



Site Plan Review Committee

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SITE PLAN REVIEW COMMITTEE

Meeting Agenda

Monday, April 21, 2025

Join Zoom meeting:

<https://us02web.zoom.us/j/89118869218?pwd=11a9b4quXhUyVEqEEoUwe9dV7gehqr.1>

Join by mobile: #1-253-215-8782

Meeting ID: 891 1886 9218 Passcode: 926458

All applicants should join the meeting at 10 AM as time frames are estimations only and subject to change. The public is invited to participate.

9:00 AM STAFF REVIEW TIME

1. Weekly Permit List (pg. 1)
2. S Yew Street Development

10:00 AM – Site Plan Review (pgs. 2-12)

Project Name: **Street Shop Addition**

Applicant/Owner: City of Centralia – Public Works Dept.

Property Address: 2600 W Reynolds Avenue

Contact Phone: Kim Ashmore, 360.330.7512

Email: kashmore@cityofcentralia.com

Zone: OSPF, Open Space Public Facility

Comp. Plan: PF, Public Facility

Parcel Information: 003475-001-034, 6.4 acres

Request: Remodel of, and addition to, existing street shop restrooms, laundry/locker room, break room, offices and garage.

10:30 AM – Site Plan Review (pgs. 13-14)

Project Name: **Long Road ROW Vacation**

Applicant/Owner: Port of Centralia

Property Address: 0 Long Road

Contact Phone: Patty Page, City Engineer, 360.330.7512

Email: ppage@cityofcentralia.com

Zone: Right-of-Way

Comp. Plan: Right-of-Way

Parcel Information: N/A

Request: Vacation a portion of Long Road

Permit Report

Permit #	Permit Date	Building/Land Use	Permit Type	Construction Site Address	Description of work being done under this permit	Applicant Name
20250231	4/10/2025	Building Permit	Deck	405 S Iron St	Install 11' x 12' x 2'H deck	Ray Chapman-Wilson
20250246	4/10/2025	Building Permit	Accessory Building	723 E Street	Construct 20' 28' lean-to on residence.	Brandon Johnson
20250232	4/11/2025	Building Permit	Commercial - New Build	2717 Harrison Avenue	Construction of a new free-Standing Guard Shack structure.	Jose Cortez
20250234	4/11/2025	Building Permit	Commercial - New Build	1005 S Yew Street	New 10,815 sf single story cmu & wood framed shell structure	DDG Architects
20250235	4/14/2025	Building Permit	Single Family Residence - New	1365 Salzer Creek Drive	Construct Single Family Residence	Briana Gorman
20250236	4/14/2025	Building Permit	Mechanical	607 Jefferson Street, #1	Install Mitsubishi ductless heat pump system	Chehalis Sheet Metal
20250237	4/14/2025	Building Permit	Plumbing	1049 Eckerson Road	Install kitchenette in upstairs unit. 10 units in total - BLDG D	Cameron Durbin
20250238	4/14/2025	Building Permit	Single Family Residence - New	1355 Salzer Creek Drive/Lot 57	Construct Single Family Residence	Briana Gorman
20250239	4/15/2025	Building Permit	Mechanical	2596 Kristine Ct	Install Trane heat pump system	Chehalis Sheet Metal
20250240	4/15/2025	Building Permit	Single Family Residence - New	697 Salzer Creek Drive	Construct Single Family Residence	Briana Gorman
20250241	4/15/2025	Building Permit	Single Family Residence - New	691 Salzer Creek Drive	Construct Single Family Residence	Briana Gorman
20250242	4/15/2025	Building Permit	Cell Tower - Renovations	2198 Blair Rd	Eligible Facilities Request - Minor Modification	verizon Wireless
20250243	4/15/2025	Building Permit	Demolition	703 M St	Demo portion of interior for future remodel	Manuel Monzon
20250244	4/15/2025	Building Permit	Single Family Residence - New	685 Salzer Creek Drive/Lot 19	Construct Single Family Residence	Briana Gorman
20250245	4/15/2025	Building Permit	Single Family - Remodel	703 M Street	Interior remodel- 2 new bathrooms, 2 new	Manuel Monzon
20250253	4/16/2025	Building Permit	Mechanical	1016 McKinley Ln N	Replacing gas furnace and adding AC unit	Elissa Carbajal
20250254	4/16/2025	Building Permit	Single Family - Remodel	412 Brock St	Drywall, new roof, siding, new kitchen, new	Jaswinder kaur
20250248	4/16/2025	Building Permit	Single Family Residence - New	679 Salzer Creek Drive	Construct Single Family Residence	Briana Gorman
20250250	4/16/2025	Building Permit	Single Family Residence - New	673 Salzer Creek Drive	Construct Single Family Residence	Briana Gorman
20250251	4/16/2025	Building Permit	Single Family Residence - New	667 Salzer Creek Drive	Construct Single Family Residence	Briana Gorman
20250252	4/16/2025	Building Permit	Single Family Residence - New	661 Salzer Creek Drive	Construct Single Family Residence	Briana Gorman
20250255	4/17/2025	Building Permit	Mechanical	315 N Tower Ave	Replace refrigeration for walk-in cooler	Gavin Wright
20250256	4/17/2025	Building Permit	Single Family - Addition	720 W 1st	Tub to Shower	Millie Velasquez
20250257	4/17/2025	Building Permit	Single Family Residence - New	655 Salzer Creek Drive	Construct Single Family Residence	Briana Gorman

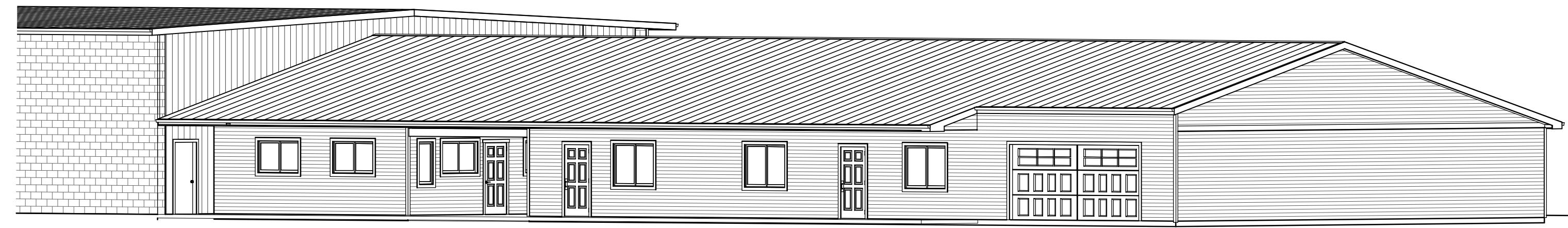
GENERAL NOTES

GENERAL NOTES

1. IN GENERAL, PLAN DIMENSIONS SHOWN ARE TO FACE OF STUD OR FACE OF CONCRETE, UNLESS OTHERWISE NOTED. DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS ONLY. VERIFY ALL DIMENSIONS, DATUM AND LEVELS PRIOR TO CONSTRUCTION. NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCIES.
2. PERSONS USING THE INFORMATION IN THESE CONSTRUCTION DOCUMENTS WITHOUT PERMISSION OF THE DESIGNER DOES SO AT THEIR OWN RISK AND BY SUCH AGREES TO INDEMNIFY THE DESIGNER AS WELL AS THE DESIGNER'S EMPLOYEES AND CONSULTANTS, AND TO HOLD HARMLESS FOR ANY INJURY OR LOSS OF DAMAGE THAT MAY OCCUR.
3. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND DESIGNER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE DESIGNER.
4. THE CONTRACTOR SHALL HAVE AND MAINTAIN INSURANCE AS APPROVED BY THE BUILDING OWNER AND THE TENANT IF TENANT IS THE CONTRACTOR'S CLIENT.
5. CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO ENSURE THAT ALL PROPERTY IS PROTECTED DURING THIS CONSTRUCTION. ANY DAMAGE OR CHANGED CONDITIONS SHALL BE REPAIRED AND RESTORED TO A CONDITION EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF THE WORK. CONTRACTOR SHALL RESTORE ANY DAMAGE AT HIS OWN EXPENSE. WHERE EXISTING WORK IS DAMAGED, CUT OR DEFACED DUE TO PERFORMANCE OF NEW WORK, THE CONTRACTOR SHALL PATCH AND REPAIR SAME TO MATCH ADJOINING SURFACES. REPAIRED FINISHES SHALL BE EXTENDED TO THE NEAREST VISUAL BREAK LINES SUCH AS CORNER, CEILING LINES, TOP OF BASE OR SIMILAR.
6. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
7. WHERE A CONSTRUCTION DETAIL IS NOT SHOWN OR NOTED, THE DETAIL SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
8. ALL WORK SHALL COMPLY WITH THE 2018 IBC, IFC, IPC, IMC AS AMENDED BY WASH. STATE. PROJECT SHALL ALSO COMPLY W/ JURISDICTIONAL CODE AMENDMENTS BY THE LOCAL AGENCY. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NECESSARY PERMITS & INSPECTIONS TO COMPLETE THE WORK. CONTRACTOR TO HAVE CURRENT VALID CITY OR COUNTY BUSINESS LICENSE PRIOR TO ISSUANCE OF PERMIT. WHEN REQUIRED BY LAW.
9. ERRORS, OMISSIONS AND DISCREPANCIES, IF ANY, SHALL BE REFERRED TO THE DESIGNER IMMEDIATELY FOR DIRECTION OF HOW TO PROCEED.
10. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT PROVIDED IN THE CONTRACT BY OTHERS PROVIDE ALL BLOCK-OUTS, BLOCKING, BACKING AND JACKS REQUIRED FOR DUCTS, PIPES, CONDUITS, EQUIPMENT, FIXTURES AND CABINETS. VERIFY SIZE AND LOCATION.
11. DO NOT SIGNIFICANTLY VARY OR MODIFY THE WORK SHOWN, EXCEPT UPON WRITTEN INSTRUCTIONS OF THE DESIGNER OR OWNER.
12. VERIFY LOCATION OF ALL EXISTING UTILITIES INCLUDING BUT NOT LIMITED TO SEWER, SEPTIC, WATER, GAS, POWER AND TELEPHONE. CAP, MARK AND PROTECT.
13. DETAILS ARE INTENDED TO SHOW THE INTENT OF THE DESIGN. MINOR MODIFICATION MAY BE REQUIRED TO SUIT THE FIELD DIMENSIONS OR CONDITIONS AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK OF THE CONTRACT.
14. PROVIDE CLOSURE, MEETING THE REQUIREMENTS OF ALL GOVERNING AUTHORITIES, AT RATED PARTITIONS, FLOORS, CEILINGS, AND ROOF LOCATIONS. ALL REQUIRED FIRE-RATED PARTITIONS SHALL BE CONTINUOUS FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE.
15. NO BUILDING OR PORTION OF A BUILDING SHALL BE OCCUPIED OR USED FOR STORAGE PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
16. THE CONTRACTOR SHALL CONSULT PLANS OF ALL TRADES, INCLUDING DESIGN-BUILD DOCUMENTS REQUIRED BY CONTRACT DOCUMENTS, TO VERIFY SIZE, WEIGHT, POWER, LOCATION AND OTHER REQUIREMENTS AND LOCATION OF THOSE ITEMS TO BE INSTALLED PRIOR TO COMMENCEMENT OF WORK.
17. ELECTRICAL, MECHANICAL AND PLUMBING: GENERAL CONTRACTOR TO PROVIDE ALL REQUIRED ENGINEERING, CALCULATIONS, FORMS, APPLY, PAY FOR & OBTAIN ALL REQUIRED PERMITS.
18. GENERAL CONTRACTOR SHALL BRING TO THE OWNER'S ATTENTION ANY DISCREPANCIES WITHIN THE CONTRACT DOCUMENTS, ACTUAL FIELD CONDITIONS AND ANY DESIGN AND LAYOUT CHANGES REQUIRED DUE TO ANY SPECIFIC EQUIPMENT SELECTIONS OR ANY OTHER REASON PRIOR TO PURCHASING EQUIPMENT AND MATERIAL.
19. PROVIDE BARRIER FREE SIGNAGE AT RESTROOMS.
20. MOUNT ALL SINKS AT 34" AFF. UNO. COUNTERS 34" AFF WHEN SINK COUNTER MOUNTED.
21. EXTERIOR BUILDING SIGNAGE IS NIC. CONTRACTOR TO PROVIDE POWER TO SIGN LOCATIONS.
22. THE DESIGNER HAS NOT BEEN RETAINED OR COMPENSATED TO PROVIDE DESIGN AND/OR CONSTRUCTION REVIEW SERVICES RELATING TO THE CONTRACTOR'S SAFETY PRECAUTIONS OR TO MEANS, METHODS, TECHNIQUES OR PROCEDURES REQUIRED FOR THE CONTRACTOR TO PERFORM HIS WORK. THE UNDERTAKING OF PERIODIC SITE VISITS BY THE DESIGNER SHALL NOT BE CONSTRUED AS SUPERVISION OF ACTUAL CONSTRUCTION NOR MAKE HIM RESPONSIBLE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR OR CONTRACTOR'S EMPLOYEES, OR EMPLOYEES OF SUPPLIERS OR SUBCONTRACTORS, OR FOR ACCESS, VISITS, USE, WORK, TRAVEL OR OCCUPANCY BY ANY PERSON.
23. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK.
24. THESE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF THE DESIGNER AND MAY BE REPRODUCED ONLY WITH THE WRITTEN PERMISSION OF THE DESIGNER. AUTHORIZED REPRODUCTIONS MUST BEAR THE NAME OF THE DESIGNER.
25. PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS IN ATTICS, FLOORS AND WALL CAVITIES AS REQUIRED PER THE IBC.
26. CONTRACTOR SHALL RETAIN ONE SET OF THE PLANS TO NOTE AND DOCUMENT ALL CHANGES DURING CONSTRUCTION. THE SET SHALL BE A PART OF THE CONTRACTOR'S CLOSE-OUT PACKAGE TO THE OWNER. CLOSE-OUT PACKAGE SHALL INCLUDE (3) SET OF SHOP DRAWINGS, PRODUCT LITERATURE, EQUIPMENT WARRANTY MANUALS.
27. CONTRACTOR SHALL PROVIDE SOLID BLOCKING, UNLESS NOTED OTHERWISE AS REQUIRED FOR NAILING OF ALL INTERIOR AND EXTERIOR TRIMS, FINISHES AND FIXTURES. THE CONTRACTOR SHALL PROVIDE FOR ALL THE NECESSARY FRAMING AND BRACING FOR THE INSTALLATION OF OWNER FURNISHED ITEMS.
28. CONTRACTOR SHALL ONLY PROCEED WITH WORK WHERE HAZARDOUS MATERIALS ARE PRESENT AFTER RECEIPT OF THE BUILDING OWNERS HAZARDOUS MATERIALS GOOD FAITH REPORT REQUIRED BY THE STATE. PRIOR TO ANY DEMOLITION VERIFY & PERFORM ADDITIONAL HAZARDOUS MATERIAL TESTING AS REQUIRED. LEGALLY REMOVE HAZARDOUS MATERIALS. PROVIDE LEGAL DOCUMENTATION. CONTRACTOR SHALL COMPLY WITH FEDERAL AND STATE RULES AND REGULATIONS WHEN HANDLING, REMOVING OR ENCAPSULATING HAZARDOUS MATERIALS ON THE PROJECT.
29. LEGALLY REMOVE & DISPOSE OF THE DEMOLITION AND CONSTRUCTION DEBRIS.
30. DIMENSIONS TO STUD FACE UNLESS NOTED AS "CLEAR" OR "CLR" WHICH MEANS TO FACE OF WALL FINISH.

ARCHITECTURAL ABBREVIATIONS

A.H.U.	AIR HANDLING UNIT
ALT.	ALTERNATIVE
A.V.	AUDIO/VISUAL
BLDG.	BUILDING
DIA.	DIAMETER
D.S.	DOWNSPOUT
ELEC.	ELECTRICAL
ELEV.	ELEVATOR
EXT.	EXTERIOR
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
F.F.	FINISH FLOOR
GA.	GAUGE
G.L.B.	GLUE LAMINATED BEAM
G.W.B.	GYPSUM WALLBOARD
HR.	HOUR
INSUL.	INSULATION
INT.	INTERIOR
MECH.	MECHANICAL
MGR.	MANAGER
MISC.	MISCELLANEOUS
N.I.C.	NOT IN CONTRACT
O.C.	ON CENTER
OPP.	OPPOSITE
P.T.	PRESSURE TREATED
REF.	REFERENCE
RM.	ROOM
S.D.	SMOKE DETECTOR
SHT.	SHEET
SIM.	SIMILAR
SS.	STAINLESS STEEL
ST.	STREET
STRUCT.	STRUCTURAL
T.O.C.	TOP OF CONCRETE
T.O.W.	TOP OF WALL
TS.	TUBE STEEL
U.N.O.	UNLESS NOTED OTHERWISE
W/	WITH
@	AT
‡	AND



LAYOUT PAGE TABLE

LABEL	TITLE	NUMBER
G-1	COVER SHEET	1
G.I.1	OCCUPNAY NOTES & EGRESS DISTANCES	2
A-O	PLAN NOTES	3
A-1.1	EXISTING/DEMO PLAN	4
S-1	STRUCTURAL NOTES	5
S-2	FOUNDATION PLAN & STRUCTURAL DETAILS	6
S-3	SHEAR WALL LAYOUT	7
S-4	ROOF FRAMING	8
S-5	STRUCTURAL DETAILS	9
A-1	ELEVATIONS	10
A-2	ELEVATIONS & CROSS SECTION AA & DETAILS	11

BUILDING OWNER

CITY OF CENTRALIA
2600 W REYNOLDS AVE.
CENTRALIA, WA. 98531

PROJECT ADDRESS

2600 W REYNOLDS AVE
CENTRALIA, WA. 98531

TENANT

CITY OF CENTRALIA
2600 W REYNOLDS AVE.
CENTRALIA, WA. 98531

LAND USE INFORMATION

PARCEL No.:003475001034
ABBREV. LEGAL DESCRIPTION:
SECTION 06 TOWNSHIP 14N RANGE 02W PTN NE4 NW4 S
REYNOLDS AVE & N SCHWARZ RD

PROJECT NOTES

FLOOR PLAN NOTES:

1. PROVIDE BARRIER FREE SIGNAGE AT RESTROOMS
2. CONFIRM ALL ROUGH OPENINGS FOR DOORS AND WINDOWS PRIOR TO FRAMING AND ORDERING.
3. CONFIRM ALL FINISHES W. OWNER AND CONTRACTOR PRIOR TO ORDERING

DOOR NOTES:

1. VERIFY ALL R.O. AND JAMB DEPTHS PRIOR TO ORDERING.
2. ALL DOORS TO HAVE BARRIER FREE HARDWARE AS REQUIRED.
3. DOORS SHALL HAVE LEVER HARDWARE WHICH WILL PERMIT OPERATION BY WRIST OR ARM PRESSURE.
4. ALL POCKET DOORS TO HAVE ADA POCKET DOOR PULLS.

DEMOLITION NOTES:

1. LEGALLY REMOVE DEMOLITION DEBRIS FROM SITE.
2. PROTECT ALL STRUCTURAL MEMBERS AND COLUMNS.
3. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE.

FURNISHING NOTES:

1. ALL FURNITURE NIC

DEFERRED SUBMITTAL

ELECTRICAL, DEFERRED SUBMITTAL

PLUMBING DEFERRED SUBMITTAL

HVAC, DEFERRED SUBMITTAL

SPRINKLERS, N/A

PROJECT DESCRIPTION

PROJECT DESCRIPTION THIS PROJECT IS A TENANT IMPROVEMENT REMODELING OF EXISTING OFFICE AREA AND ADDITION OF NEW OFFICE BUILDING

CONSTRUCTION TYPE V-B

OCCUPANCY B-BUSINESS

AREA: TOTAL: BLDG.# 1 EXISTING T.I. = 1,248 SF , BLDG. #2 ADDITION = 2,865 SF , BREEZEWAY = 780 SF

OCCUPANT LOAD: BLDG. #1: = 18 BLDG. #2: 37 (FINAL OCCUPANCY DETERMINED BY JURISDICTION)

RESTROOMS: (4) ADA COMPLIANT RESTROOMS

CURRENT BUILDING CODE: 2021 IBC

FIRE SPRINKLERS: NONE

FIRE ALARM: PROVIDE & LOCATE FIRE ALARM NOTIFICATION APPLIANCE(S) STATION(S) AND SENSOR(S) AS REQUIRED BY FIRE DEPARTMENT

NUMBER	REVISION DATE	REV. BY	DISCRIPTION
			PROJECT # 23-007
			DRAWN BY: CLA
			PRINT DATE: 4/9/2025
			SHEET NO: G-1

OCCUPANCY GROUP B

OCCUPANT LOADING
IBC TABLE: 1004.5 (104.5.1)
BLDG. #1 - 18
BLDG. #2 - 37

NUMBER OF STORIES

BUILDING AREA
BLDG. #1 TI - 1,248 SF
BLDG. #2 - 2,865 SF

NEW CONSTRUCTION
VB

FIRE SPRINKLERS
NONE - 9,000 SF ALLOWED 2018 IBC 506.2

ALLOWABLE AREA
PER IBC TABLE 506.2
9,000 SF

FIRE-RESISTIVE REQUIREMENTS

PER TABLE 601
PRIMARY STRUCTURAL FRAME: NONE
BEARING WALLS - EXTERIOR: NONE
BEARING WALLS - INTERIOR: NONE
NONE-BEARING WALLS - INTERIOR: NONE
FLOOR CONSTRUCTION: NONE
ROOF CONSTRUCTION: NONE

BUILDING VENTILATION
IMC TABLE 403.3.1.1
NOT REQUIRED

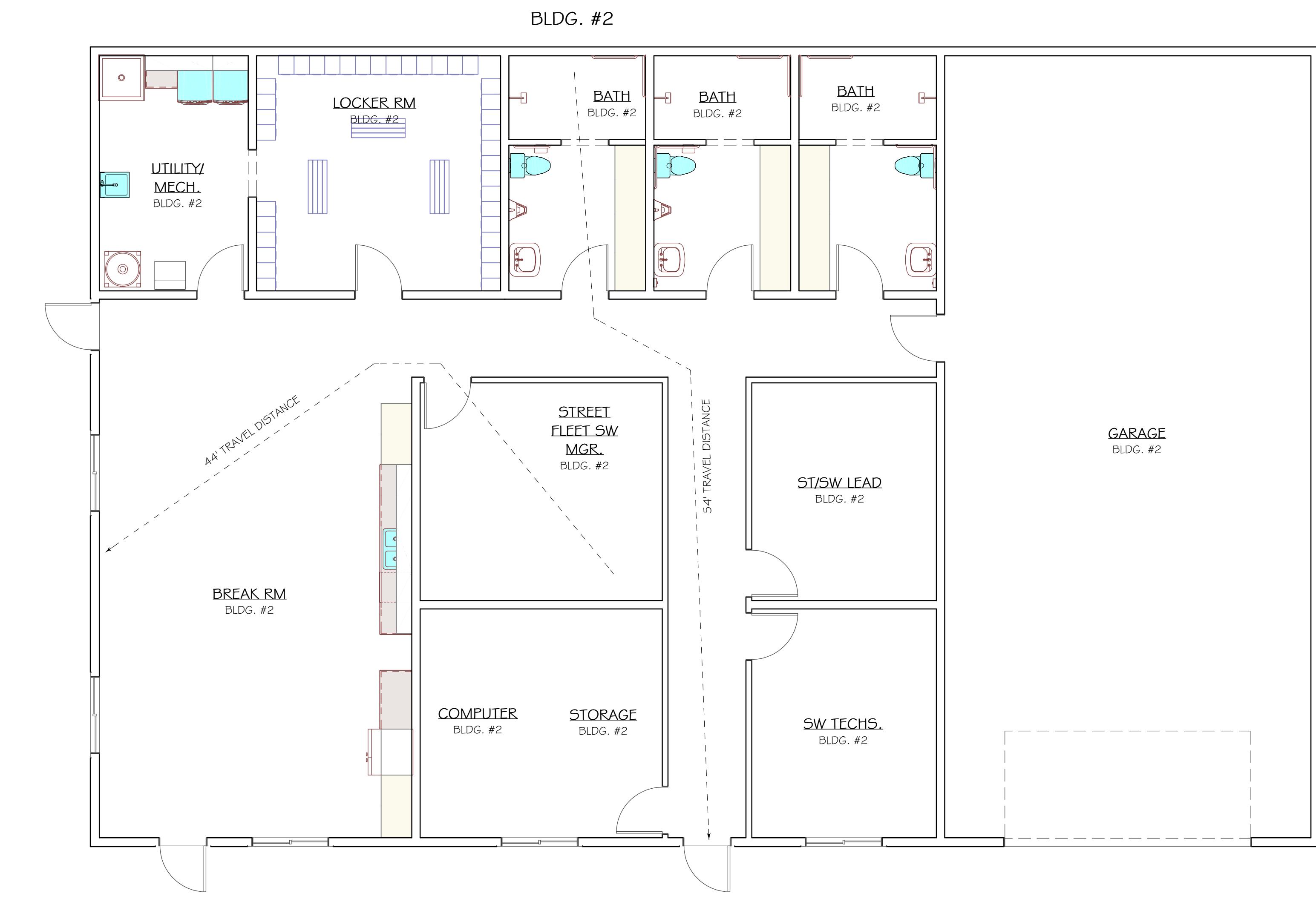
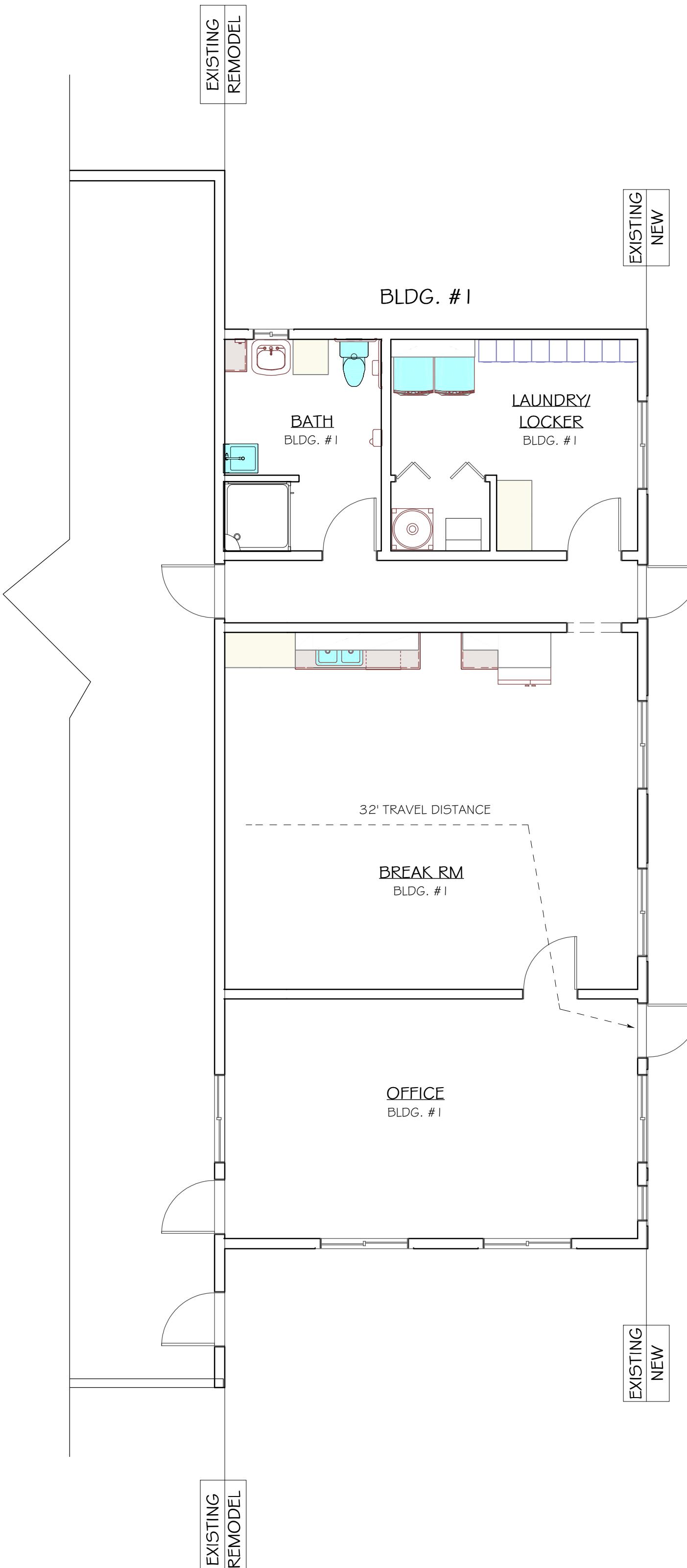
BATH VENTILATION
IMC TABLE 403.3.1.1
50/70

INSULATION REQUIREMENTS
WSEC TABLE 402.1.3
EXT. WALLS - R21
ATTICS - R49
CATHEDRAL - R38
UNHEATED SLABS - R10 FOR 24" MIN.

GLAZING MIN. U FACTORS
PER TABLE - WSEC 303.1.3(1)

MEANS OF EGRESS ILLUMINATION
PER IBC 1008

AIR LEAKAGE
PER WSEC C402.5



TRAVEL DISTANCES

3/16 in = 1 ft

WINDOW SCHEDULE						
LABEL	QTY	ROOM NAME	EGRESS	TEMPERED	COMMENTS	AREA, STANDARD (SQ FT)
5030RS	1	LAUNDRY/LOCKER BLDG. #1/BREEZEWAY			REPLACE EXISTING 15	15
5040RS	2	BREAK RM BLDG. #2/BREEZEWAY				20
2020LS	1	BATH BLDG. #1			REPLACE EXISTING 4	4
5030RS	2	BREAK RM BLDG. #1/BREEZEWAY			REPLACE EXISTING 15	15
5030RS	2	OFFICE BLDG. #1/PORCH			REPLACE EXISTING 15	15
5040RS	1	BREAK RM BLDG. #2/PORCH				20
5040RS	1	SW TECHS. BLDG. #2/PORCH				20
5040RS	1	STREET FLEET SW MGR. BLDG. #2/PORCH				20
TOTALS:						179

EXTERIOR DOOR SCHEDULE						
LABEL	QTY	ROOM NAME	FIRE	TEMPERED	AREA (SQ FT)	COMMENTS
3068	1	BREAK RM BLDG. #2/PORCH			20	PANIC HARDWARE REQ.
16070	1	GARAGE BLDG. #2			112	
3068	1	BREAK RM BLDG. #2/BREEZEWAY			20	PANIC HARDWARE REQ.
3068	1	HALL BLDG. #2/HALL BLDG. #2			20	PANIC HARDWARE REQ.
3068	1	LAUNDRY/LOCKER BLDG. #1/HALL BLDG. #1			20	PANIC HARDWARE REQ.
3068	1	STREET FLEET SW MGR. BLDG. #2/HALL BLDG. #2			20	PANIC HARDWARE REQ.
3068	1	COMPUTER/STORAGE BLDG. #2/HALL BLDG. #2			20	PANIC HARDWARE REQ.
3068	1	SW TECHS. BLDG. #2/HALL BLDG. #2			20	PANIC HARDWARE REQ.
3068	1	ST/SW LEAD BLDG. #2/HALL BLDG. #2			20	PANIC HARDWARE REQ.
3068	2	BATH BLDG. #2/HALL BLDG. #2			20	PANIC HARDWARE REQ.

INTERIOR DOOR SCHEDULE						
LAB#	QTY	ROOM NAME	TYPE	HINGE SIDE	SWING SIDE	FIRE COMMENTS
3068	3	BATH BLDG. #2/BATH BLDG. #2	DOORWAY			
5068	1	MECH. BLDG. #1/LAUNDRY/LOCKER BLDG. #1	4 DR. BIFOLD	UR	OUT	
3068	1	BREAK RM BLDG. #2/UTILITY/MECH. BLDG. #2	HINGED	R	OUT	
3068	1	HALL BLDG. #1/BREAK RM BLDG. #1	HINGED	R	OUT	
3068	1	OFFICE BLDG. #1	HINGED	L	OUT	YES FIRE RATED - SELF CLOSING/LATCHING
3068	1	HALL BLDG. #2/GARAGE BLDG. #2	HINGED	R	IN	YES FIRE RATED - SELF CLOSING/LATCHING
3068	1	BREAK RM BLDG. #1/OFFICE BLDG. #1	HINGED	R	IN	PANIC HARDWARE REQ.
3068	1	OFFICE BLDG. #1/BREEZEWAY	HINGED	L	OUT	PANIC HARDWARE REQ.
3068	1	BATH BLDG. #1/HALL BLDG. #1	HINGED	R	IN	
3068	1	LAUNDRY/LOCKER BLDG. #1/HALL BLDG. #1	HINGED	R	IN	
3068	1	STREET FLEET SW MGR. BLDG. #2/HALL BLDG. #2	HINGED	L	IN	
3068	1	COMPUTER/STORAGE BLDG. #2/HALL BLDG. #2	HINGED	R	IN	
3068	1	SW TECHS. BLDG. #2/HALL BLDG. #2	HINGED	L	IN	
3068	1	ST/SW LEAD BLDG. #2/HALL BLDG. #2	HINGED	R	IN	
3068	2	BATH BLDG. #2/HALL BLDG. #2	HINGED	R	IN	

REVISION TABLE			
NUMBER	DATE	REV. BY	DESCRIPTION

PROJECT #
23-007

DRAWN BY:
CLA

PRINT DATE:
4/9/2025

SHEET NO:
G1.1





2600 W REYNOLDS -
ADDITION
2600 W REYNOLDS AVE
CENTRALIA, WA 98531

NUMBER	REVISION TABLE	DATE	REV. BY	DESCRIPTION

PROJECT #
23-007

DRAWN BY:
CLA

PRINT DATE:
4/9/2025

SHEET NO:
A-0

FOUNDATION NOTES

- WOOD FRAMING MEMBERS WHICH ARE IN CONTACT WITH CONCRETE SHALL BE AN APPROVED PRESERVATIVE-TREATED TYPE. SILL PLATES SHALL BE A MINIMUM OF 2" X 4" (NOMINAL).
- ALL FASTENERS INCLUDING, BUT NOT LIMITED TO NAILS, NUTS AND WASHERS USED FOR PRESERVATIVE-TREATED WOOD SHALL BE OF HOT-DIPPED, ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICONE BRONZE, COPPER, OR EQUIVALENT SHALL BE USED.
- FOUNDATION VENTING SHALL HAVE A MINIMUM NET AREA OF VENTILATION OPENINGS NOT LESS THAN 1 SQ. FT. FOR EACH 300 SQ. FT. OF UNDER-FLOOR SPACE AREA.
- VENTILATING OPENINGS SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING.
- ALL EXPOSED EARTH SHALL BE COVERED WITH CONTINUOUS CLASS I VAPOR BARRIER. JOINTS OF VAPOR BARRIER TO OVERLAP BY A MINIMUM OF 6" AND SHALL BE SEALED OR TAPE. THE EDGES OF THE VAPOR BARRIER SHALL EXTEND NOT LESS THAN 6" UP THE STEM WALL AND SHALL BE ATTACHED AND SEALED TO THE STEM WALL OR INSULATION.
- ACCESS SHALL BE PROVIDED TO ALL UNDER-FLOOR SPACES. OPENINGS SHALL BE A MINIMUM OF 18" X 24". OPENINGS THROUGH PERIMETER WALL SHALL BE NOT LESS THAN 16" X 24".

FRAMING NOTES

- CONTRACTOR TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS AND CONNECTIONS BEFORE CONSTRUCTION BEGINS. WRITTEN DIMENSIONS, ENGINEERING, AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES.
- ENGINEERING DETAILS, NOTES AND SPECIFICATIONS WILL TAKE PRECEDENCE OVER TYPICAL FRAMING AND PLAN NOTES.
- FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS VERTICALLY AT THE CEILING AND FLOOR LEVELS, HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN, AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL WITH AN APPROVED MATERIAL TO RESIST FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
- INSTALL I-JOISTS, LVL AND GLB MEMBERS IN COMPLIANCE WITH THEIR LISTINGS.
- SUB-FLOOR SHEATHING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND INSTALLED PER MANUFACTURES SPECIFICATIONS.
- PROVIDE DOUBLE FLOOR JOISTS UNDER ALL WALLS RUNNING PARALLEL AND THAT EXTEND GREATER THAN HALF THE JOIST DISTANCE.
- ALL JOISTS AND RAFTERS SHALL HAVE SOLID BLOCKING AT THEIR BEARING POINTS.
- ALL COLUMNS SHALL EXTEND DOWN THRU THE STRUCTURE TO THE FOUNDATION. ALL COLUMNS SHALL BE BRACED AT ALL FLOOR LEVELS. COLUMNS SHALL BE THE SAME WIDTH AS THE MEMBERS THAT THEY ARE SUPPORTING.
- PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRES STOPS WHERE REQUIRED.
- ALL OPENINGS IN THE EXTERIOR BUILDING ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION TO INCLUDE, BUT NOT LIMITED TO THE FOLLOWING JOINTS: WINDOW AND DOOR FRAMES, WALL CAVITY AND WINDOW DOOR FRAME, WALL AND FOUNDATION, WALL AND ROOF, WALL PANELS AND UTILITY PENETRATIONS THROUGH EXTERIOR WALLS.
- ANY WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.

VENTILATION SYSTEM NOTES

EXHAUST FANS IN BATH SHALL BE AS INDICATED ON PLANS. TOTAL OF CONTINUOUS CFM RATINGS FROM ALL EXHAUST FANS SHALL BE IN ACCORDANCE WITH IMC TABLE 403.3.1.1 INTERNATIONAL MECHANICAL CODE (IMC). SEE TABLE IMC 403.0.1.1 FOR REQUIRED AMOUNT OF CFM AIRFLOW

ROOF FRAMING NOTES

- TRUSS DRAWINGS (IF PROVIDED) ARE FOR ILLUSTRATION PURPOSES ONLY. ALL TRUSSES SHALL BE INSTALLED AND BRACED TO MANUFACTURES DRAWINGS AND SPECIFICATIONS.
- ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.
- ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR APPROVAL FROM BUILDING DEPARTMENT OR ENGINEER.
- ALL TRUSSES WILL HAVE DESIGN DETAILS AND DRAWINGS ON SITE.
- ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER U.N.O.
- ALL ROOF FRAMING WILL BE 24" O.C. U.N.O.
- ALL ROOF SHEATHING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS AND WITH JOINTS STAGGERED.
- ALL ROOF SHEATHING SHALL BE EITHER BLOCKED, TONGUE-AND-GROOVE, OR HAVE EDGES SUPPORTED BY PLYCLIPS.
- SHEATH ROOF PRIOR TO ANY OVER FRAMING.
- ALL FRAMING CONNECTIONS SHALL BE "SIMPSON STRONG TIE" OR AN APPROVED EQUIVALENT.
- ATTIC ACCESS SHALL BE PROVIDED AND SHALL HAVE A MINIMUM OPENING OF 22" X 30" WITH A TIGHT FITTING AND SELF CLOSING DOOR. IF LOCATED ABOVE THE HEATED SPACE IT SHALL BE BACKED WITH INSULATION. ATTIC ACCESS SHALL BE LOCATED IN THE HALLWAY OR OTHER ACCESSIBLE LOCATION.
- ATTIC VENTILATION TO BE PROVIDED PER 2018 IBC 1203.2. THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/300 OF THE VENTED SPACE, NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTING AREA IS PROVIDED BY VENTILATORS IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINTS OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

PLUMBING FIXTURE REQUIREMENTS

PLUMBING FIXTURES FLOW RATINGS. LOW FLOW PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:

- LAVATORY FAUCETS: MAXIMUM FLOW RATE - 2.5gpm/9.5lpm - WHEN TESTED IN ACCORDANCE WITH ASME A112.18.1/CSA B125.1.
- KITCHEN FAUCETS: MAXIMUM FLOW RATE - 2.5gpm/9.5lpm - WHEN TESTED IN ACCORDANCE WITH ASME A112.18.1/CSA B125.1.
- SHOWERHEADS: MAXIMUM FLOW RATE - 2.5gpm @ 80psi/9.5lpm @ 552kPa- WHEN TESTED IN ACCORDANCE WITH ASME A112.18.1/CSA B125.1.
- PUBLIC LAVATORY FAUCETS OTHER THAN METERING: MAXIMUM FLOW RATE - 0.5gpm/1.9lpm. FAUCETS LOCATED IN RESTROOMS INTENDED FOR USE BY THE GENERAL PUBLIC SHALL BE EQUIPPED WITH A METERING DESIGNED TO CLOSE BY SPRING OR WATER PRESSURE WHEN LEFT UNATTENDED (SELF-CLOSING). EXEMPTIONS: (1. Where designed and installed for use by persons with a disability. 2. where installed in day care centers, for use primarily by children under 6 yea.

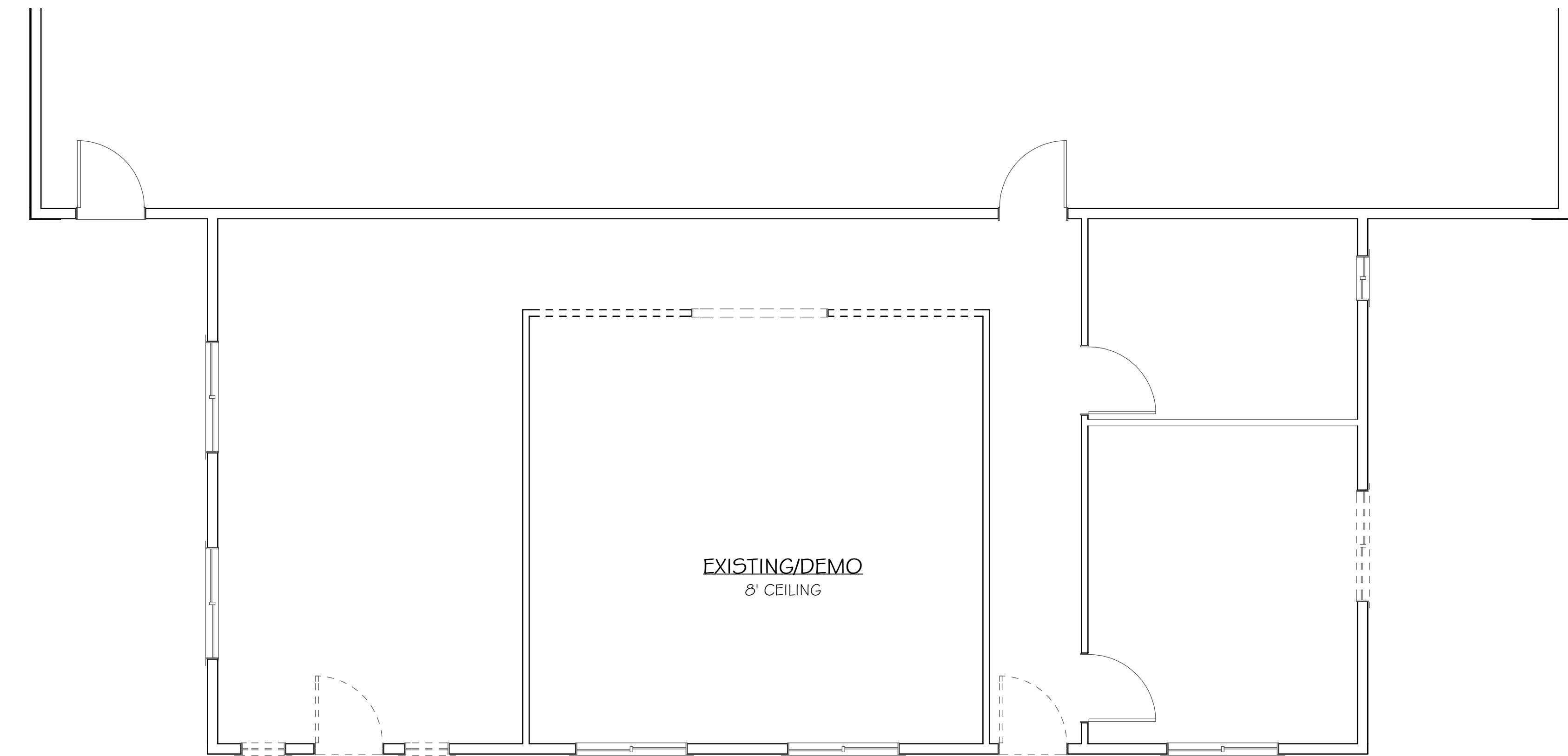
ELECTRICAL NOTES

- OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR PANELS, OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS, GARAGES SHALL BE G.F.I OR G.F.C.I. PER ELECTRICAL CODE REQUIREMENTS.
- PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ALONG WITH A CARBON MONOXIDE DETECTOR. CONNECT SMOKE DETECTORS TO POWER AND INTER-CONNECT SMOKE/CARBON MONOXIDE DETECTORS SO THAT WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.

ARCHITECTURAL NOTES:

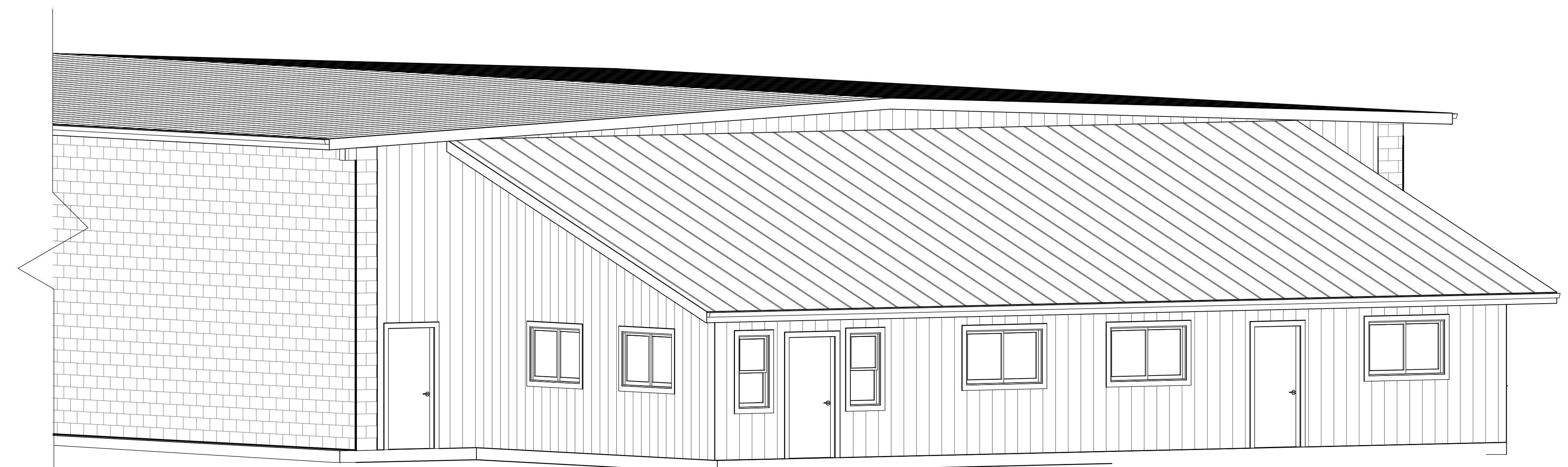
(SOME ARCHITECTURAL NOTES ARE FOR REFERENCE ONLY AND SHOULD BE VERIFIED BY THOSE PERFORMING THE WORK AND PERMIT SUBMITTALS)

- DEFERRED SUBMITTALS
 - Proposed deferred submittals are:
 - Electrical Layout
 - Plumbing Layout
 - Mechanical Layout
- OCCUPANCY LOAD - ADDITION (GROUP M)
 - Total building area: BLDG. #1 1,248 FT² BLDG. #2 2,865 SF
 - Occupant Factor - VARIABLE
 - Total building occupants - BLDG. #1 - 18 BLDG. #2 37
- EGRESS REQUIREMENTS
 - The maximum travel distance per IBC 1017.2 has been shown on the plans and is not greater than 54'-0". Occupancy "B" has a maximum allowable of 200'-0" without a sprinkler system.
 - Egress Illumination shall be provided per IBC 1008.
 - Egress Illumination shall be shown on the electrical plan and shall be a deferred submittal.
 - Exit SIGNAGE shall be provided per IBC 1013.
- PLUMBING
 - Hot water supply piping shall comply with WSEC Section C 404 (Service Water Heating).
 - Revised plumbing shall be shown on the plumbing plan and shall be a deferred submittal.
- INTERIOR LIGHTING AND POWER SYSTEMS
 - Lighting and power systems shall comply with WSEC chapter 5 section 503.
 - Lighting and power systems shall be shown on the electrical plan and shall be a deferred submittal.
- GLAZING
 - All new glazing in windows shall comply with WSEC chapter 5 section C503.3.2.
 - Exterior Wall Area = BLDG #1 - 1,216 FT² BLDG. #2 - 1,792
 - TOTAL Glazing Area = BLDG. #1 - 49 FT² BLDG. #2 - 80 FT²
 - BLDG. #1 1,216 FT² x 0.30 = 365 FT² of allowable glazing per WSEC C402.4.1
 - 365 FT² > 49 FT² = Therefore acceptable.
 - BLDG. #2 1,792 FT² x 0.30 = 538 FT² of allowable glazing per WSEC C402.4.1
 - 538 FT² > 80 FT² = Therefore acceptable.
- VENTILATION
 - Bathroom ventilation per IMC Table 403.3.1.1
 - Required ventilation is (50/70) CFM/FT².
 - Flow rates are per water closet or urinal. The higher rate shall be provided where the exhaust system is designed to operate intermittently. The lower rate shall be permitted only where the exhaust system is designed to continuously while occupied.
 - Bathroom ventilation shall be shown on the electrical plan and shall be a deferred submittal.
- ACCESSIBILITY
 - Reach ranges shall comply with Section 308 ICC A117.1 2017.
 - Toilet rooms shall comply with Section 603 ICC A117.1 2017.
 - Toilet stalls shall comply with Section 604 ICC A117.1 2017.
 - Urinals shall comply with Section 605 ICC A117.1 2017.
 - Latrines and sinks shall comply with Section 606 ICC A117.1 2017.
 - Built-in furnishings and equipment shall comply with Chapter 9 ICC A117.1 2017.
 - Accessible elements shall be identified as per Section 1111 in the IBC.



EXISTING/DEMO
FIRST FLOOR

1/4 in = 1 ft



REVISION TABLE			
NUMBER	DATE	REV. BY	DESCRIPTION

PROJECT #
23-007

DRAWN BY:
CLA

PRINT DATE:
4/9/2025

SHEET NO:
A-1.1

2600 W REYNOLDS -
ADDITION
2600 W REYNOLDS AVE
CENTRALIA, WA. 98531

EXODUS ENGINEERING
PHONE: (360) 345-1566
LUKE@EXODUSENGINEER.COM



STRUCTURAL NOTES

(THE FOLLOWING APPLY UNLESS DETAILED OR SPECIFIED OTHERWISE ON THE PLANS)

ENGINEERING DOCUMENT LICENSE

EXODUS ENGINEERING RETAINS COPYRIGHTS TO THE ENGINEERING DEPICTED ON THESE DRAWINGS AND CALCULATIONS, AND SHALL NOT BE RE-ISSUED OR RE-USED WITHOUT THE EXPRESS WRITTEN CONSENT OF EXODUS ENGINEERING, INC.

GENERAL NOTES:
PLEASE VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ANY MODIFICATIONS TO THE STRUCTURE MUST BE REVIEWED AND APPROVED BY EXODUS ENGINEERING. ALL METHODS, MATERIALS, AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (IBC) 2021 EDITION.

DESIGN LOADS

ROOF: 25 PSF SNOW, 18 PSF DEAD
EXTERIOR WALLS: 12 PSF
INTERIOR WALLS: 8 PSF
FLOOR LIVE: N/A
FLOOR DEAD: N/A
BASIC WIND SPEED: 100 MPH (3-SEC)
EXPOSURE: "B"
SEISMIC: DESIGN CAT. "D", S5 = 1.23, S1 = 0.50, SDS = 0.99
IMPORTANCE: IE = 1.0
SITE CLASS: "D"
SEISMIC RESPONSE: R = 6.5
BEARING DEPTH: 12' U.N.O.
SOIL BEARING: 1,500 PSF ALLOWABLE

FOUNDATIONS:
FOOTINGS SHALL BEAR ON UNDISTURBED SOIL, COMPAKTED FILL MATERIAL, OR CONTROLLED LOW-STRENGTH MATERIAL (CLSM) PER IBC 1809.2.

REINFORCING STEEL:

MINIMUM GRADE 60, LAP ALL SPICES A MINIMUM OF 32 BAR DIAMETERS OR 1.8". LAP HORIZONTAL STEEL AT CORNERS AND INTERSECTIONS IN FOOTINGS AND WALLS WITH CORNER BARS. MINIMUM CONCRETE COVER FOR REINFORCING STEEL PER ACI 318:
• INTERIOR FACES OF SLABS OR WALLS = 1-1/2"
• EXPOSED TO WEATHER OR EARTH = 1-1/2" FOR #5 AND SMALLER AND 2" FOR #6 AND LARGER.
• FOOTING BARS REQUIRE 3" COVER.

CONCRETE:

ALL CONCRETE MATERIALS AND PLACEMENT SHALL BE PER THE IBC 2021 SECTION 1901. MINIMUM DESIGN STRENGTH (F'c) SHALL BE 2,500 PSI, HOWEVER 3,000 PSI CONCRETE IS REQUIRED FOR WEATHERING PROTECTION WHERE CONCRETE IS EXPOSED TO THE WEATHER PER IBC. AIR ENTRAINMENT SHALL BE 5% +/- 1%, AGGREGATE SIZE = 7/8" MAXIMUM.

ANCHOR BOLTS

ALL ANCHOR BOLTS EMBEDDED IN CONCRETE OR MASONRY SHALL BE A307 UNO. POST-INSTALLED BOLTS INTO CONCRETE NOT OTHERWISE SPECIFIED SHALL BE SIMPSON TITEN HD 3/8"X8" ANCHORS. INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, INCLUDING MINIMUM EMBEDMENT AND EDGE DISTANCE REQUIREMENTS. EPOXY-GROUTED ITEMS SPECIFIED ON THE DRAWINGS SHALL BE GROUTED WITH SIMPSON AT-XP EPOXY.

PRESERVATIVE TREATED WOOD:

IBC 2304.1.2, WOOD USED ABOVE GROUND SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE CONDITIONS LISTED IN THE CODE.

METAL CONNECTORS

ALL METAL CONNECTORS COMING IN CONTACT WITH P.T. WOOD SHALL BE SIMPSON "Z-MAX", TRIPLE ZINC COATED, OR HOT DIPPED GALVANIZED FOR CORROSION RESISTANCE.

PREFABRICATED ROOF TRUSSES

PREFABRICATED ROOF TRUSSES TO BE DESIGNED FABRICATED AND INSTALLED PER MANUFACTURER'S DRAWINGS AND INSTALLATION INSTRUCTIONS. PREFABRICATED ITEMS TO BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER, FABRICATOR TO PROVIDE ALL TRUSS TO TRUSS CONNECTION DETAILS. ALL TEMPORARY AND PERMANENT BRACING REQUIRED FOR THE STABILITY OF THE TRUSS ELEMENTS UNDER GRAVITY LOADS AND IN-PLANE WIND OR SEISMIC LOADS SHALL BE DESIGNED BY THE TRUSS ENGINEER.

GLUED LAMINATED BEAMS (GLB)

(SEE EXPANDED WOOD FRAMING NOTES)

ENGINEERED LUMBER (LVL - PSL)

(SEE EXPANDED WOOD FRAMING NOTES)

1.0 WOOD

1.1 FRAMING LUMBER SHALL BE KILN DRIED OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH W.C.L.I.B. STANDARD GRADING RULES FOR WEST COAST LUMBER NO. 17, LATEST EDITION FURNISH TO THE FOLLOWING MINIMUM STANDARDS.

JOISTS: (2x, 3x, AND 4x MEMBERS)

DOUG-FIR NO. 2

POSTS AND TIMBERS:

DOUGLAS FIR NO. 1
MINIMUM BASIC DESIGN STRESS, $F_c = 1,000$ PSI

STUDS, PLATES, & MISCELLANEOUS LIGHT FRAMING

DOUGLAS FIR STUD GRADE

1.2 GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND ATC STANDARDS. EACH MEMBER SHALL BEAR AN A.I.T.C. IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN A.I.T.C. CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, $F_b = 2,400$ PSI, $F_v = 240$ PSI. ALL CONTINUOUS OR CANTILEVERED SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8 $F_b = 2,400$ PSI, $F_v = 240$ PSI.

1.3 PREFABRICATED ROOF TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH THE "DESIGN SPECIFICATION FOR METAL PLATE CONNECTED LOKING-SH" AS BEAOWNS:

TOP CHORD SNOW LOAD: 25 PSF

TOP CHORD DEAD LOAD: 8 PSF

BOTTOM CHORD DEAD LOAD: 10 PSF

TOTAL LOAD: 43 PSF

WOOD TRUSSES SHALL UTILIZE APPROVED CONNECTOR PLATES GANGLNAIL OR EQUAL. SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT AND ENGINEER FOR REVIEW PRIOR TO FABRICATION.

1.4 PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1-95 OR PS 2-92, ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD. SEE PLANS FOR THICKNESS, PANEL IDENTIFICATION INDEX AND NAILING REQUIREMENTS.

1.5 ALL WOOD PLATES IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED WITH AN APPROVED PRESERVATIVE, PROVIDE 2 LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER BETWEEN UNTREATED LEDGERS, BLOCKING, ETC. AND CONCRETE OR MASONRY.

1.6 TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NO. C-C2021 (or newer) EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307, PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE COMMON. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED. ALL JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS OR IUS" HANGERS.

1.7 ALL CONNECTIONS IN CONTACT WITH PRESSURE TREATED WOOD, SHALL BE OF HOT DIPPED GALVANIZED STEEL OR STAINLESS STEEL. HOT DIPPED GALVANIZED FASTENERS SHOULD CONFORM TO ASTM STANDARD 153, AND HOT DIPPED GALVANIZED CONNECTORS SHOULD CONFORM TO ASTM STANDARD A653 (CLASS G-185). STAINLESS STEEL FASTENERS AND CONNECTORS SHOULD BE TYPE 304 OR 316. NOTE: ELECTROPLATED GALVANIZED FASTENERS AND CONNECTORS ARE NOT TO BE USED WITH PRESSURE TREATED WOOD. SIMPSON PRODUCT FINISHES CORRESPONDING TO THE ABOVE REQUIREMENTS ARE ZMAX (HOT DIPPED GALVANIZED) AND 55T300 (STAINLESS STEEL).

1.8 WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
6d	2"	0.113"
8d	2 1/8"	0.131"
10d	3"	0.148"
12d	3 1/4"	0.148"
16d	3 1/2"	0.162"
20d	4"	0.192"

If Contractor proposes the use of alternate nails, they shall submit nail specifications to the engineer of record prior to construction for review and approval. Fasteners per ESR 1539 shall be adequate alternates.

B. NAILS - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING.

1.9 WOOD FRAMING NOTES - THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS

A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.10.1 OF THE INTERNATIONAL BUILDING CODE. UNLESS OTHERWISE NOTED, ALL NAILS SHALL BE AS SPECIFIED ABOVE. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD.

B. WALL FRAMING: ALL STUD WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 1 1/2" O.C. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF WALLS AND AT EACH SIDE OF ALL OPENINGS. ALL INTERIOR AND EXTERIOR LOAD BEARING HEADERS NOT SPECIFIED OR OTHERWISE NOTED ON THE PLAN ARE TO BE EITHER A 4x10 OR 6x8 DF#2 WITH AT LEAST ONE CRIPLE AND ONE KING STUD FOR EACH END AT OPENINGS LESS THAN 5' WIDE AND TWO CRIPLES AND ONE KING STUD FOR ALL OTHERS. ALL WINDOW OPENINGS SHALL HAVE A DOUBLE SILL PLATE BELOW THE OPENING. TWO 2x6 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE SOLID BLOCKING BETWEEN STUDS AT 4' O.C. ON ALL WALLS OVER 10' IN HEIGHT.

WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOE NAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d AT 1 1/2" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE (12) 16d NAILS EVENLY SPACED EACH SIDE OF JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH 16d NAILS AT 6" O.C. STAGGERED OR BOLTED TO CONCRETE WITH 5/8" DIAMETER A307 ANCHOR BOLTS (7" MINIMUM EMBEDMENT) @ 4'-0" O.C. UNLESS INDICATED OTHERWISE. BOLTS SHALL HAVE A MINIMUM 3 1/2" X 1/4" PLATE WASHER. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH 16d @ 6" O.C. STAGGERED. REFER TO THE PLANS AND SHEAR WALL SCHEDULE FOR REQUIRED SHEATHING AND NAILING. WHEN NOTED OTHERWISE, PROVIDE GYPSUM WALLBOARD ON INTERIOR SURFACES NAILED TO ALL STUDS, TOP AND BOTTOM PLATES AND BLOCKING WITH NAILS AT 7" O.C. USE 5d COOLER NAILS FOR 1/2" GWF AND 6d COOLER NAILS FOR 5/8" GWF. PROVIDE 1/2" (NOM) APA RATED SHEATHING (SPAN RATING 24/0) ON EXTERIOR SURFACES NAILED AT ALL PANEL EDGES (BLOCK UNSUPPORTED EDGES), TOP AND BOTTOM PLATES WITH NAILS @ 6" O.C. AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH NAILS @ 12" O.C. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOISTS LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS.

TOE NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH 16d @ 12" O.C. STAGGERED. ATTACH EACH RAFTERS AT BEARING LINES WITH A SIMPSON H2.5T. UNLESS OTHER METAL CONNECTIONS ARE PROVIDED.

3. FOR FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOISTS LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS.

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4. FOR FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOISTS LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS.

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5. FOR FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOISTS LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS.

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6. FOR FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOISTS LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS.

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7. FOR FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOISTS LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS.

TOE NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH 16d @ 12" O.C. STAGGERED. ATTACH EACH RAFTERS AT BEARING LINES WITH A SIMPSON H2.5T. UNLESS OTHER METAL CONNECTIONS ARE PROVIDED.

8. FOR FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOISTS LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS.

TOE NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH 16d @ 12" O.C. STAGGERED. ATTACH EACH RAFTERS AT BEARING LINES WITH A SIMPSON H2.5T. UNLESS OTHER METAL CONNECTIONS ARE PROVIDED.

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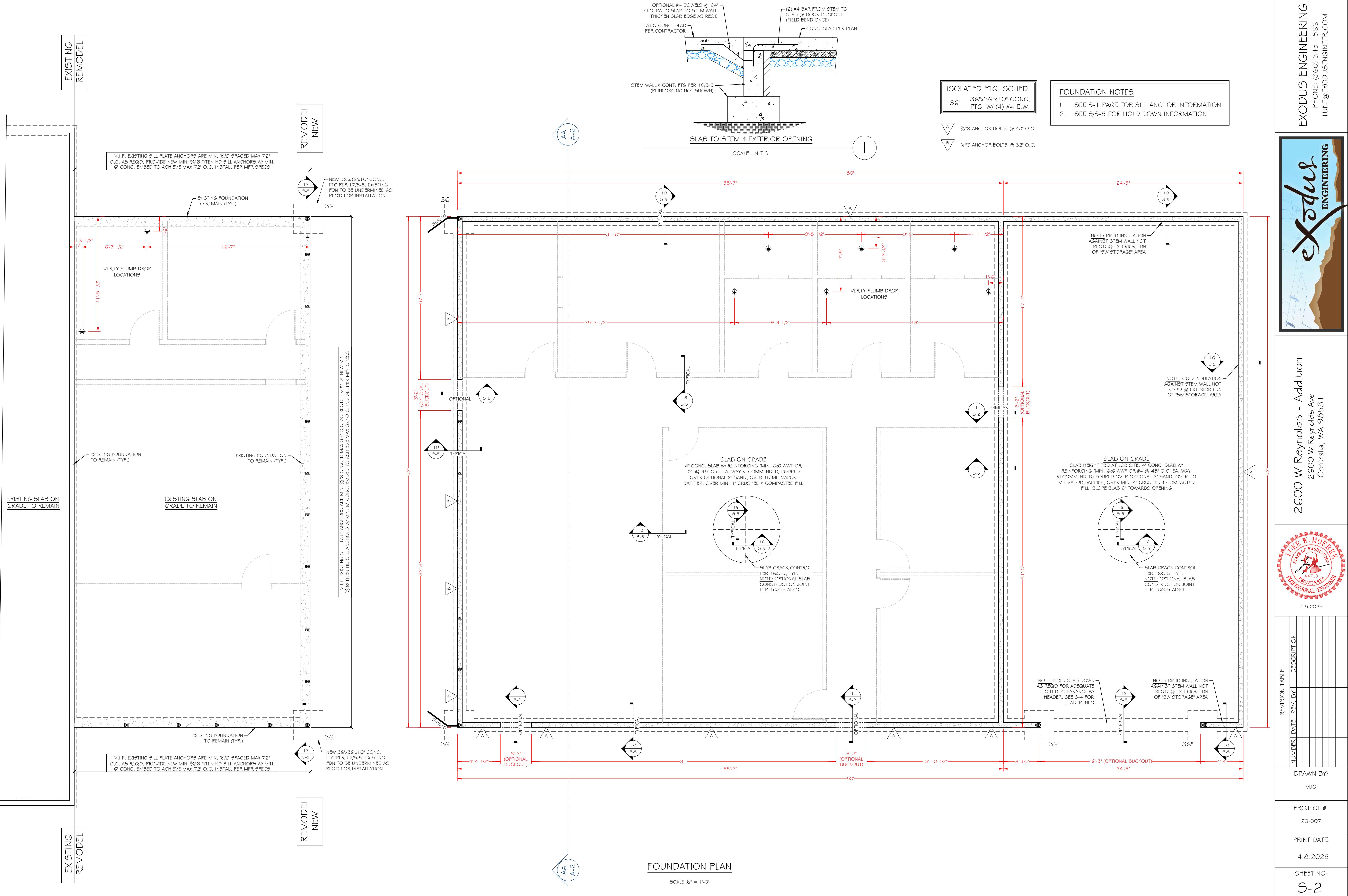
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*** VERIFY ALL CONDITIONS & DIMENSION BEFORE CONSTRUCTION BEGINS ***

EXISTING
REMODEL

REMODEL
NEW

REMODEL
NEW

*** VERIFY ALL CONDITIONS & DIMENSIONS BEFORE CONSTRUCTION BEGINS ***

NEW AREAS

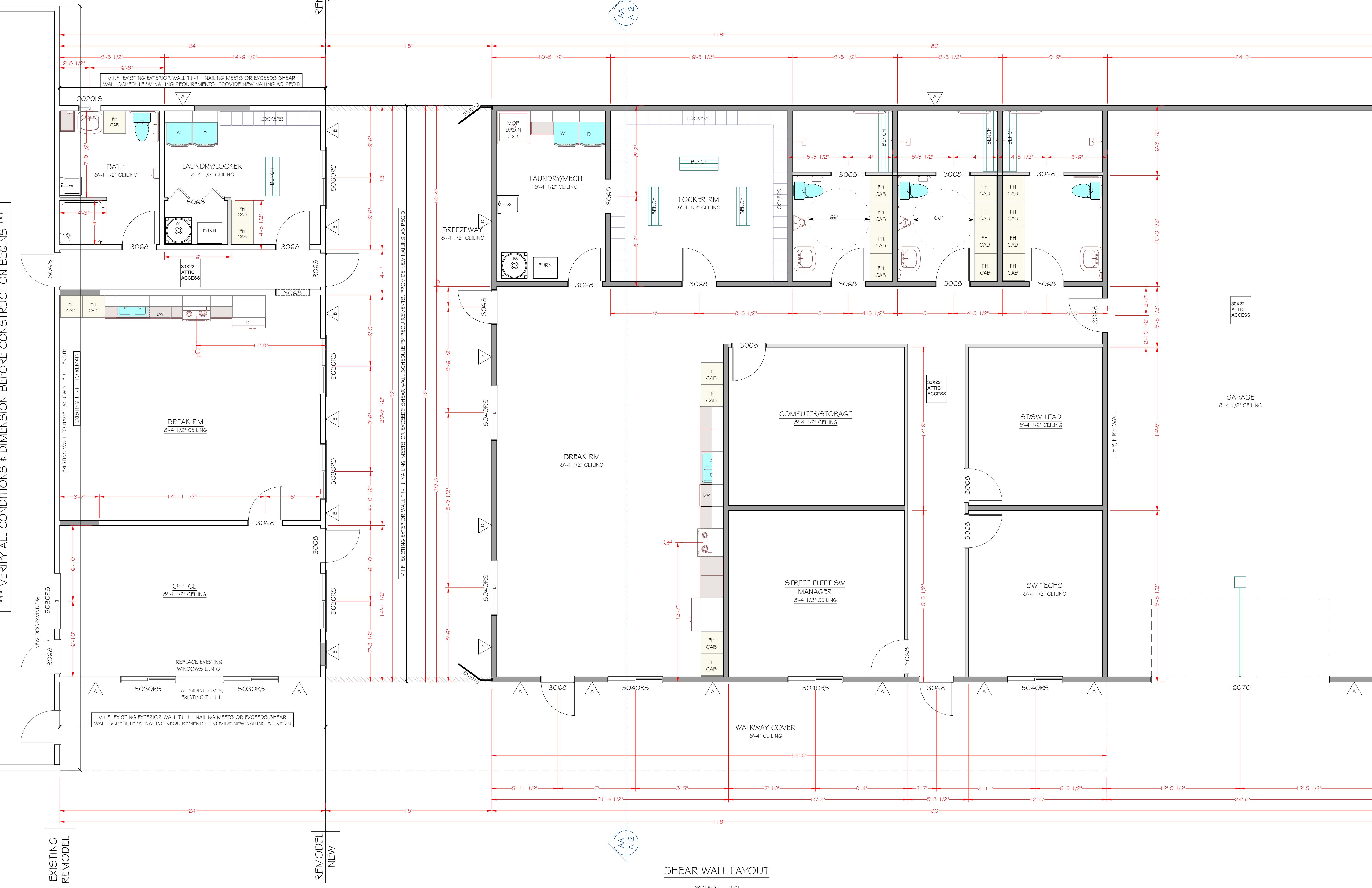
- FIRST FLOOR = 2,866 SF
- GARAGE = 1,272 SF
- BREEZEWAY = 780 SF

WALL LEGEND

- NEW 2x4 STUD WALL
- NEW 2x6 STUD WALL
- EXISTING
- DEMO WALLS/DOORS/WINDOWS

SHEAR WALL NOTES

- SEE 9/5-5 FOR HOLD DOWN INFORMATION
- SEE SHEAR WALL SCHEDULE ON 5-1 FOR NAILING AND ANCHOR SPACING



SHEAR WALL LAYOUT

SCALE: X' = 1'-0"

EXODUS ENGINEERING
PHONE: (360) 345-1566
LUKE@EXODUSENGINEER.COM



2600 W Reynolds - Addition
2600 W Reynolds Ave
Centralia, WA 98531



REVISION TABLE

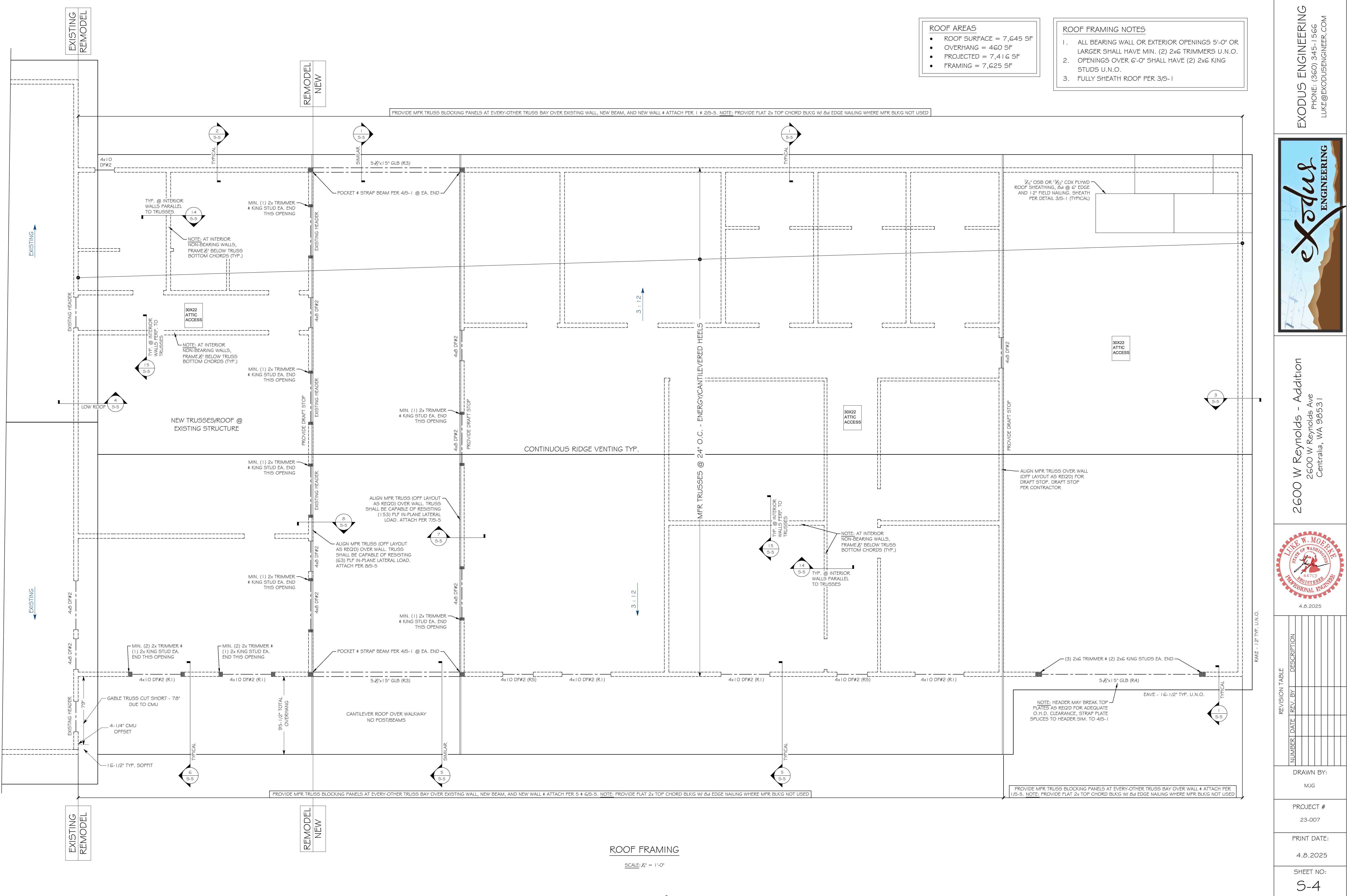
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DRAWN BY:
MJG

PROJECT #:
23-007

PRINT DATE:
4.8.2025

SHEET NO:
S-3



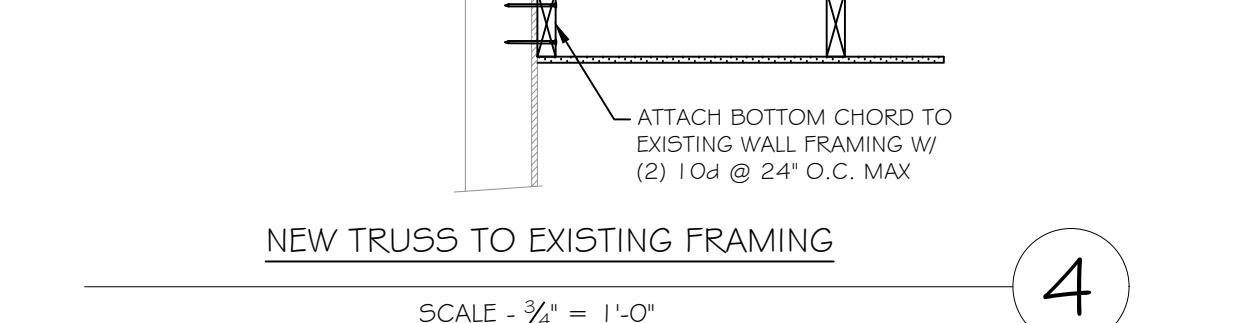
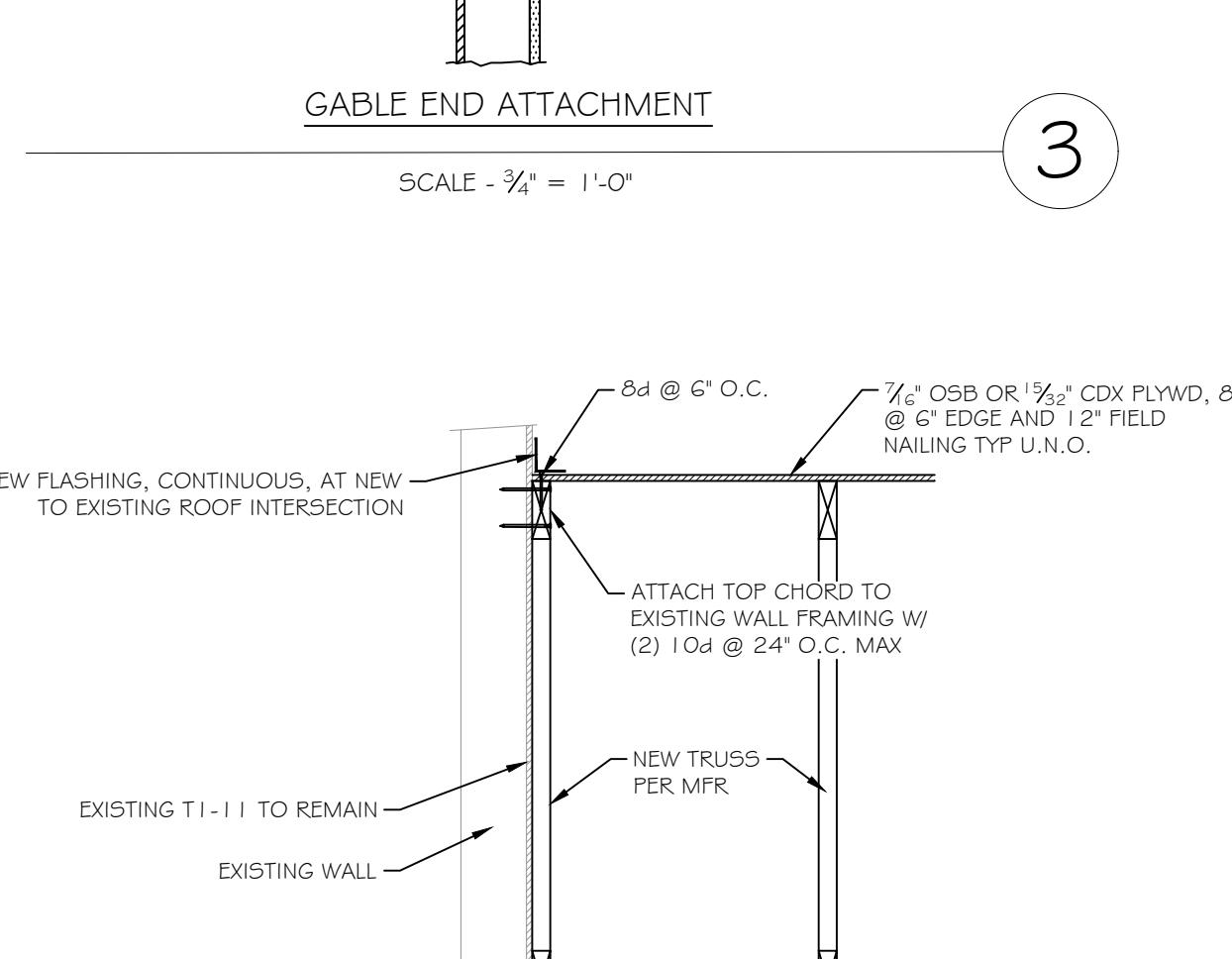
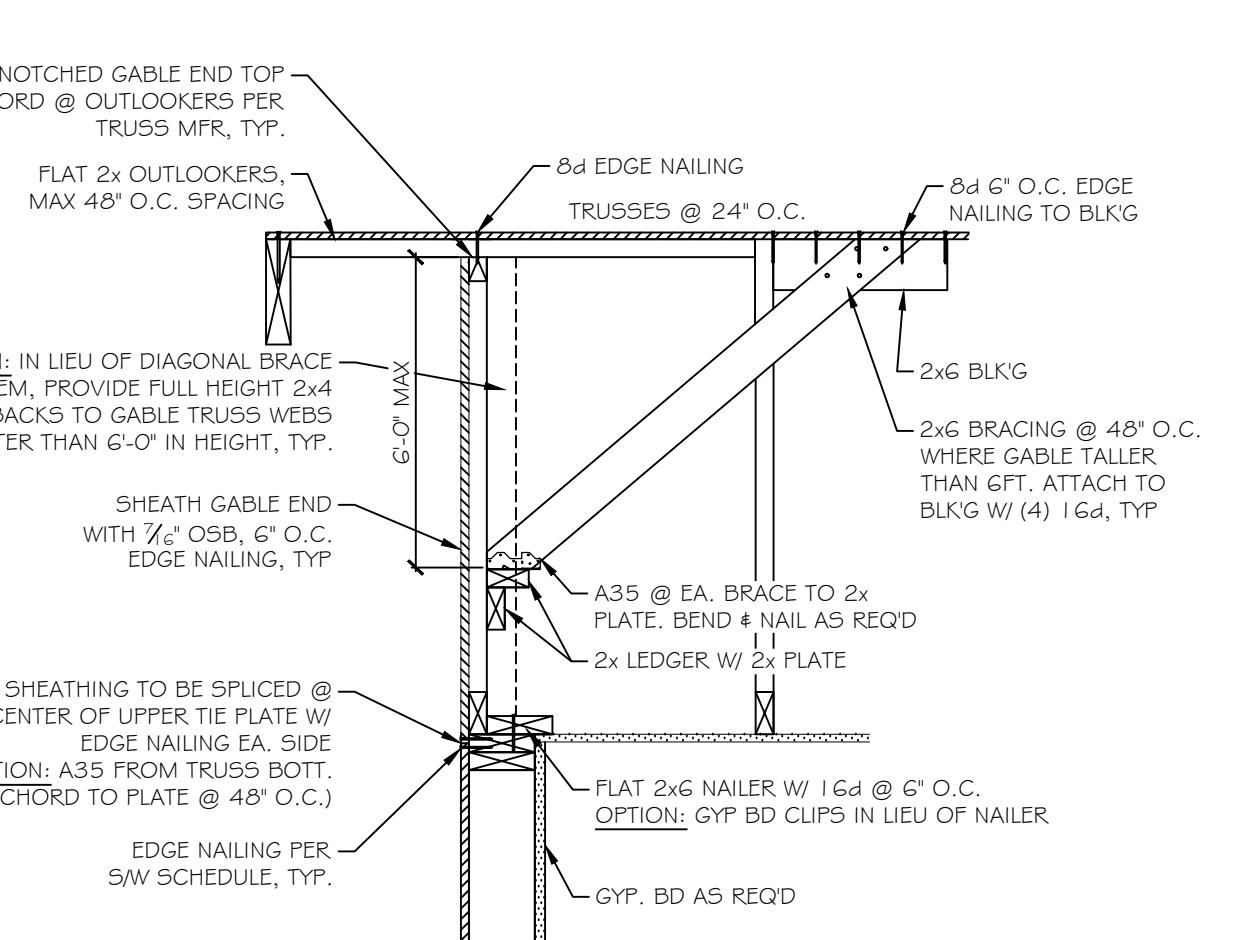
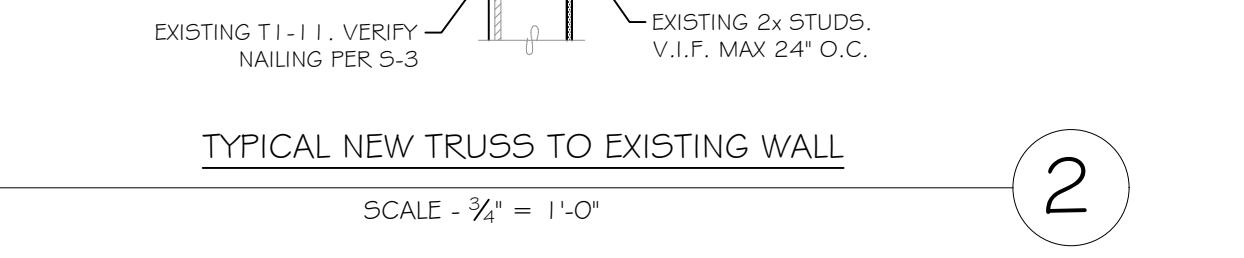
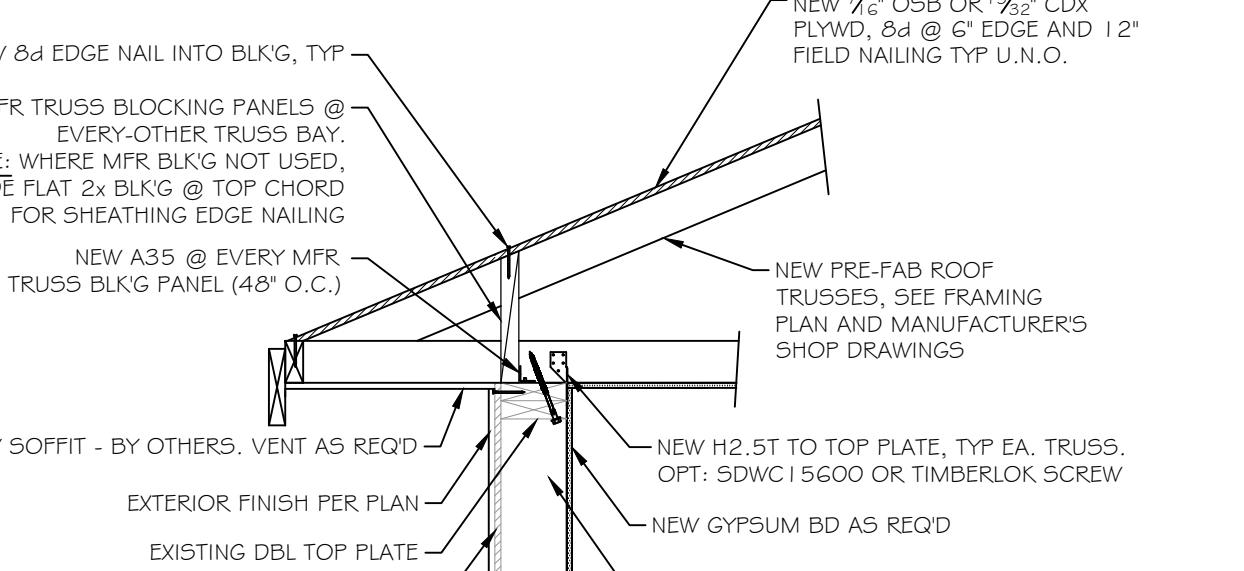
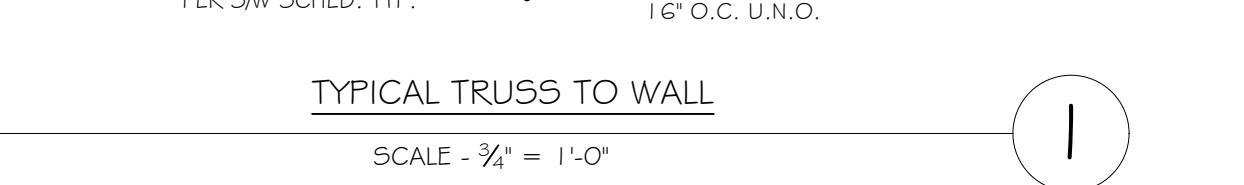
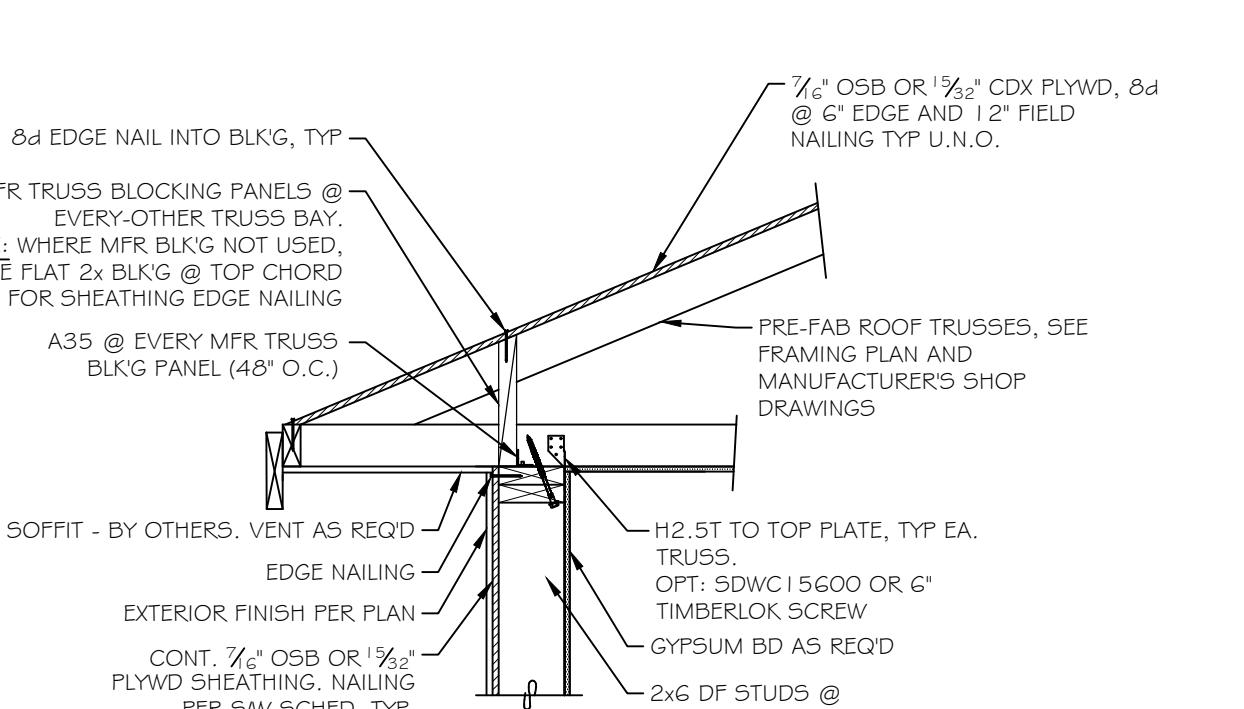
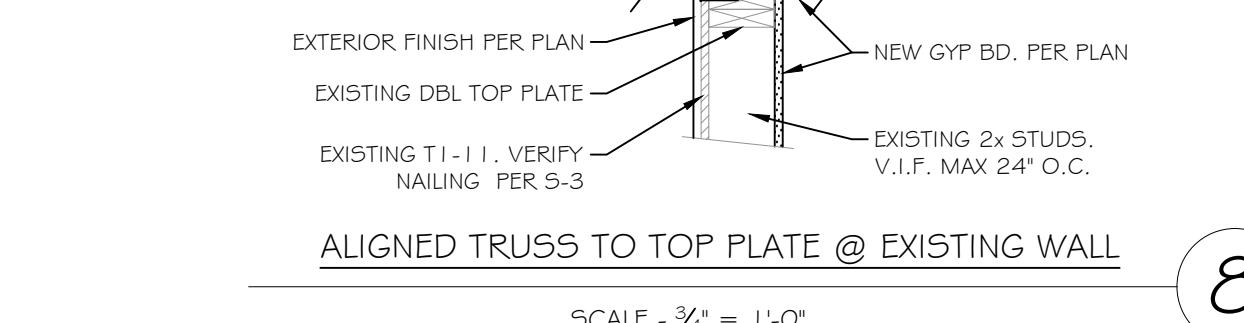
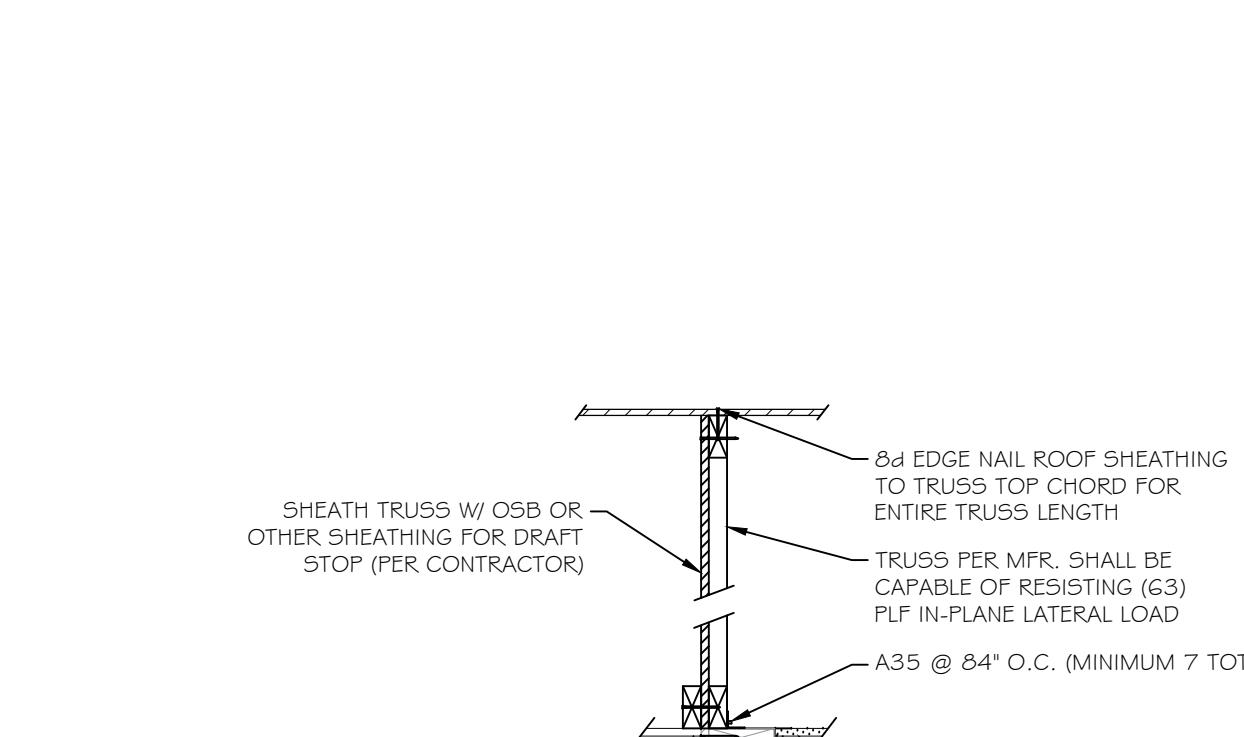
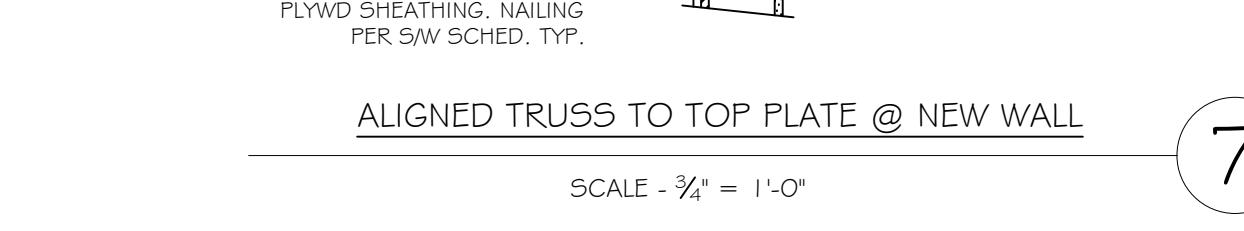
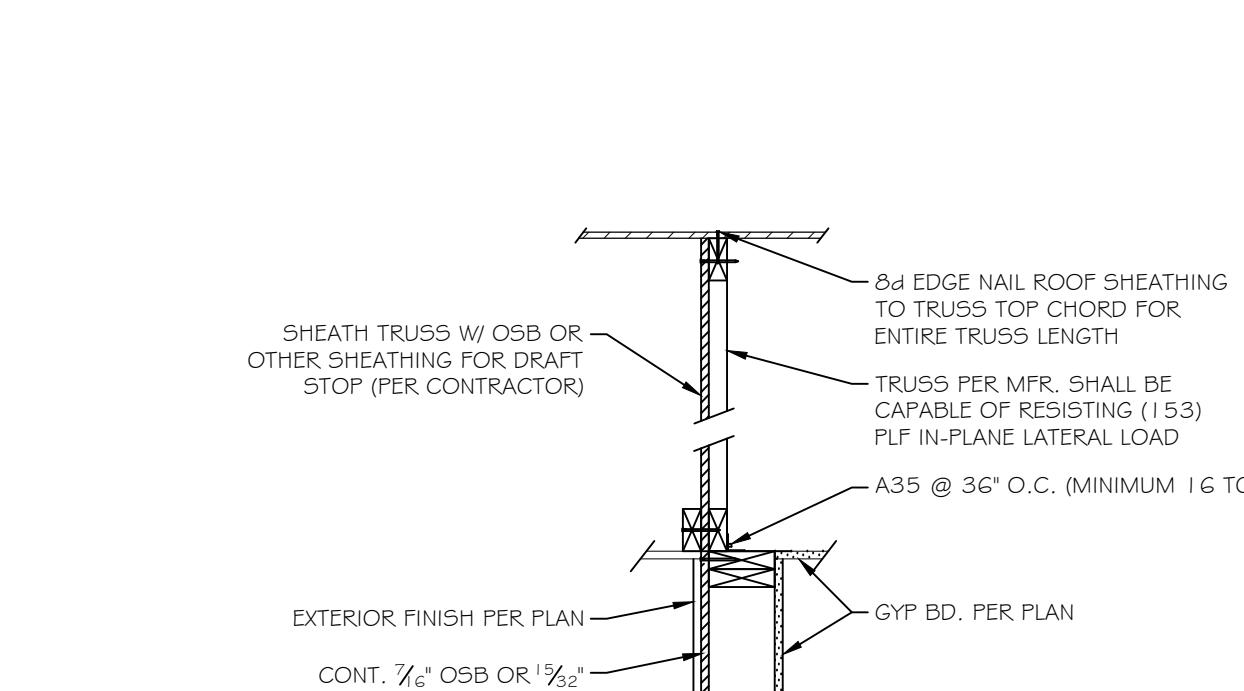
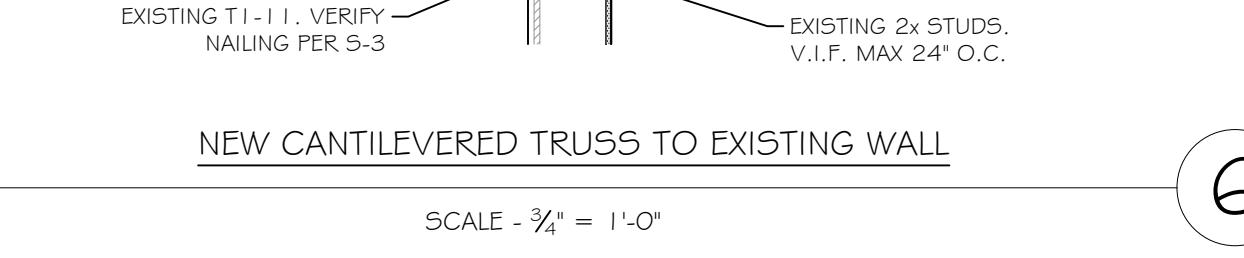
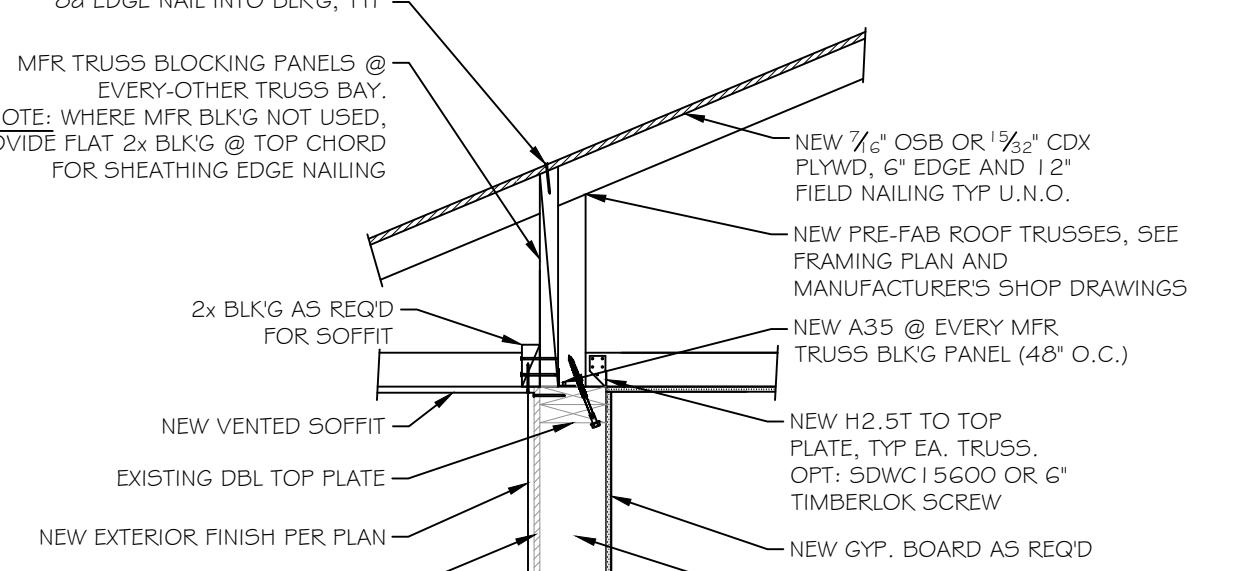
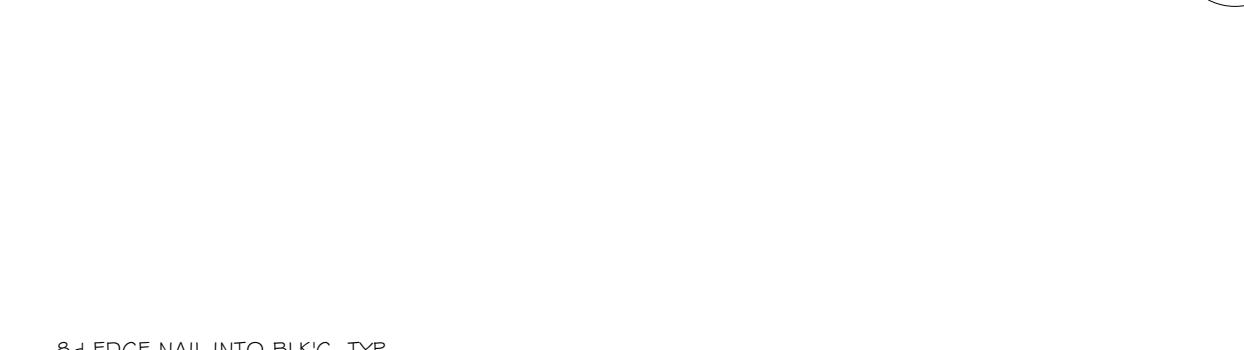
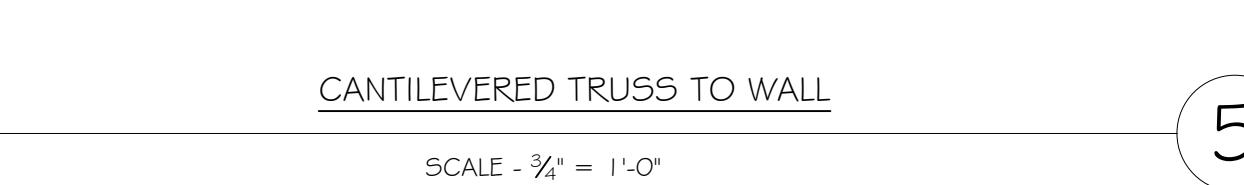
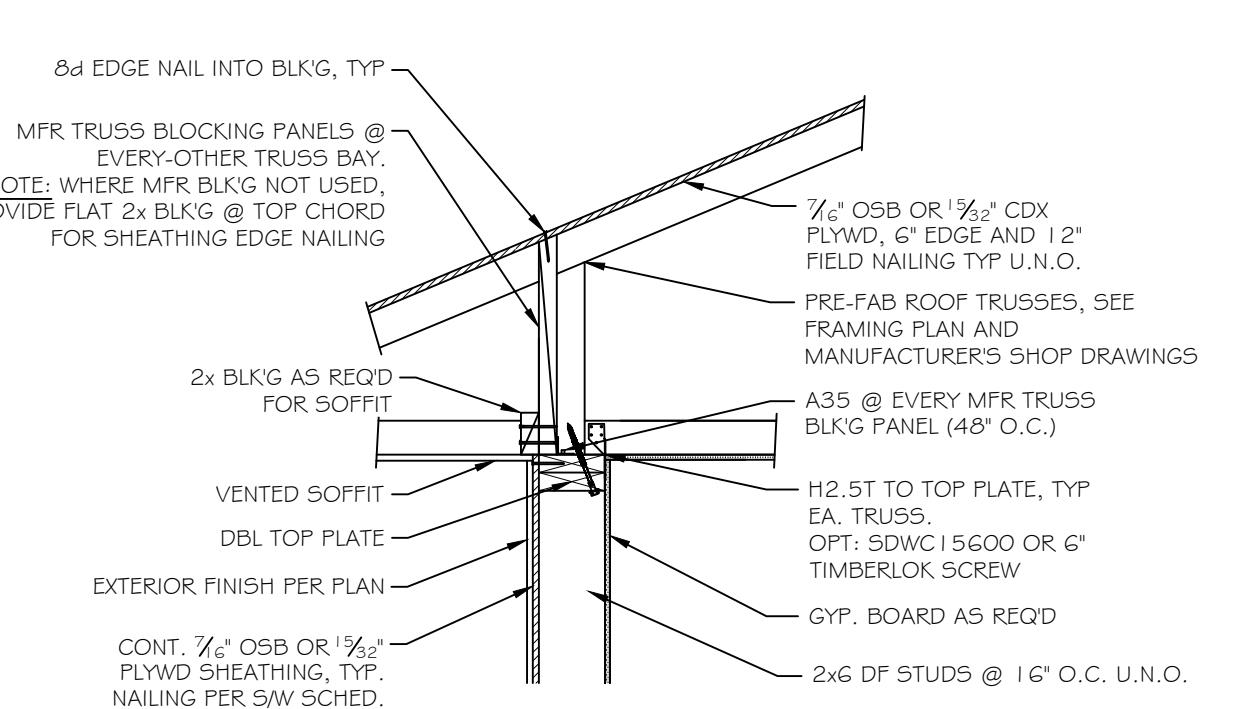
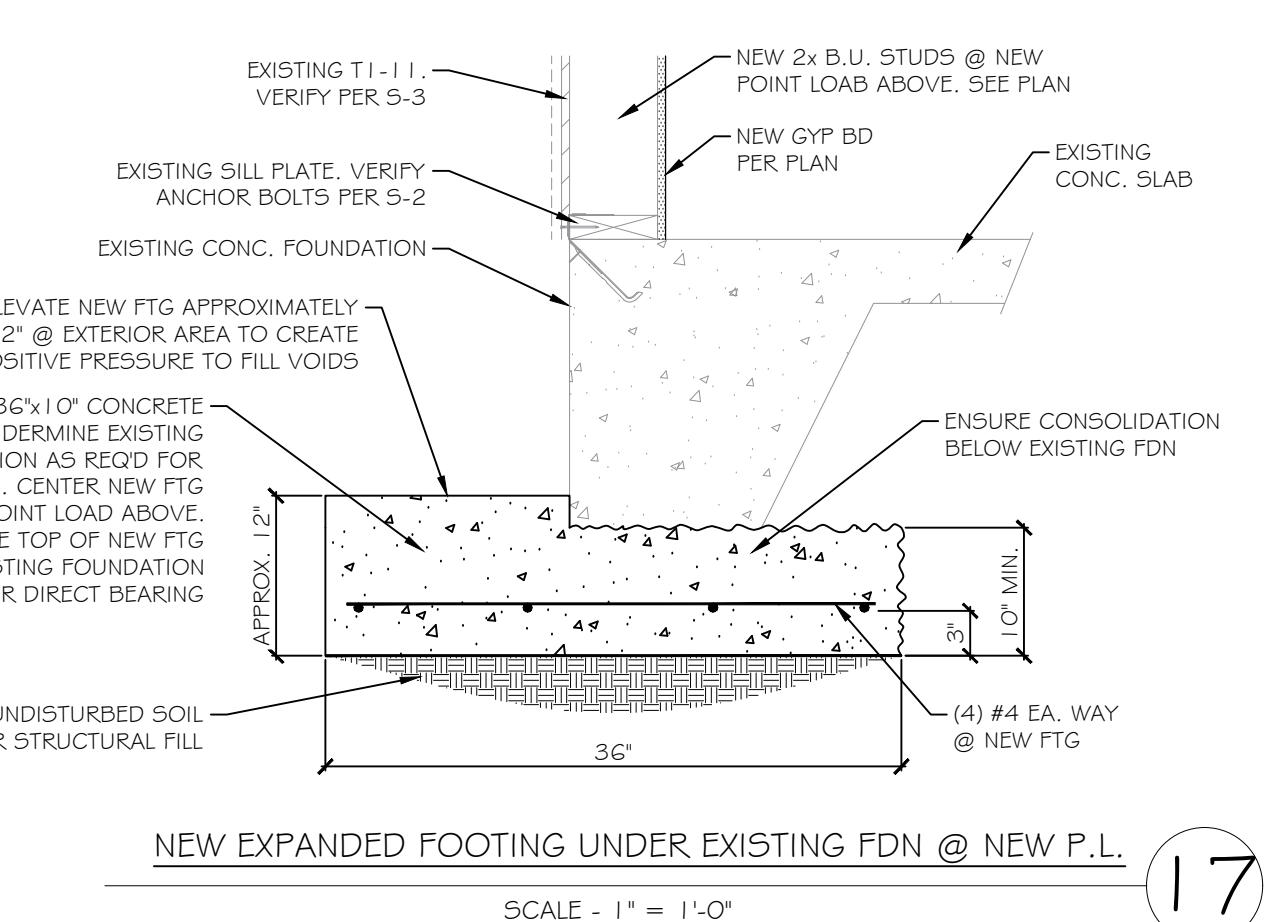
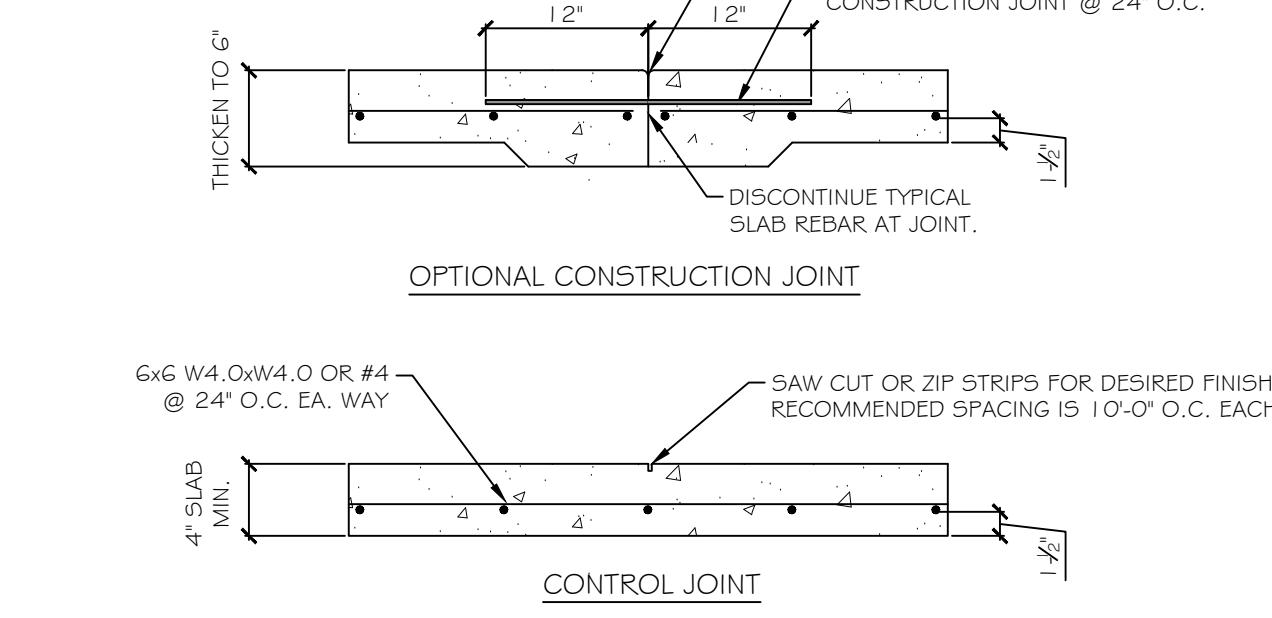
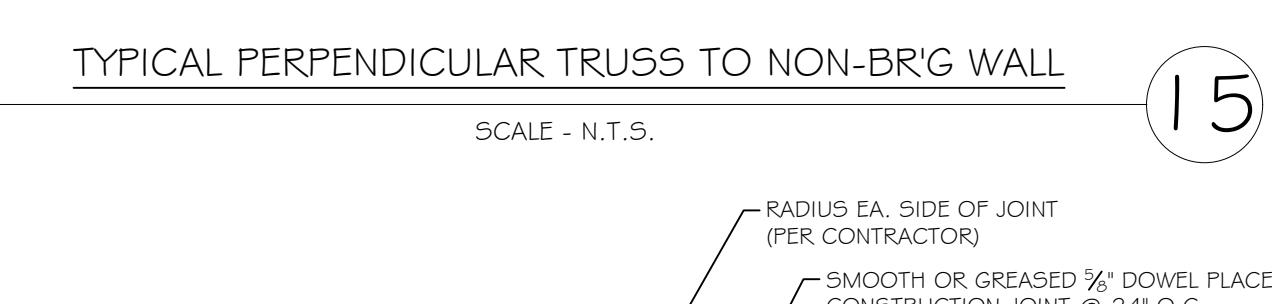
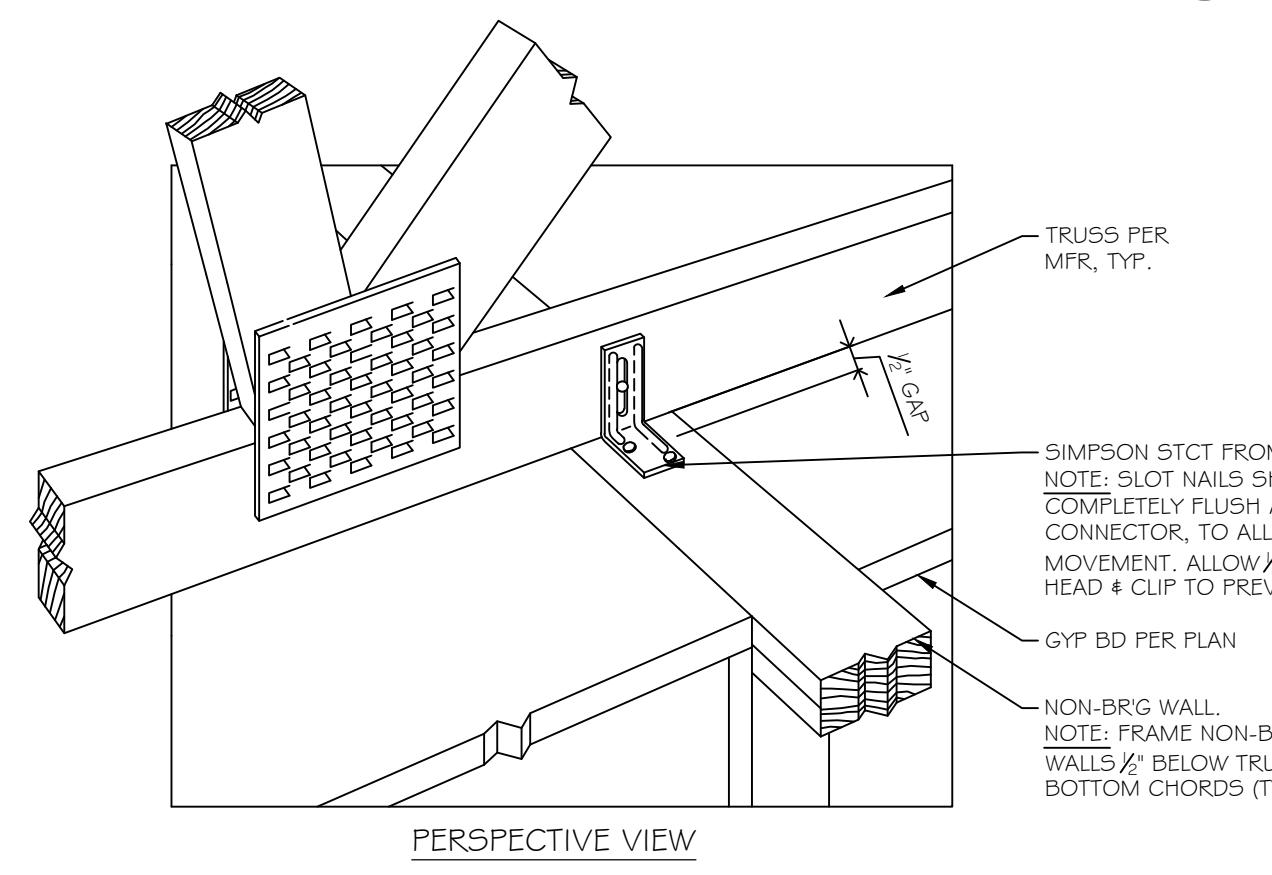
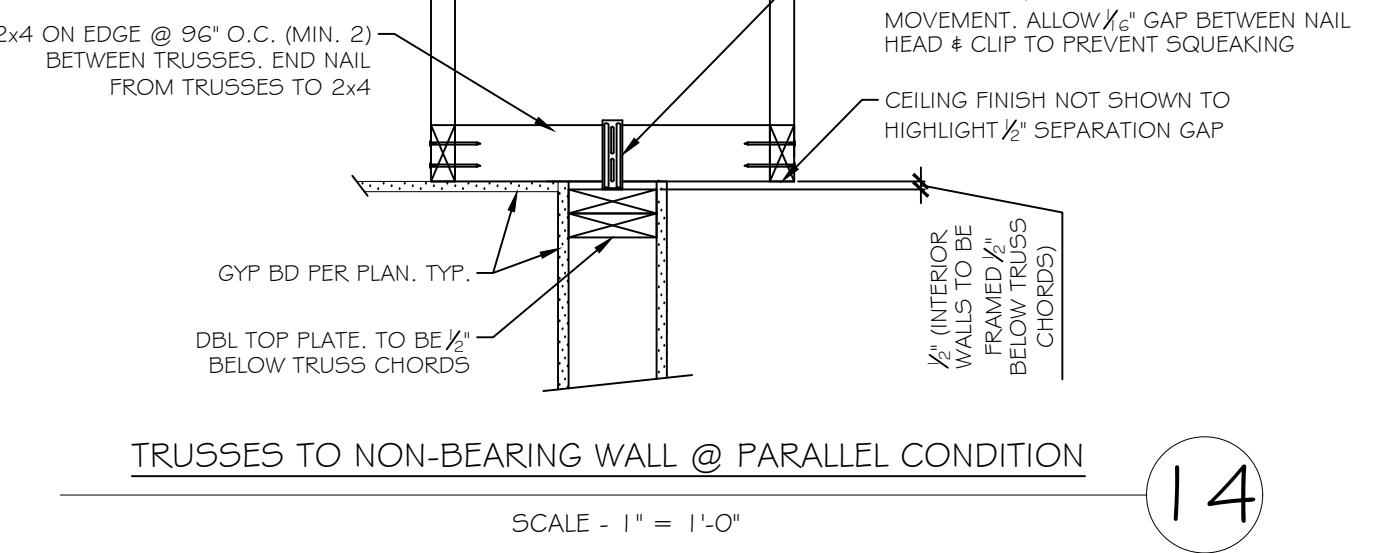
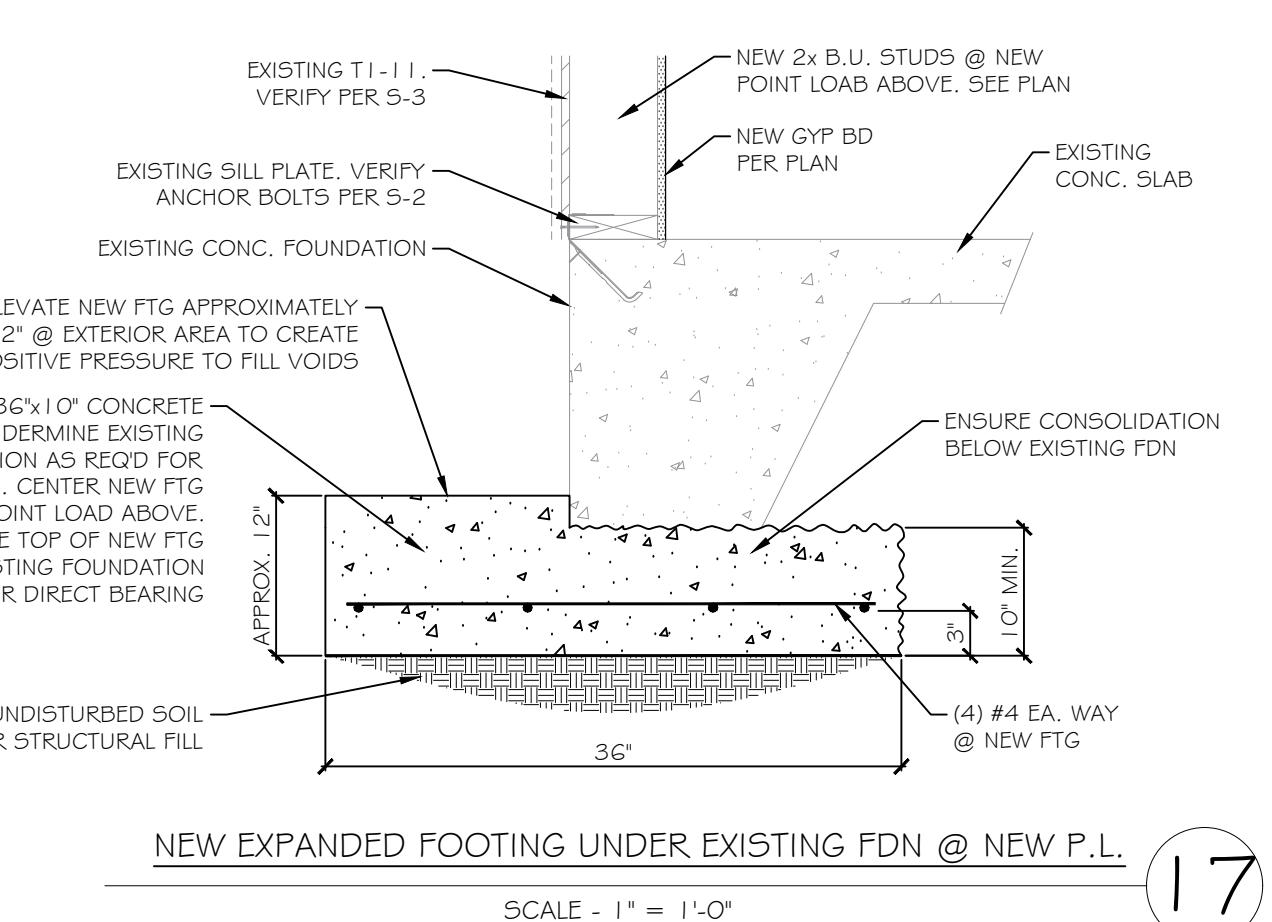
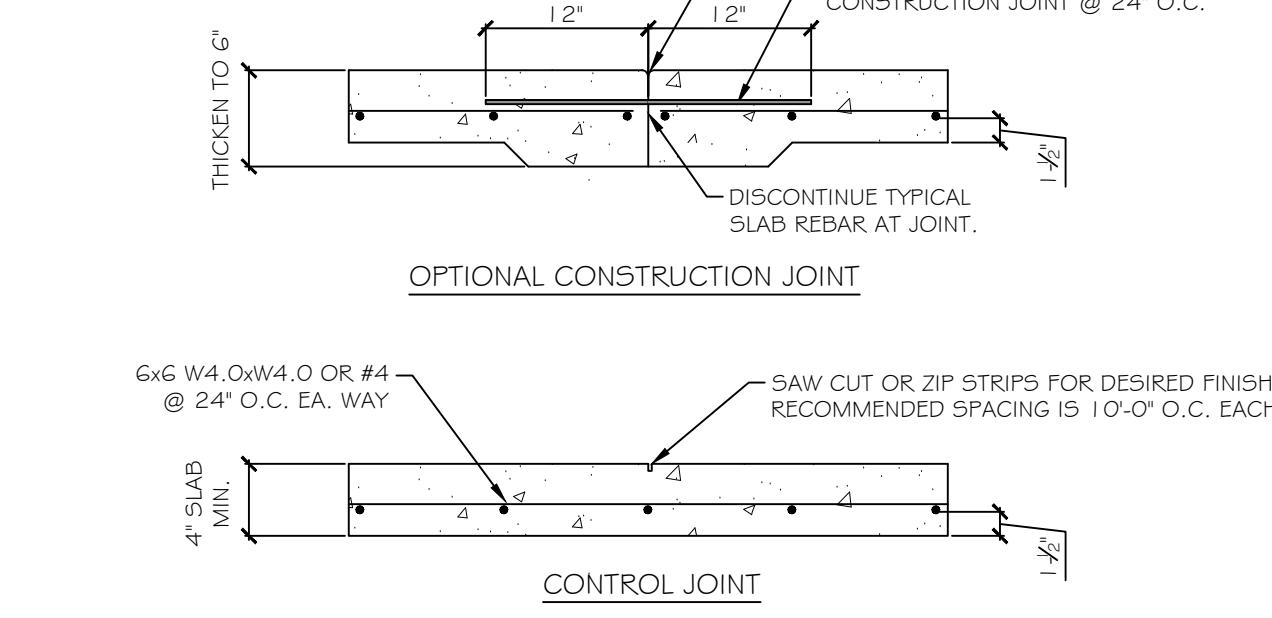
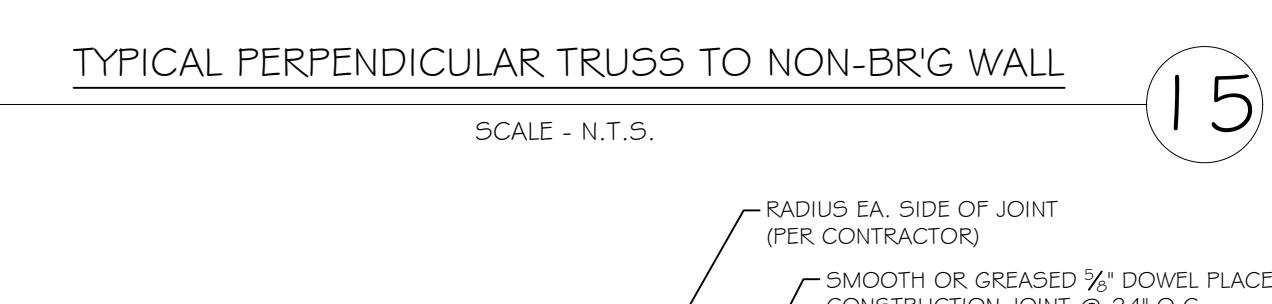
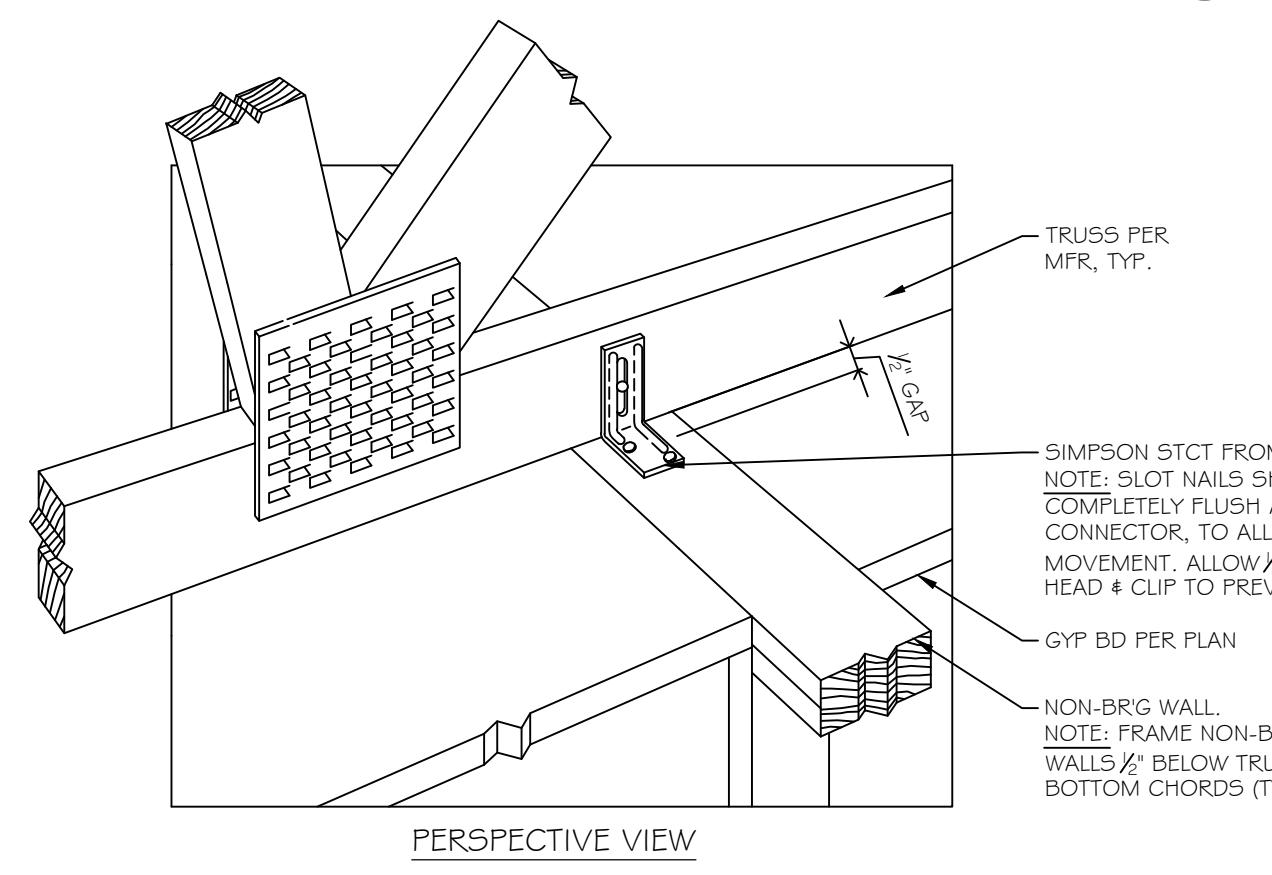
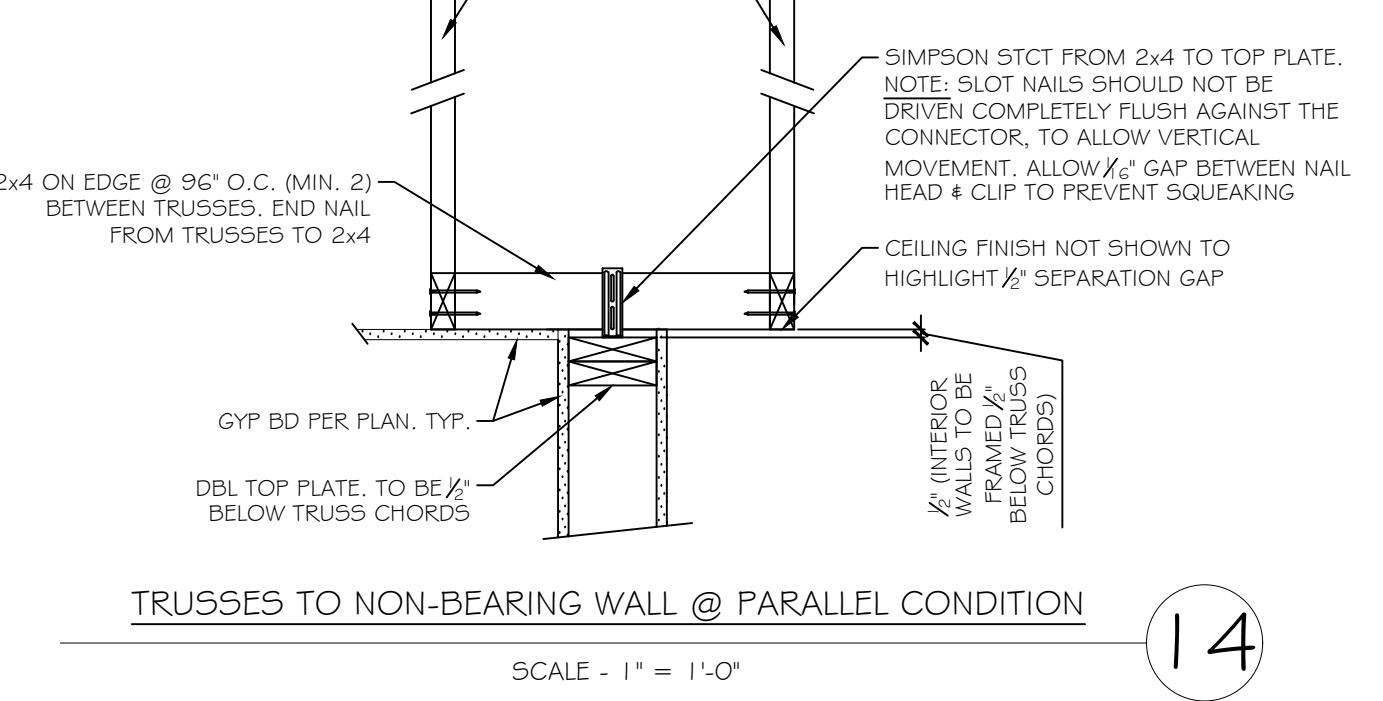
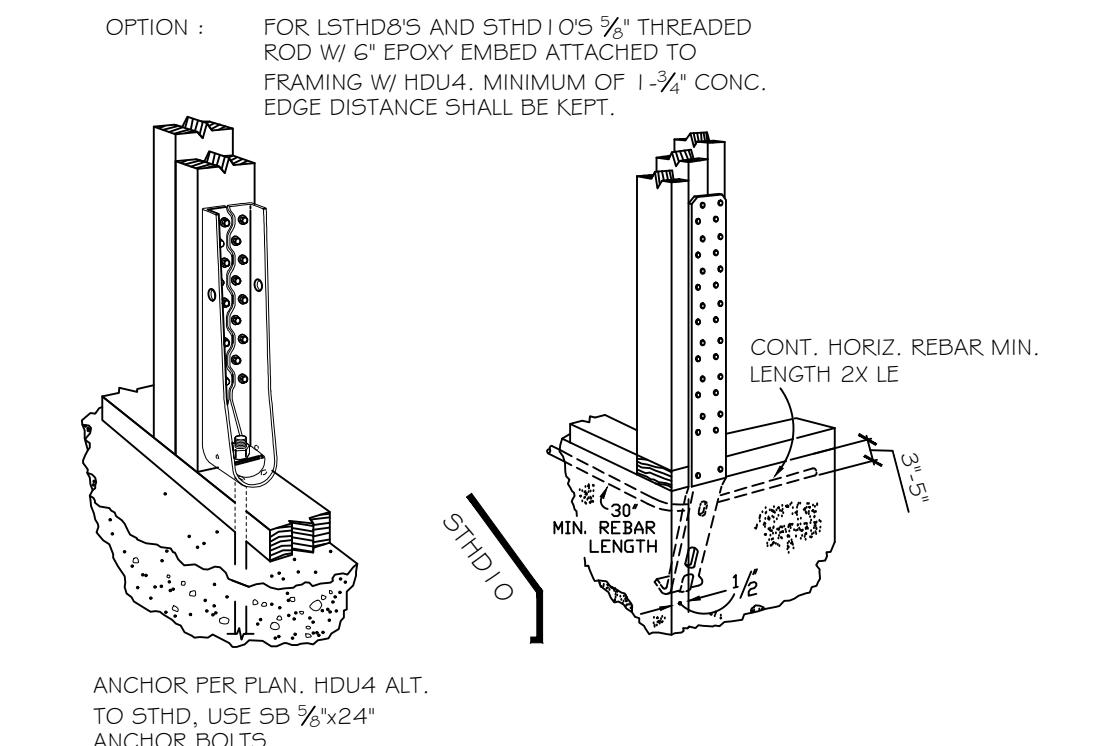
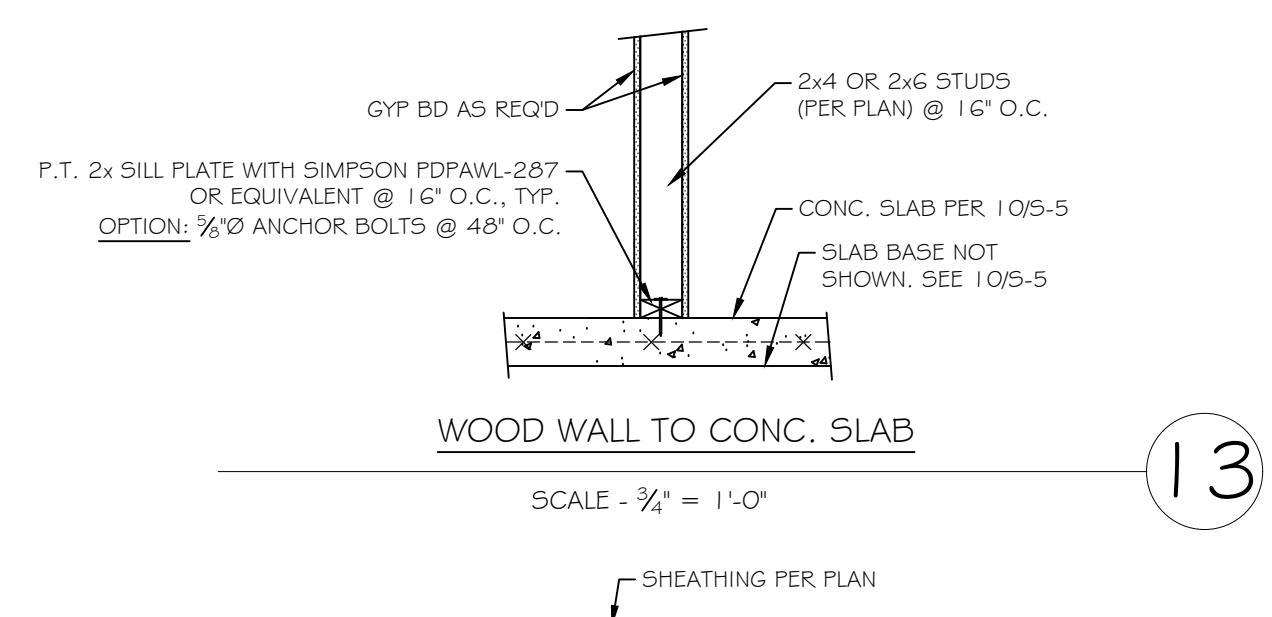


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NUMBER	DATE	REV. BY	DESCRIPTION

NUMBER	DATE	REV. BY	DESCRIPTION

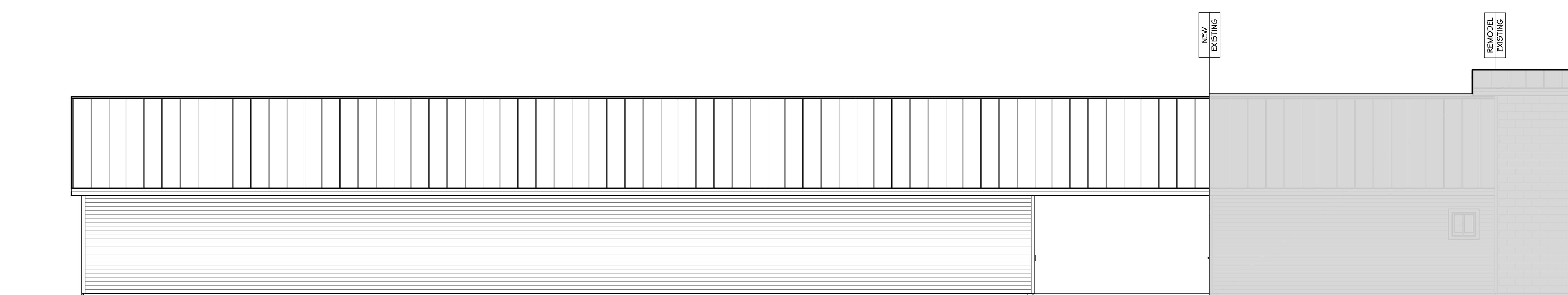
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FRONT ELEVATION

3/16 in = 1 ft



REAR ELEVATION

3/16 in = 1 ft

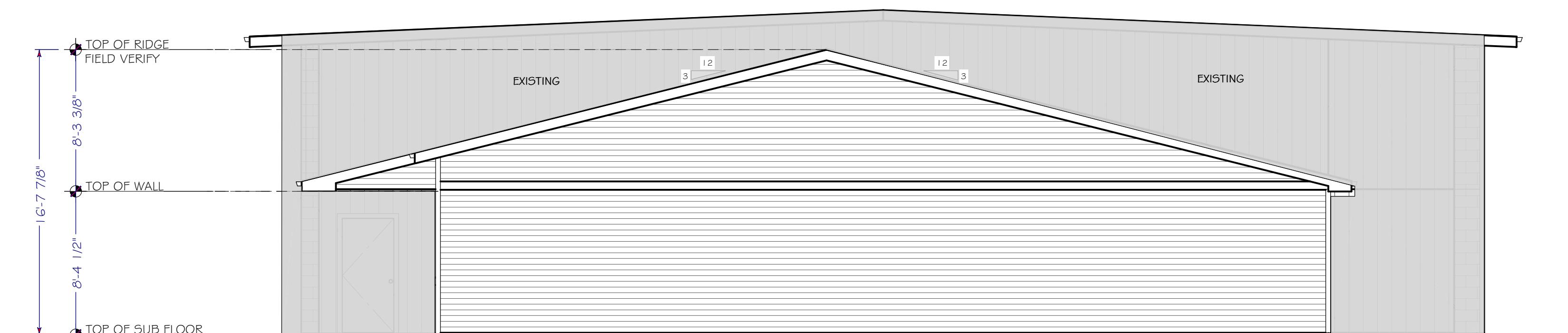
REVISION TABLE			
NUMBER	DATE	REV. BY	DESCRIPTION

2600 W REYNOLDS -
ADDITION
2600 W REYNOLDS AVE
CENTRALIA, WA. 98531

EXODUS ENGINEERING
PHONE: (360) 345-1566
LUKE@EXODUSENGINEER.COM



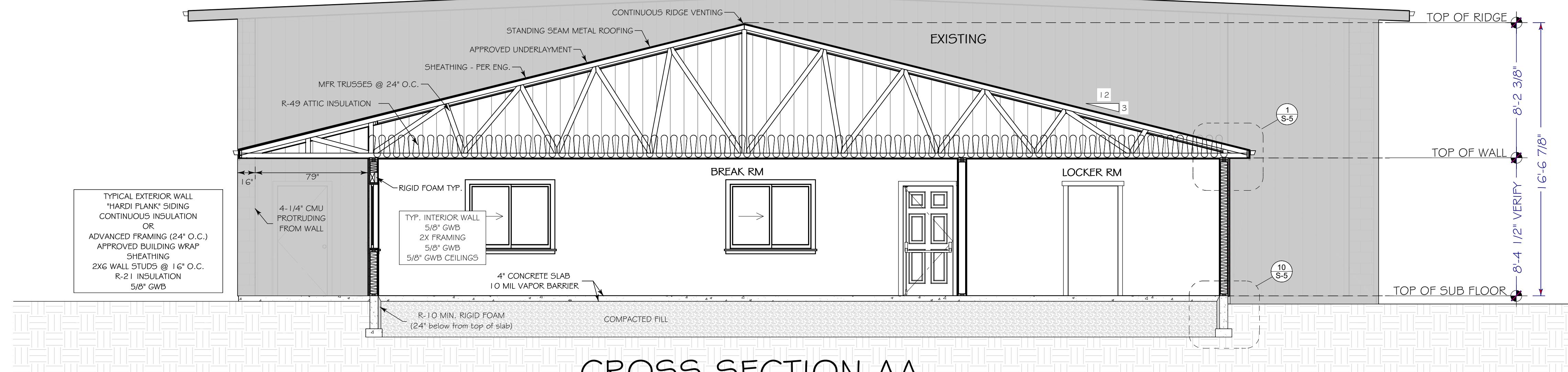
PROJECT #
23-007
DRAWN BY:
CLA
PRINT DATE:
4/9/2025
SHEET NO:
A-1



RIGHT ELEVATION

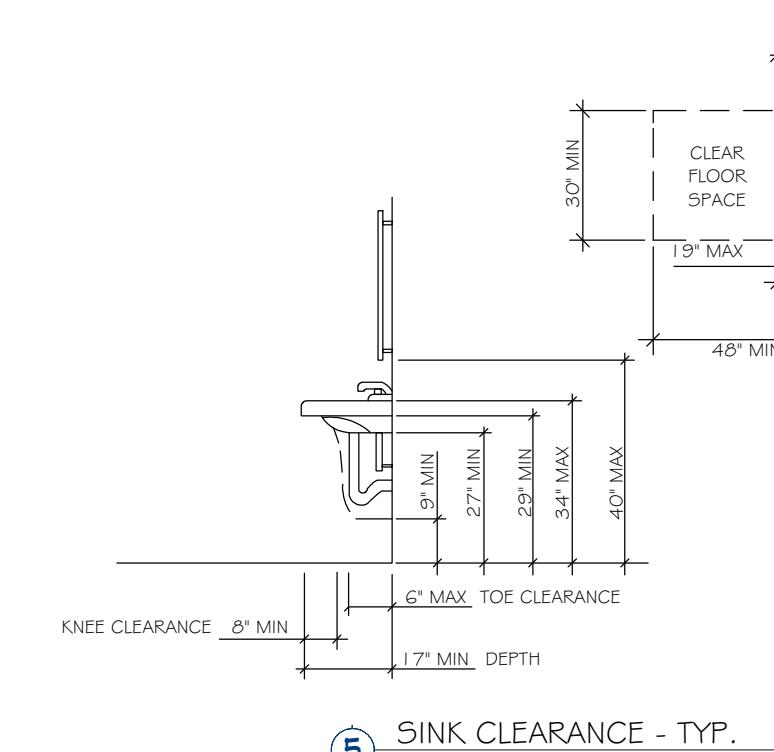
$$3/16 \text{ in} = 1 \text{ ft}$$

*** VERIFY ALL CONDITIONS & DIMENSION BEFORE CONSTRUCTION BEGINS ***



CROSS SECTION AA

$$1/4 \text{ in} = 1 \text{ ft}$$

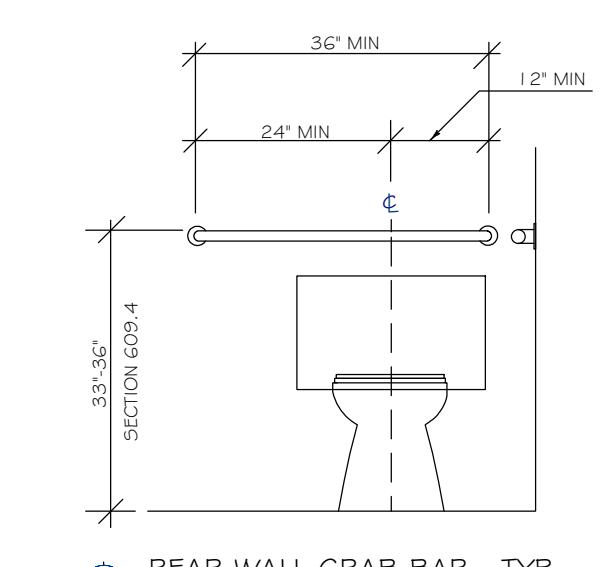


5 SINK CLEARANCE - TYP.

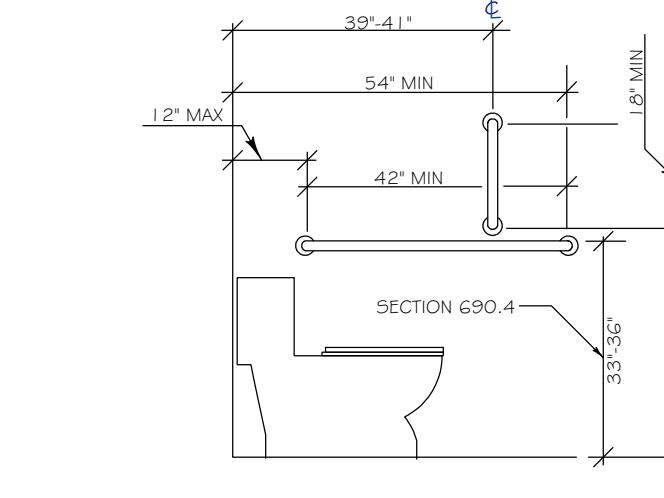


BASIC WINDOW FLASHING INSTALLATION*

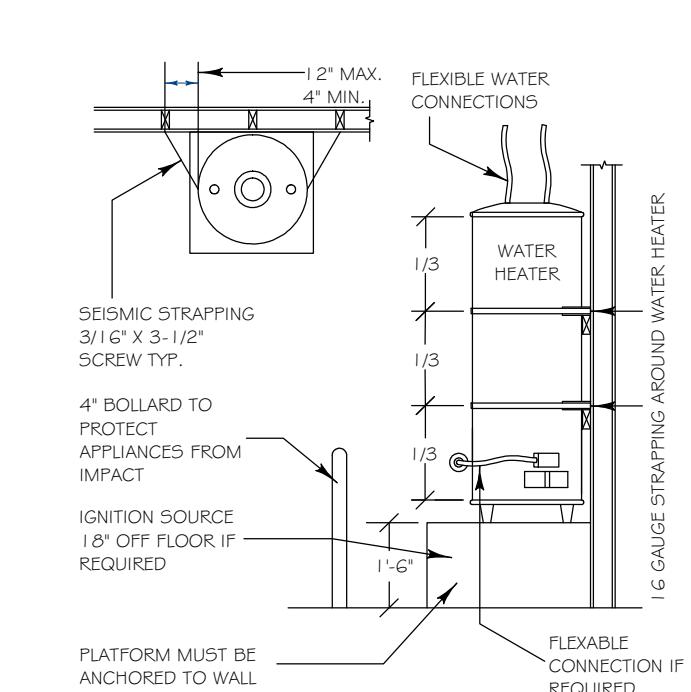
- 1) PREPARE ROUGH OPENING: CUT STND. "I-CUT" IN THE WRB. CUT (2) 45° SLITS AT TOP TO CREATE FLAP. APPLY FLEXIBLE FLASHING AT SILL + 6" MIN. UP JAMBS. SECURE FLEXED EDGE OF FLASHING WITH MECHANICAL FASTENERS.
- 2) INSTALL WINDOW PER MANUFACTURER'S INSTRUCTIONS.
- 3) APPLY FLASHING TAPE AT JAMBS, EXTENDING 1" ABOVE AND BELOW WINDOW HEAD FLANGE AND BOTTOM OF SILL FLASHING. APPLY FLASHING TAPE ALONG HEAD, EXTENDING BEYOND OUTER EDGES OF JAMB FLASHING.
- 4) REPLACE WRB FLAP AT HEAD AND TAPE REMAINING CUTS IN WRB



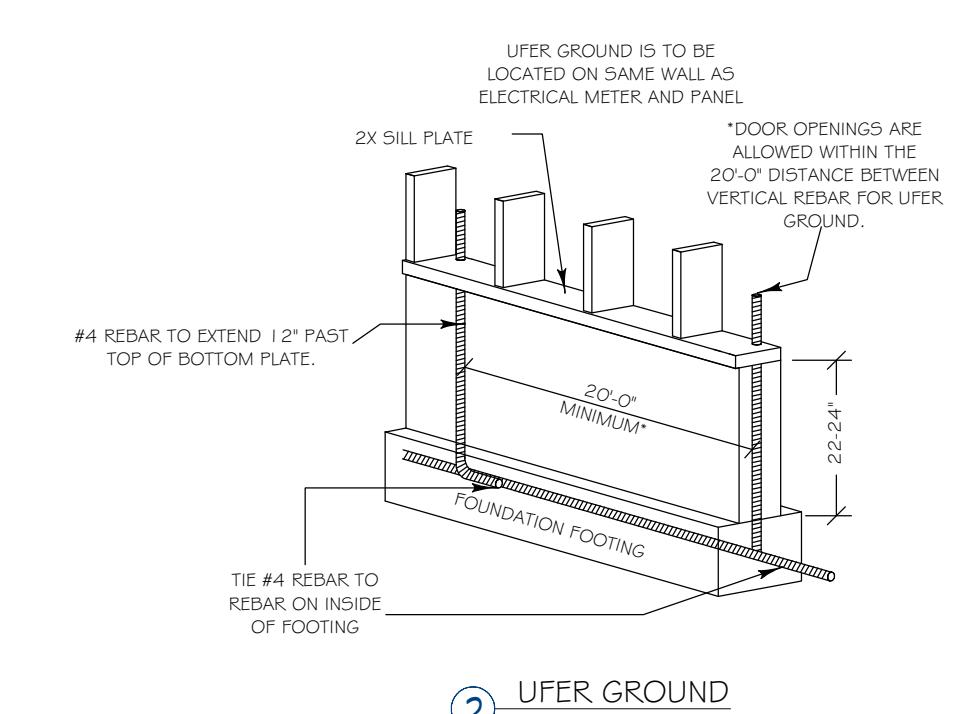
6 REAR WALL GRAB BAR - TYP



SIDE WALL GRAB BAR - TYP.



WATER HEATER STRAPPING



UFER GROUND

EXHIBIT "A"

LONG RD VACATION

RIGHT-OF-WAY VACATION AREA:

THAT PORTION OF LONG RD LYING EAST OF S. YEW ST., BEING 30.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

COMMENCING AT THE SOUTHWEST CORNER OF SECTION 8, TOWNSHIP 14 NORTH, RANGE 2 WEST, W.M.;
THENCE S86°56'02"E ALONG THE SOUTH LINE OF SAID SECTION 8 A DISTANCE OF 30.01 FEET TO THE CENTERLINE OF S. YEW ST. AS DEFINED BY CITY OF CENTRALIA BOUNDARY LINE ADJUSTMENT NO BLA 2023-0544 RECORDED UNDER LEWIS COUNTY AUDITOR'S FILE NO.3600091, VOLUME 4 OF BLAM, PAGE 272;
THENCE S01°24'47"W ALONG THE EXTENSION OF SAID CENTERLINE A DISTANCE OF 165.59 FEET TO THE INTERSECTION WITH LONG RD. BEING THE CUSP OF A CURVE HAVING A RADIUS OF 600.00 FEET, OF WHICH THE RADIAL POINT BEARS S84°44'07"E;
THENCE NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 16°52'52" AN ARC DISTANCE OF 176.78 FEET TO THE **POINT OF BEGINNING**;
THENCE CONTINUING ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 02°22'45" AN ARC DISTANCE OF 24.92 FEET;
THENCE N24°31'31"E A DISTANCE OF 35.24 FEET TO THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 600.00 FEET;
THENCE ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 09°12'43" AN ARC DISTANCE OF 96.47 FEET;
THENCE N15°18'48"E A DISTANCE OF 287.08 FEET;
THENCE N16°02'56"E A DISTANCE OF 276.94 FEET TO THE INTERSECTION OF THE PROJECTED SOUTH LINE OF ASSESSOR'S PARCEL NO. 003581011000 CONVEYED TO DHKK, LLC PER STATUTORY WARRANTY DEED RECORDED UNDER LEWIS COUNTY AUDITOR'S FILE NO. 3610629, AND THE **TERMINUS** OF THE DESCRIBED CENTERLINE.

THE SIDE LINES OF WHICH SHALL BE LENGTHENED OR SHORTENED TO THE PROJECTION OF SAID PARCEL CONVEYED TO DHKK, LLC AND THE EASTERLY RIGHT-OF-WAY OF S. YEW ST PER BLA NO. 2023-0544 RECORDED UNDER LEWIS COUNTY AUDITOR'S FILE NO. 3600091, VOLUME 4 OF BLAM, PAGE 272, RECORDS OF LEWIS COUNTY, WASHINGTON.

CONTAINING 43,541.52 SQFT, MORE OR LESS.

EXHIBIT B

PORTION OF THE SW 1/4 SW 1/4 SEC 8, T 14 N, R 2 W, W.M.
CITY OF CENTRALIA, LEWIS COUNTY, WASHINGTON

