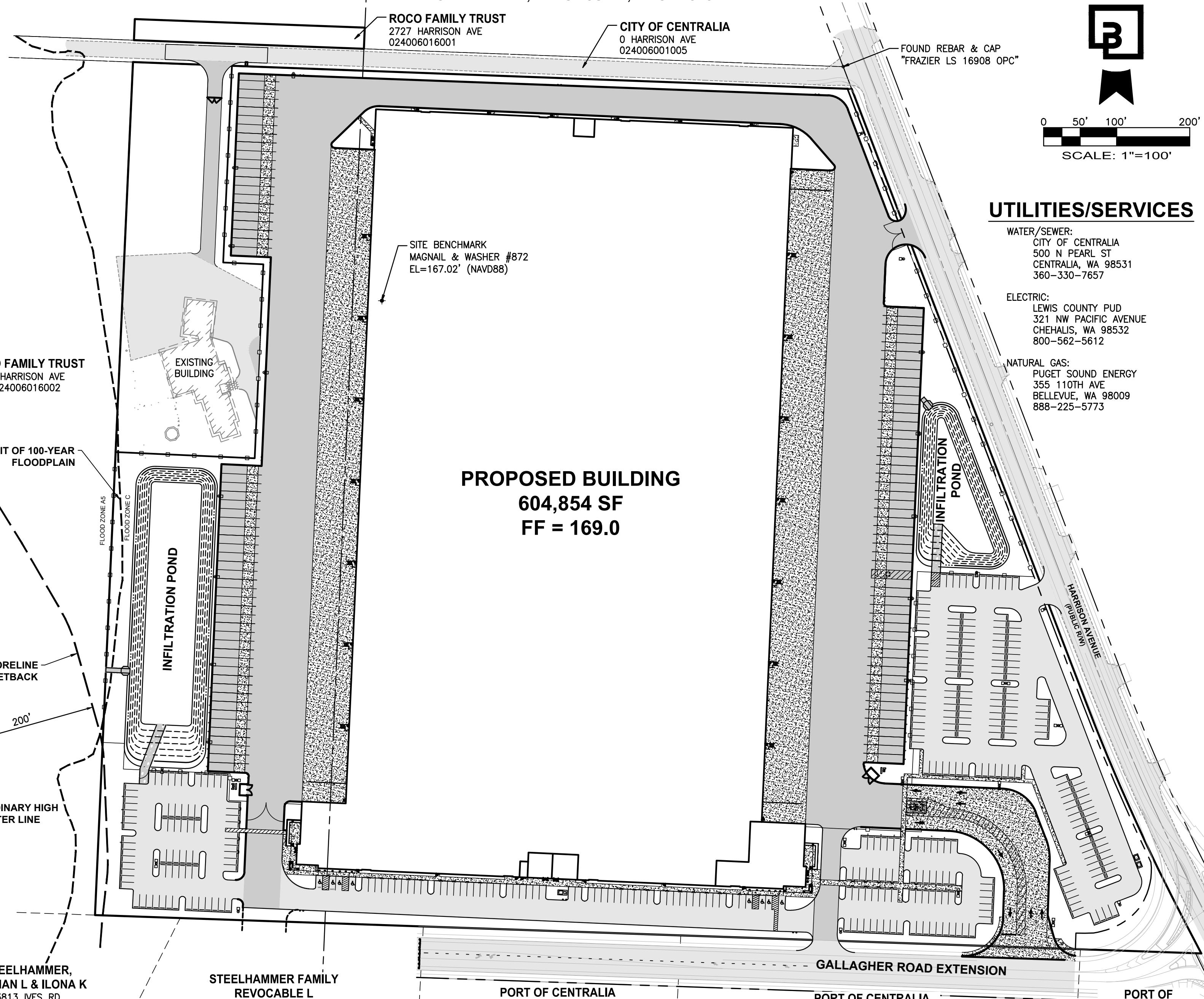
ROUGH GRADING, FILL, AND TESC COVER SHEET

FORDS PRAIRIE INDUSTRIAL PARK BUILDING 1

PORTION OF THE NE 1/4 & NW 1/4 OF SECTION 36, TOWNSHIP 15 N., RANGE 03 W., W.M.
CITY OF CENTRALIA, LEWIS COUNTY, WASHINGTON

APPROVED FOR CONSTRUCTION

CITY ENGINEER DATE
"PLAN APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE OF APPROVAL"

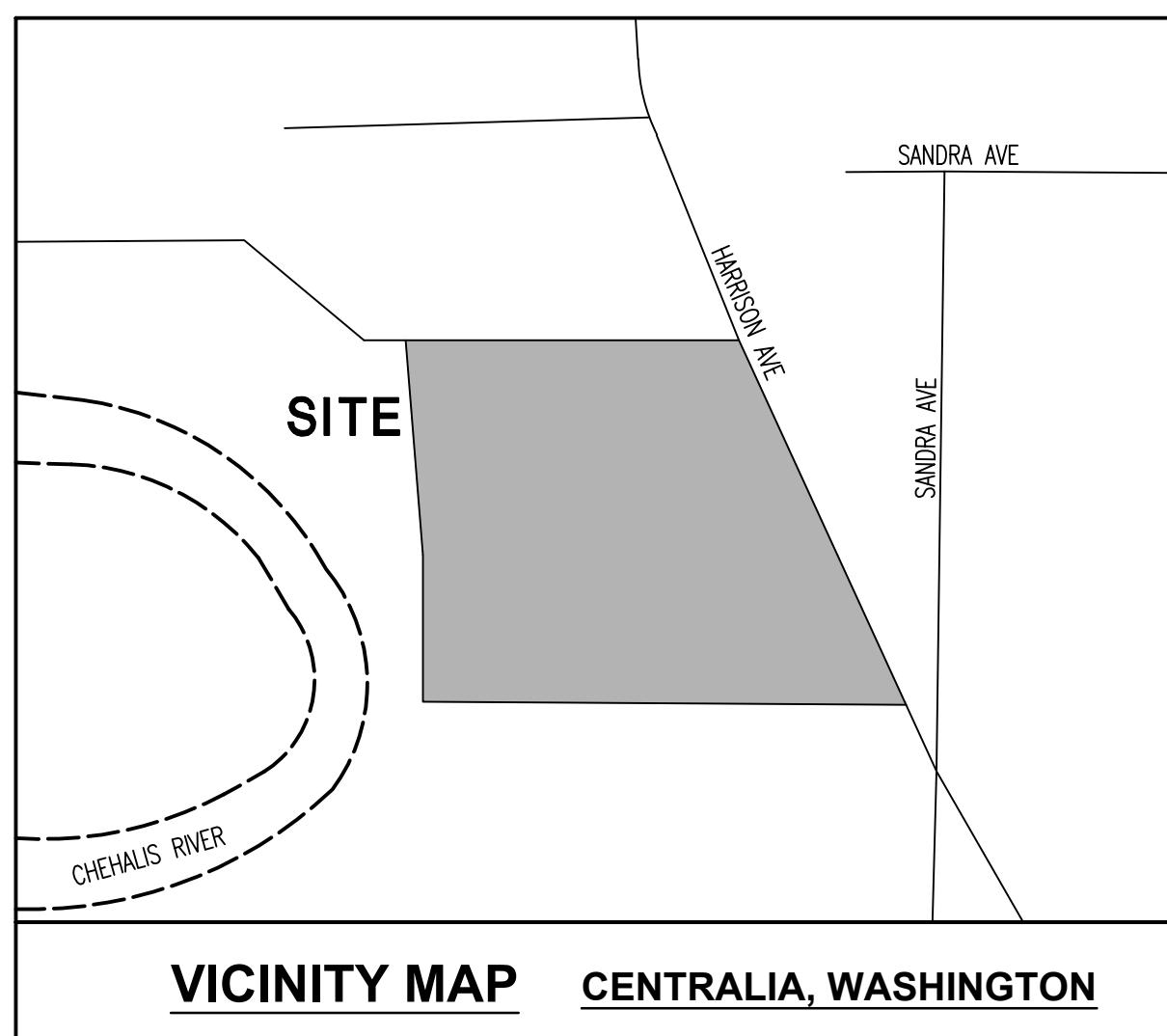


UTILITIES/SERVICES

WATER/SEWER: CITY OF CENTRALIA 500 N PEARL ST CENTRALIA, WA 98531 360-330-7657

ELECTRIC: LEWIS COUNTY PUD 321 NW PACIFIC AVENUE CHEHALIS, WA 98532 800-562-5612

NATURAL GAS: PUGET SOUND ENERGY 355 110TH AVE BELLEVUE, WA 98009 888-225-5773



SURVEY INFORMATION

HORIZONTAL DATUM: NAD 83/11
PER WSDOT PUBLISHED MONUMENTS. WSDOT CONTROL POINT "GP21005-61" WAS HELD FOR POSITION, AND A LINE BETWEEN SAID POINT "GP21005-61" AND CONTROL POINT "GP34005-49" WAS HELD FOR ROTATION, BEING NORTH 1138'34" EAST.

VERTICAL DATUM: NAVD88
VERTICAL CONTROL PUBLISHED BY WSDOT, POINT "GP21005-61" WAS HELD FOR ELEVATION.
BENCHMARK ELEVATION = 164.16 USFT

TOPOGRAPHIC INFORMATION: ELEMENTS AND FEATURES DEPICTED HEREON SATISFY THE REQUIREMENTS ESTABLISHED BY W.A.C. 332-130-145 FOR TOPOGRAPHIC ELEMENTS ON MAPS, INCLUDING THE FOLLOWING STATEMENTS:

- THE BASIS OF ELEVATIONS FOR THIS MAP IS NAVD 88, PER WSDOT.
- BENCHMARK UTILIZED: WSDOT CONTROL POINT "GP21005-61".
- BENCHMARK ELEVATION: 164.16 FEET (NAVD 88).
- METHOD OF MEASUREMENT: DIFFERENTIAL GPS UTILIZING WASHINGTON STATE NETWORK (WSRN).
- THE PURPOSE OR INTENDED USE OF THE TOPOGRAPHIC ELEMENTS SHOWN HEREON IS: CIVIL DESIGN.
- THE SOURCE OF THE CONTOURS SHOWN HEREON: DIRECT FIELD OBSERVATIONS.
- PROJECT BENCHMARK(S) ESTABLISHED: SET MAGNAIL & WASHER #872 ON THE NORTH SIDE OF THE DRIVEWAY WITH AN OBSERVED ELEVATION OF 167.02 FEET (NAVD 88).
- THE ELEVATIONS AND CONTOUR ACCURACY IS: PER NATIONAL MAPPING STANDARDS, ONE-HALF THE CONTOUR INTERVAL (2')
- LIMITATION OF USE: NONE.
- SOURCE OF BOUNDARY INFORMATION: BARGHAUSEN CONSULTING ENGINEERS, INC BOUNDARY SURVEY.
- SOURCE OF UTILITY LOCATION: PRIVATE UTILITY LOCATOR SURFACE MARKINGS SUPPLEMENTED WITH CITY PROVIDED ASBUILT INFORMATION.
- ACCURACY OF UTILITY DEPICTION: LOCATIONS OF UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON FIELD MEASUREMENTS.

UTILITY SCOPE OF WORK AS AGREED WITH PROJECT OWNER: MAP ABOVE GROUND VISIBLE UTILITIES UTILIZING DIRECT FIELD OBSERVATIONS, MAP LOCATIONS OF PRIVATE UTILITY LOCATOR PAINT MARKS, GIS AND ASBUILT INFORMATION WILL BE UTILIZED TO VERIFY OBSERVED INFORMATION AND SUPPLEMENT IF NECESSARY.

BOUNDARY NARRATIVE: THIS SURVEY IS A RETRACEMENT OF TRACT 1 OF THE SURVEY RECORDED UNDER AFN. 3327963. FOUND CONTROL FOR THIS SURVEY AGREES WITH SAID SURVEY UNLESS OTHERWISE NOTED.

REFERENCE SURVEYS:

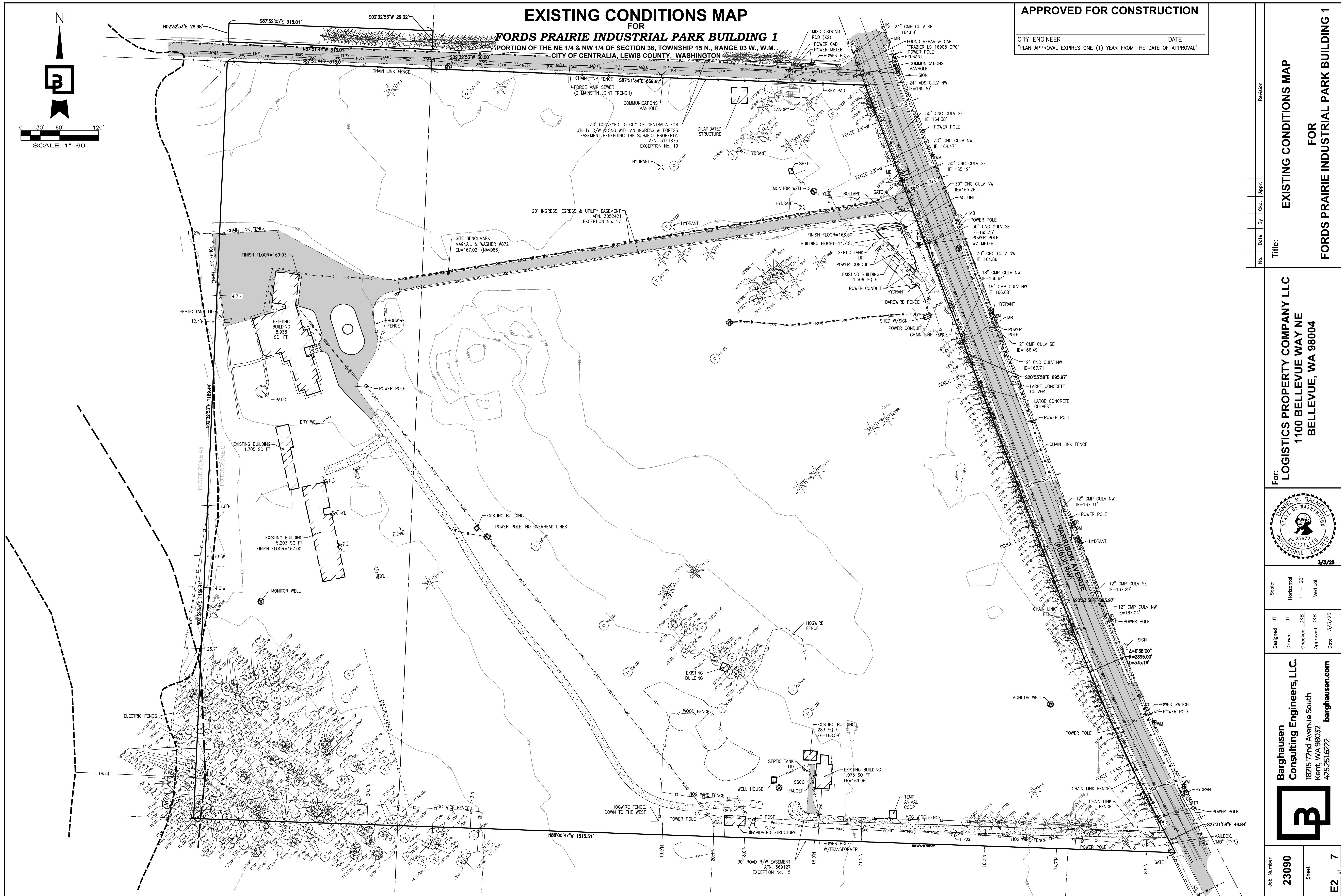
1. RECORD OF SURVEY - AFN. 8801112
2. RECORD OF SURVEY - AFN. 3161254
3. RECORD OF SURVEY - AFN. 3327963
4. RECORD OF SURVEY - AFN. 3338459

TAX PARCEL NUMBER / ADDRESS / LOT AREA: 024006016003 / 2717 HARRISON AVENUE / 1,353,560 ± S.F. (31.07 ± ACRES)

DATE OF SURVEY: THIS SURVEY REPRESENTS VISIBLE PHYSICAL IMPROVEMENTS AND SITE CONDITIONS EXISTING ON JUNE 28, 2024 & JULY 26, 2024. ALL SURVEY CONTROL INDICATED AS "FOUND" WAS RECOVERED FOR THIS PROJECT IN MAY AND JUNE OF 2024.

FLOOD INFORMATION: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) INFORMATION: FLOOD INSURANCE RATE MAP (FIRM) NO. 53010200418 PANEL 41 OF 800, DATED DECEMBER 15, 1981. THE SUBJECT PROPERTY IS IN ZONE C (NO SHADING), AREA OF MINIMAL FLOODING.

TITLE COMMITMENT: ALL TITLE INFORMATION SHOWN ON THIS MAP, INCLUDING APPURTENANT EASEMENTS AND ADJOINING DEEDS FOR UNPLANTED LOTS, IF ANY, HAS BEEN EXTRACTED FROM AMTRUST TITLE INSURANCE COMPANY



TESC NOTES AND DETAILS
FOR
FORDS PRAIRIE INDUSTRIAL PARK BUILDING 1
PORTION OF THE NE 1/4 & NW 1/4 OF SECTION 36, TOWNSHIP 15 N., RANGE 03 W., W.M.
CITY OF CENTRALIA, LEWIS COUNTY, WASHINGTON

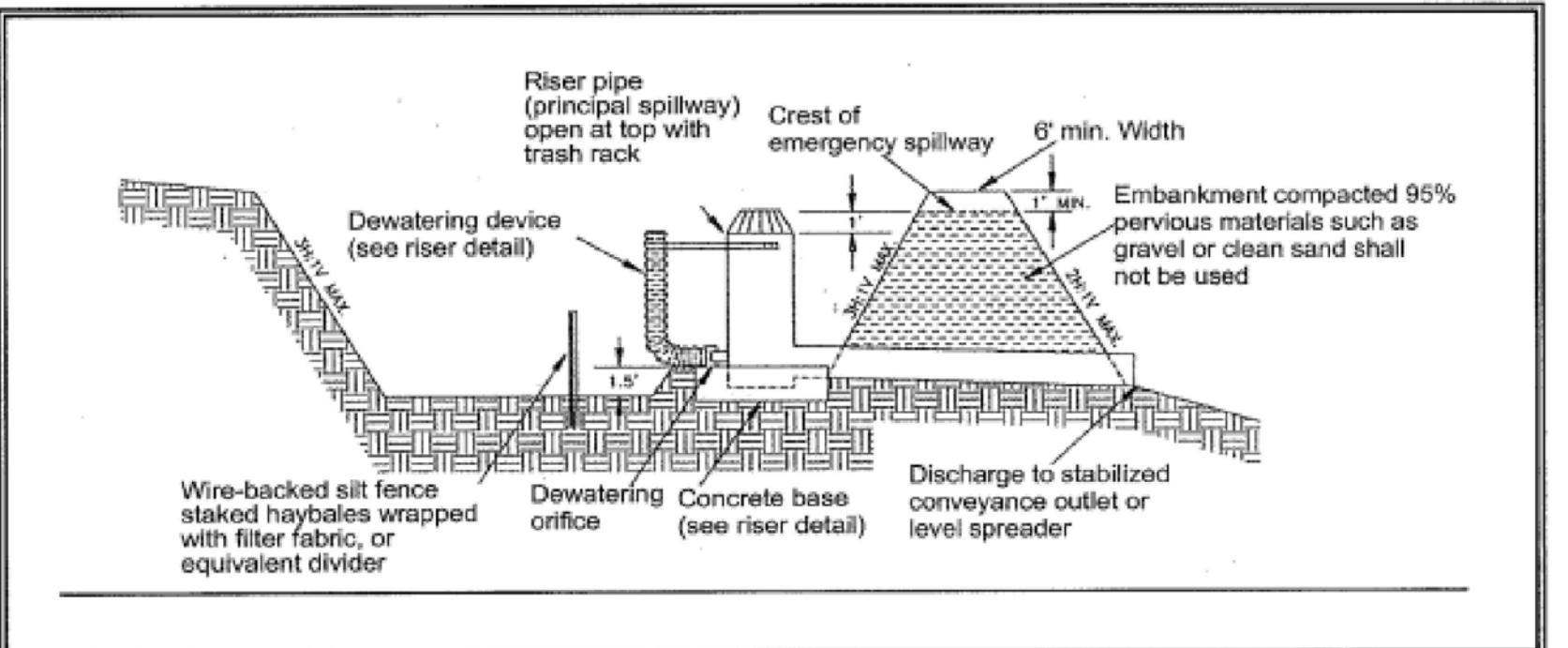
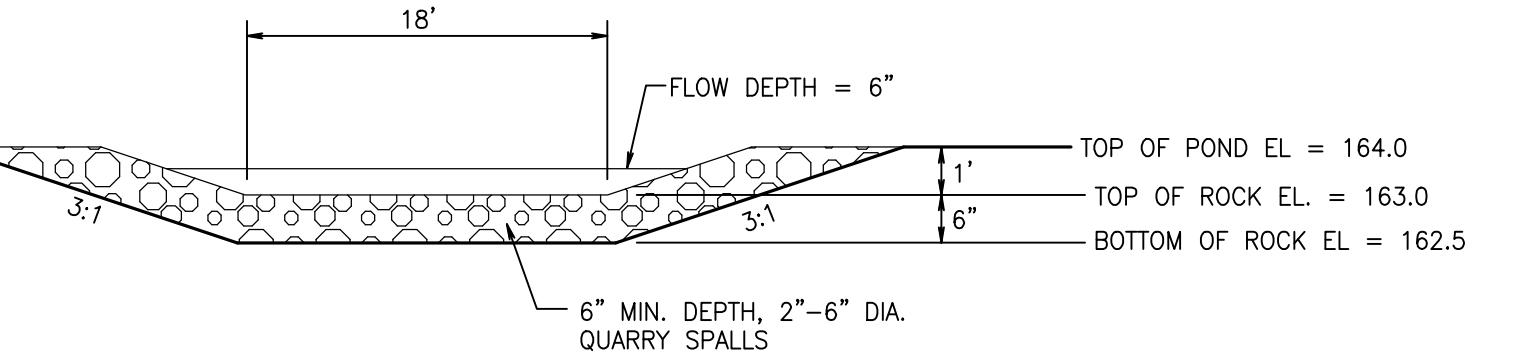
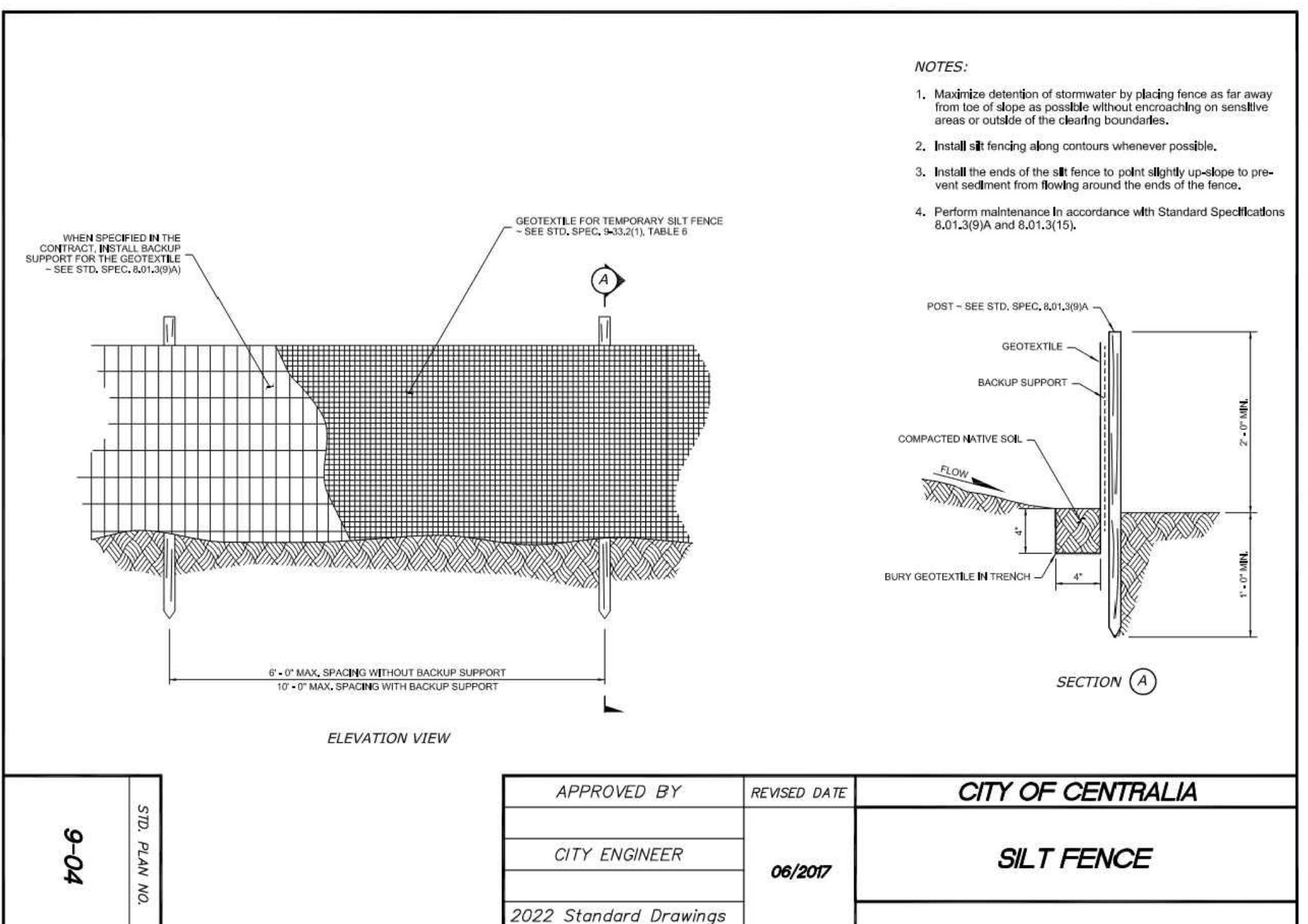


Figure 4.2.19 – Sediment Pond Cross Section



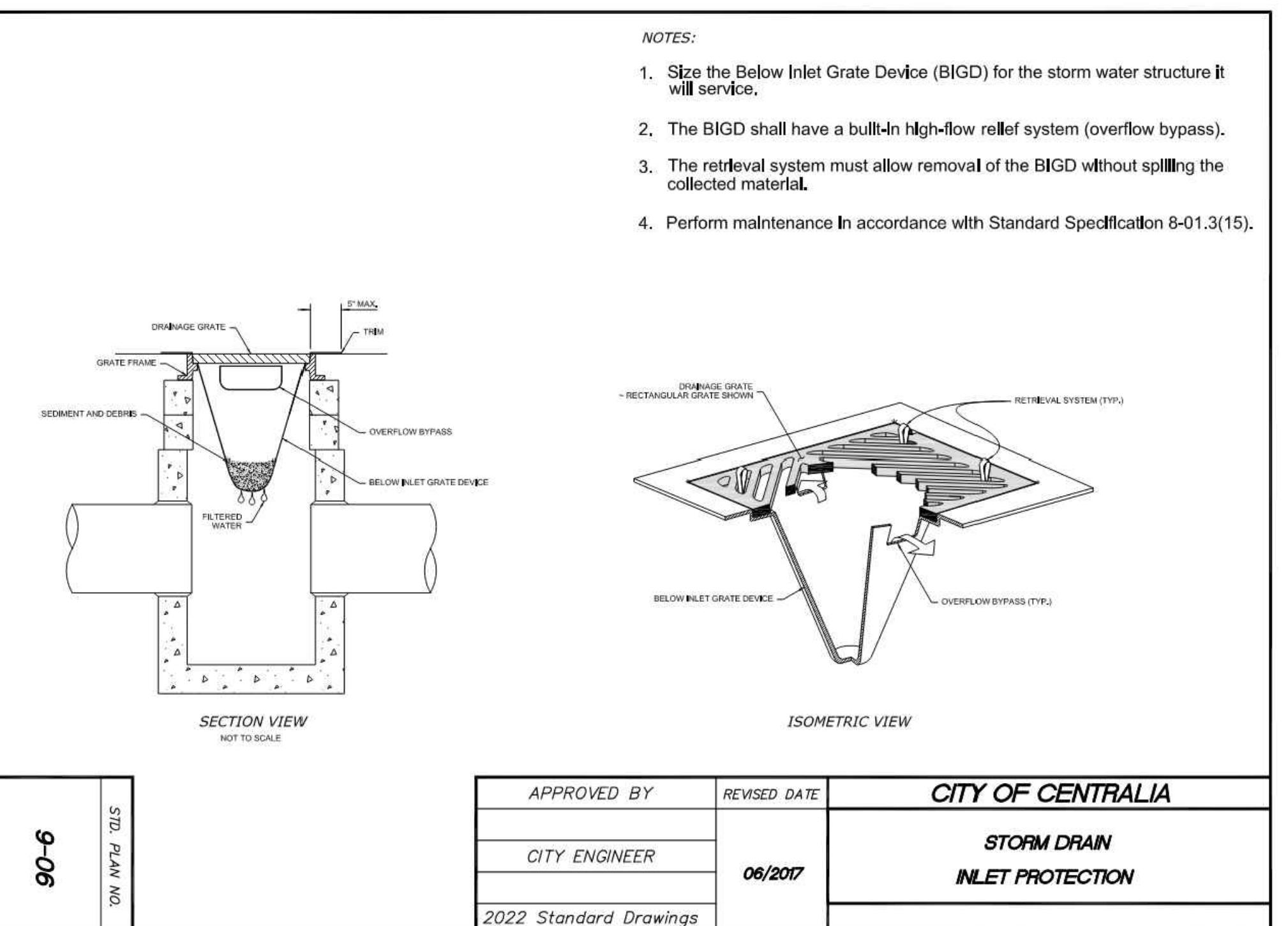
OVERFLOW SPILLWAY DETAIL

NOT TO SCALE



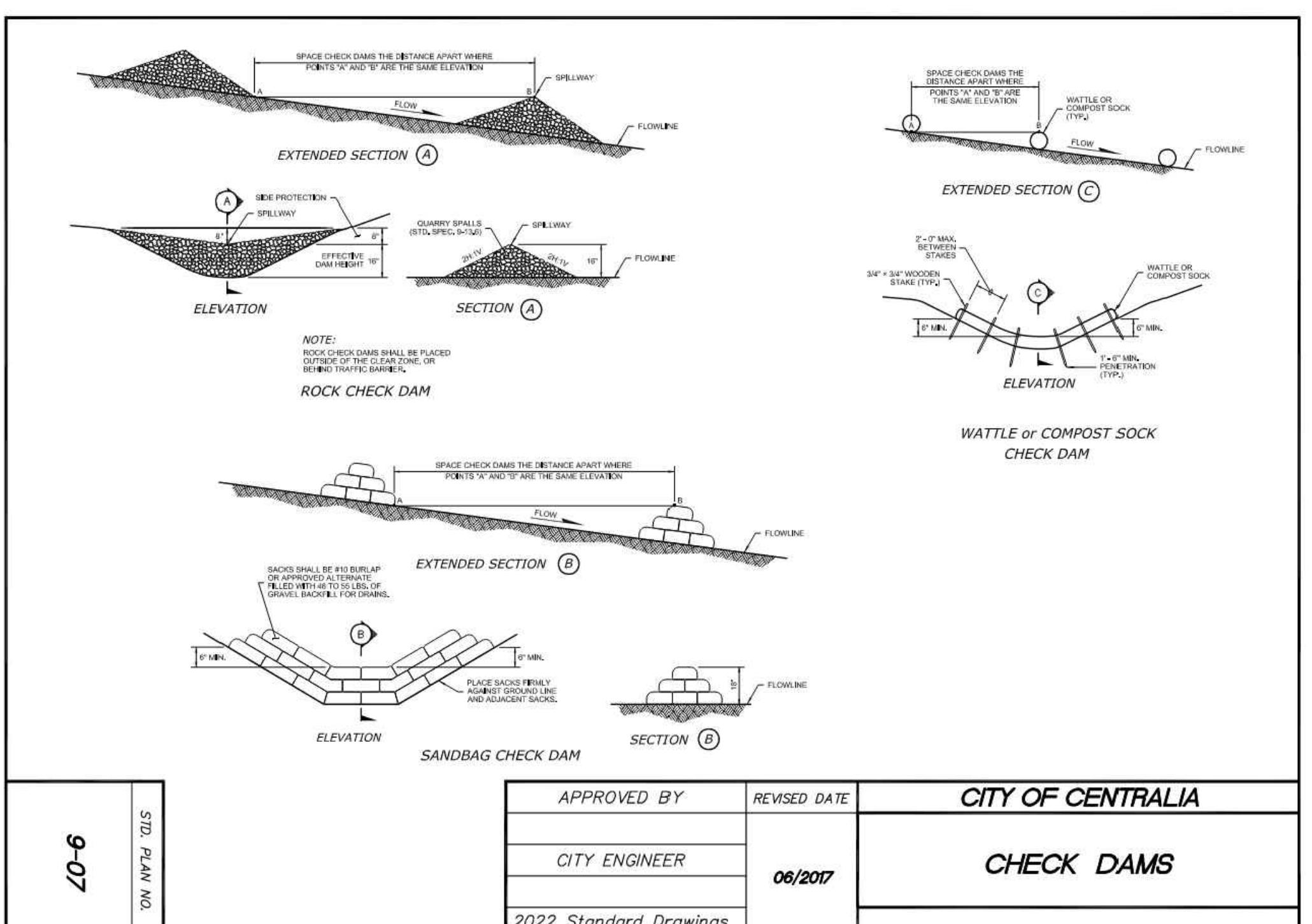
APPROVED BY	REVISED DATE	CITY OF CENTRALIA
CITY ENGINEER	06/2017	
2022 Standard Drawings		

9-04
STD. PLAN NO.



APPROVED BY	REVISED DATE	CITY OF CENTRALIA
CITY ENGINEER	06/2017	
2022 Standard Drawings		

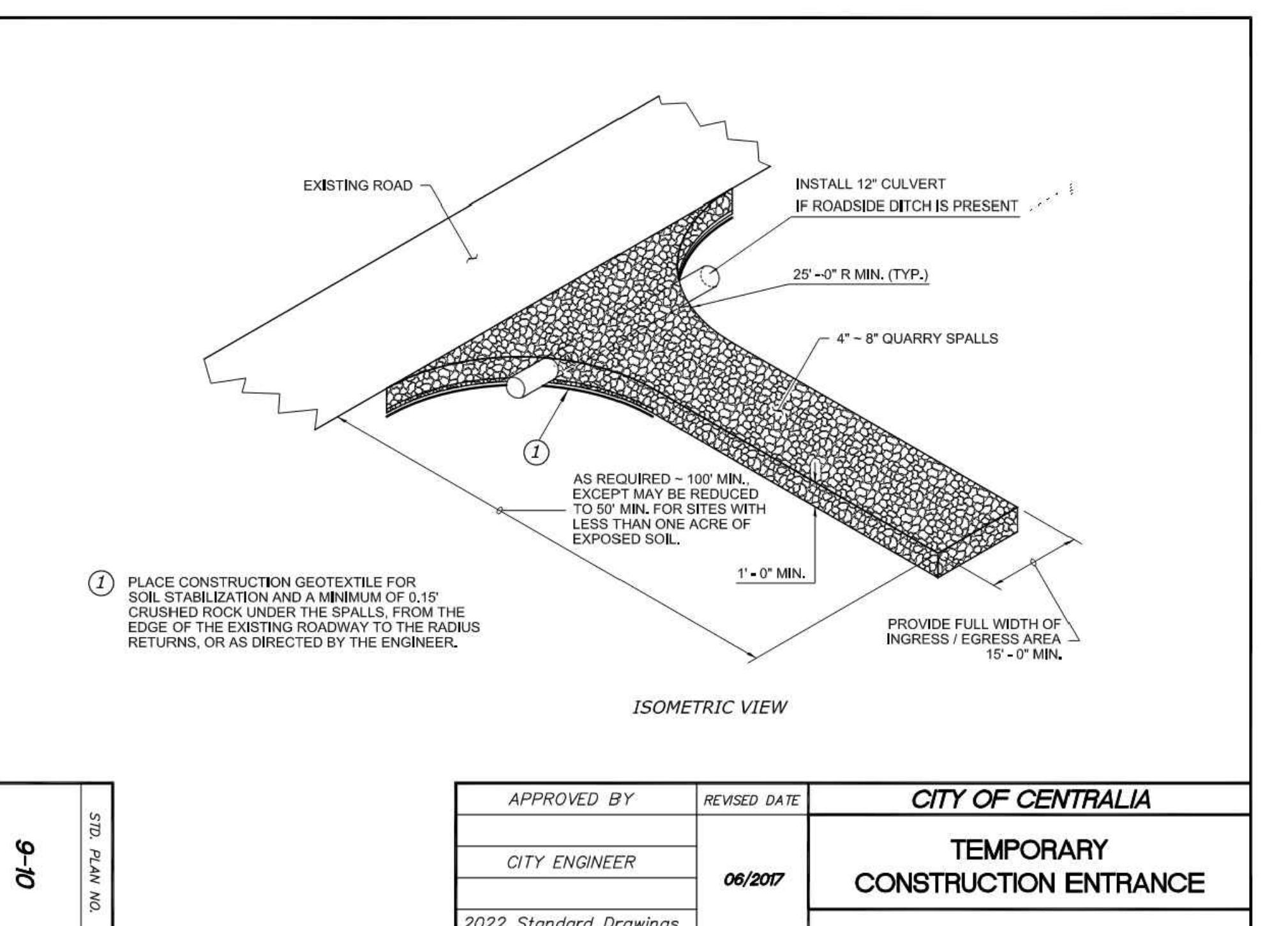
90-6
STD. PLAN NO.



APPROVED BY	REVISED DATE	CITY OF CENTRALIA
CITY ENGINEER	06/2017	
2022 Standard Drawings		

APPROVED BY	REVISED DATE	CITY OF CENTRALIA
CITY ENGINEER	06/2017	
2022 Standard Drawings		

41-6
STD. PLAN NO.



APPROVED FOR CONSTRUCTION		
CITY ENGINEER	DATE	"PLAN APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE OF APPROVAL"

Revision

TESC NOTES AND DETAILS
FOR
FORDS PRAIRIE INDUSTRIAL PARK BUILDING 1

Title:

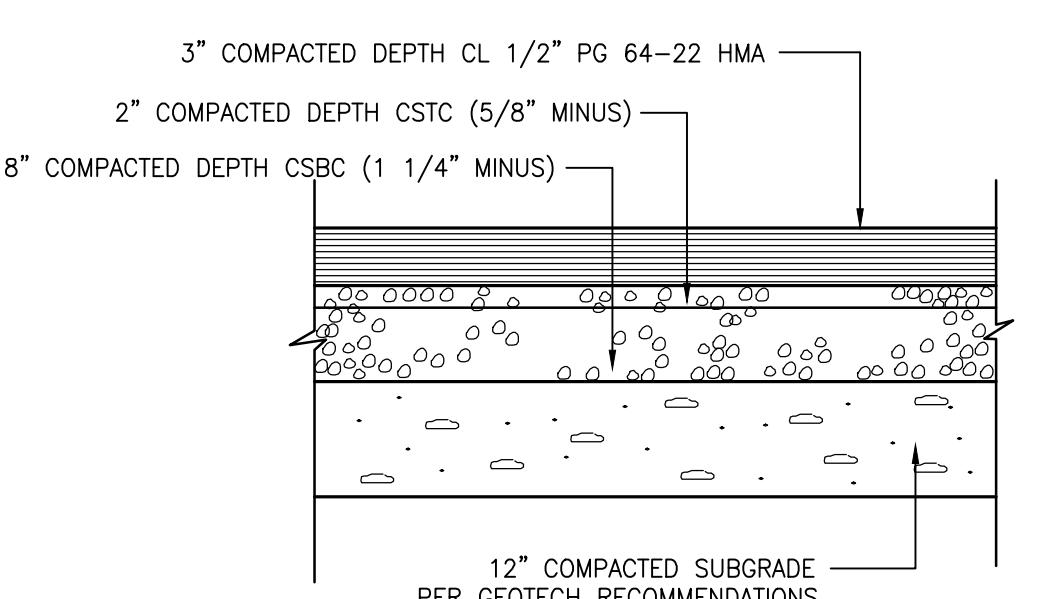
FORDS PRAIRIE INDUSTRIAL PARK BUILDING 1

No.	Date	By	Ckd.	Apv.



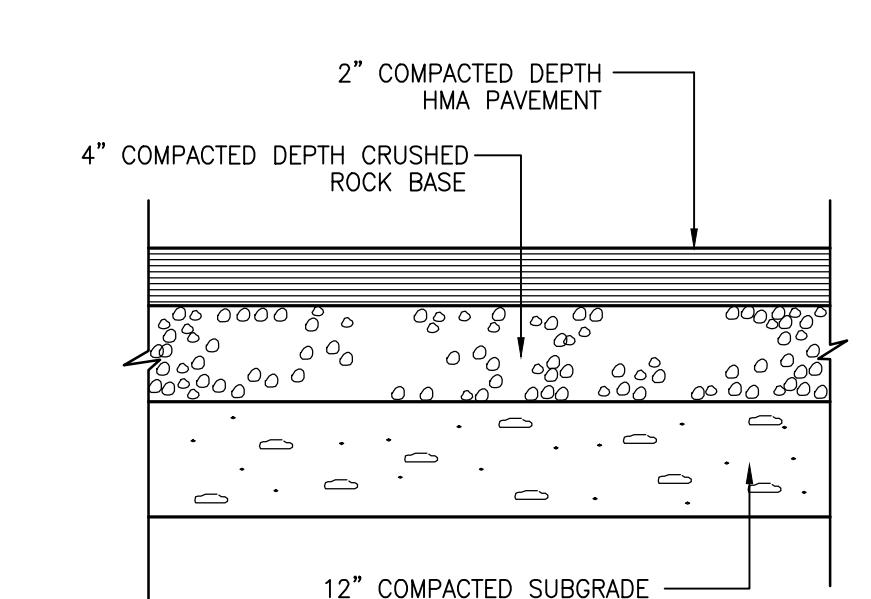
3/3/23

NOTE:
SEE GEOTECHNICAL REPORT PREPARED BY
GEORESOURCES DATED JANUARY 20, 2025
FOR PAVEMENT AND SUBGRADE RECOMMENDATIONS



ROCO DRIVEWAY HEAVY ASPHALT PAVEMENT SECTION

PER LOCAL ACCESS ROADWAY SECTION COC DETAIL 4-09



ROCO DRIVEWAY LIGHT ASPHALT PAVEMENT SECTION

NOT TO SCALE

Job Number

23090

Barghausen
Consulting Engineers, LLC.

1825 72nd Avenue South
Kent, WA 98032

barghausen.com

Sheet

E6

7

Page

1

P:\23090\Engineering\Grade and Fill\23090-e.dwg 3/3/2025 3:01 PM JTWNE

INADVERTENT DISCOVERY PLAN NOTES AND DETAILS

FOR FORDS PRAIRIE INDUSTRIAL PARK BUILDING 1

PORTION OF THE NE 1/4 & NW 1/4 OF SECTION 36, TOWNSHIP 15 N., RANGE 03 W., W.M.
CITY OF CENTRALIA, LEWIS COUNTY, WASHINGTON

APPROVED FOR CONSTRUCTION

CITY ENGINEER DATE
"PLAN APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE OF APPROVAL"

APPENDIX B: Inadvertent Discovery Plan CRA for the Logistics Property Development Project, Lewis County, WA

APPENDIX B: Inadvertent Discovery Plan CRA for the Logistics Property Development Project, Lewis County, WA

Inadvertent Discovery Plan for Cultural Resources

Washington state law protects archaeological resources (RCW 27.53, 27.44, and WAC 25-48) and human remains (RCW 68.50) from disturbance or theft. If artifacts or cultural deposits are discovered inadvertently during ground-disturbing activities in the API, construction should be immediately stopped. Artifacts and cultural deposits might include, but are not limited to, evidence for precontact activities such as chipped stone tools, chipped stone tool debris, ground stone tools, bone, and shell objects, fire-cracked or discolored rocks, concentrations of charcoal and discolored soil, or shell middens. There may also be evidence of Historic period land use or dumping such as structural debris, mechanical items, or concentration of cans, bottles, or other debris (Photos B.1-B.6 for examples of artifacts and cultural deposits).

If there is any question as to whether the finds are cultural, a professional archaeologist may be consulted to verify that the finds are archaeological. The construction supervisor will establish a 20 m (65 foot) buffer area around the discovery to protect the find while it is investigated. The construction supervisor and the landowner will notify the City of Centralia (City). Ground-disturbing work may proceed in other parts of the API, provided it will not affect the cultural discovery. The City, as lead agency for SEPA compliance, will carry out any necessary consultation with the Washington State DAHP, affected Tribes, and other interested parties.

Inadvertent Discovery Plan for Human Remains

If ground-disturbing activities encounter human skeletal remains during the course of construction, then all activity will cease that may cause further disturbance to those remains. The area of the find will be secured and protected from further disturbance until the State provides notice to proceed. The finding of human skeletal remains will be reported to the Lewis County Medical Examiner (360-740-1376) and the City of Centralia Police Department (360-330-7680) in the most expeditious manner possible. The remains will not be touched, moved, or further disturbed. The coroner will assume jurisdiction over the human skeletal remains and make a determination of whether those remains are forensic or non-forensic. If the medical examiner determines the remains are non-forensic, then they will report that finding to the DAHP, who will then take jurisdiction over the remains. The State Physical Anthropologist, Guy Tasa (360-790-1633), will make a determination of whether the remains are Indian or non-Indian and report that finding to any appropriate cemeteries and the affected Tribes. The DAHP will then handle all consultation with the affected parties as to the future preservation, excavation, and disposition of the remains.

WestLand Engineering & Environmental Services

September 4, 2024 | Page B1

APPENDIX B: Inadvertent Discovery Plan CRA for the Logistics Property Development Project, Lewis County, WA



Photo B.3. Examples of hearth features and unusual accumulations of rocks, possibly with burnt or charcoal-stained soils.



Photo B.4. Examples of historic artifacts

WestLand Engineering & Environmental Services

September 4, 2024 | Page B3



Photo B.1. Shell midden and layered stratigraphy of shell and blackened soil



Photo B.2. Examples of stone tools and flaked stone

WestLand Engineering & Environmental Services

September 4, 2024 | Page B2

APPENDIX B: Inadvertent Discovery Plan CRA for the Logistics Property Development Project, Lewis County, WA



Photo B.5. Examples of historic bottles



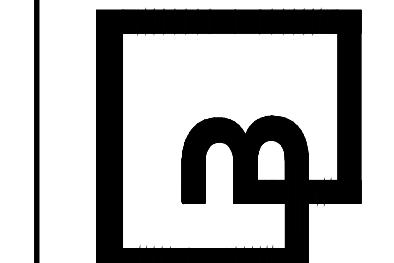
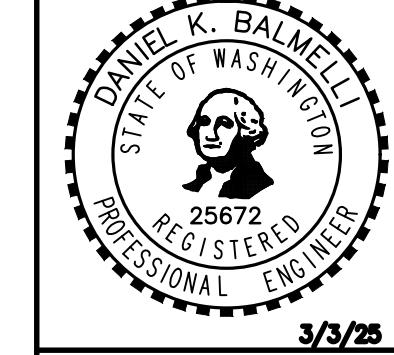
Photo B.6. Example of a historic building foundation

WestLand Engineering & Environmental Services

September 4, 2024 | Page B4

APPROVED FOR CONSTRUCTION

CITY ENGINEER DATE
"PLAN APPROVAL EXPIRES ONE (1) YEAR FROM THE DATE OF APPROVAL"

Job Number	Barghausen Consulting Engineers, LLC.	Designed <u>1ft</u> Drawn <u>1ft</u>	Scale: Horizontal Vertical	Approved <u>DKB</u> Date <u>3/3/25</u>	Approved <u>DKB</u> Date <u>3/3/25</u>	For: LOGISTICS PROPERTY COMPANY LLC 1100 BELLEVUE WAY NE BELLEVUE, WA 98004	Revision
23090	 Barghausen Consulting Engineers, LLC. 10215 17th Avenue South Kent, WA 98032 425.251.6222 barghausen.com	Checkered <u>DKB</u> Approved <u>DKB</u> Date <u>3/3/25</u>	Horizontal Vertical	Approved <u>DKB</u> Date <u>3/3/25</u>	Approved <u>DKB</u> Date <u>3/3/25</u>		
E7	7					 DANIEL K. BALMELLI PROFESSIONAL ENGINEER 25670 3/3/25	