



Site Plan Review Committee

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SITE PLAN REVIEW COMMITTEE

Meeting Agenda

Monday, April 28, 2025

Join Zoom meeting:

<https://us02web.zoom.us/j/89118869218?pwd=11a9b4quXhUyVEqEEoUwe9dV7gehqr.1>

Join by mobile: #1-253-215-8782

Meeting ID: 891 1886 9218 Passcode: 926458

All applicants should join the meeting at 10 AM as time frames are estimations only and subject to change. The public is invited to participate.

9:00 AM STAFF REVIEW TIME

1. Weekly Permit List (pg. 1)

10:00 AM – Pre-Application Conference (pgs. 2-5)

Project Name: Quick Serve Restaurant with Drive-thru
Applicant/Owner: Nathan Lodico, 4G Development
Property Address: Art Lehman Drive & S Yew Street
Contact Phone: 805.302.4823
Email: nlodico@4Gdev.com
Zone: PMP, Port Master Plan
Comp. Plan: PMP, Port Master Plan
Parcel Information: 003487007007, 3.22 AC
Request: Construction of a 5,077 sq. ft. restaurant and all associated infrastructure.

10:30 AM – Pre-Application Conference (pgs. 6-9)

Project Name: Summerside Heights Plat
Applicant/Owner: Brandon Johnson, JSA Civil
Property Address: 189 Summerside Drive
Contact Phone: 360.515.9600
Email: brandon.johnson@jsa-civil.com
Zone: R-5A, Rural Residential
Proposed amendment to R:4
Comp. Plan: R-5A, Rural Residential
Proposed: LDR, Low Density Residential
Parcel Information: 010907062000, 4.48 AC
Request: 6-lot residential short plat.

Permit Report

Permit #	Permit Date	Building/L and Use	Permit Type	Construction Site Address	Description of work being done under this permit	Applicant Name
20250248	4/16/2025	Building Permit	Single Family Residence - New	679 Salzer Creek Drive/Lot 18	New Construction SFR	Briana Gorman
20250250	4/16/2025	Building Permit	Single Family Residence - New	673 Salzer Creek Drive	New Construction SFR	Briana Gorman
20250251	4/16/2025	Building Permit	Single Family Residence - New	667 Salzer Creek Drive/Lot 16	New Construction SFR	Briana Gorman
20250252	4/16/2025	Building Permit	Single Family Residence - New	661 Salzer Creek Drive / Lot 15	New Construction SFR	Briana Gorman
20250253	4/16/2025	Building Permit	Mechanical	1016 McKinley Ln N	Replacing gas furnace and adding AC unit	Elissa Carbajal
20250254	4/16/2025	Building Permit	Single Family - Remodel	412 Brock St	Drywall, new roof, siding, new kitchen, new Floor	Jaswinder Kaur
20250255	4/17/2025	Building Permit	Mechanical	315 N Tower Ave	Replace refrigeration for walk-in cooler	Gavin Wright
20250256	4/17/2025	Building Permit	Single Family - Addition	720 W 1st	Tub to Shower	Millie Velasquez
20250257	4/17/2025	Building Permit	Single Family Residence - New	655 Salzer Creek Drive / Lot 14	New Construction SFR	Briana Gorman
20250258	4/17/2025	Building Permit	Single Family Residence - New	649 Salzer Creek Drive / Lot 13	New Construction SFR	Briana Gorman
20250260	4/17/2025	Building Permit	Single Family Residence - New	643 Salzer Creek Drive / Lot 12	New Construction SFR	Briana Gorman
20250266	4/18/2025	Building Permit	Single Family - Addition	820 G St	Patio cover	Nathan Howard
20250267	4/21/2025	Building Permit	Plumbing	2120 N Pearl Street	Washer/Dryer hookup in bathroom	Temple Allen
20250268	4/22/2025	Building Permit	Plumbing	1015 Johnson Road	Temporary sink extension for hair wash station.	Dawn Bouton
20250269	4/23/2025	Building Permit	Commercial - New Build	1820 Cooks Hill Rd	Mobile MRI pad and covered walkway addition	Dexter Chin



SITE PLAN REVIEW COMMITTEE (SPRC)

Pre-Application Conference Request

MEETING DATE: Every Monday (except holidays and subject to submittals)

TIME: Meetings begin at 10:00 am and are approximately 30 minutes long. All meetings are scheduled on a first-come basis.

MEETING LOCATION: Centralia Public Works Office (City Light), 1100 N. Tower, Centralia

Parcel Number(s): 003487007007

Site Address: SWC of Art Lehman Dr & Yew Street Centralia, WA 98531

Applicant/Agent: Nathan Lodico - 4G Development & Consulting, Inc.

Phone: 805-302-4823 **Email:** nlodico@4Gdev.com

Name/Type of Business (if applicable): Chick-fil-A

Brief Description of Proposal (*attach separate sheet if needed*):

New restaurant with a 5,077sf building, 68 parking spaces, 90 indoor seats,
16 outdoor seats, trash enclosure, dual lane drive thru, and canopies.

- Description of Proposal (1 – digital or paper copy)
- Conceptual Site Plan showing existing and proposed uses/structures (1 – digital or paper copy)
- Supporting documents including studies (1 – digital or paper copy)

SUBMITTAL REQUIREMENTS:

Submittal items must be received no later than 3 PM on the Wednesday preceding the next meeting date, in order to be added on the following weeks' agenda.

The purpose of the pre-application conference is to acquaint the applicant with the review procedures and applicable Centralia Municipal Code provisions to the proposal. A minimum of one meeting is required for all project permit applications related to the same project action.

The SPRC Pre-Application Conference is available to applicants for projects requiring a land use review or if you have utility or other questions about a specific property. The meeting will include representatives from engineering, public works, water, waste-water, electric, stormwater, planning, and building.

City of Centralia – Project Design Narrative

#06150 Yew St & I-5 FSU

4/16/2025

This is a submittal for the entitlement of a Chick-fil-A Restaurant at the southwest corner of Art Lehman Drive and Yew Street in Centralia, WA. This application is for the pre-application conference request of the Site Plan Review Committee.

Size & Service: The proposed new building is 5,077 square feet. Services include indoor ordering with sit-down dining inside and outside, and/or take-out, drive-through service, catering, and mobile ordering (pick-up and drop-off, either inside or outside in designated parking stalls).

Parking and Transportation: The Chick-fil-A restaurant is designed to provide a pleasant experience for both dine-in and drive-through guests. Ample parking is provided, as well as a double-lane drive-through. A canopy is proposed over the Chick-fil-A drive-thru for the protection of employees who will take orders on iPads during peak hours.

Hours & Employees: The proposed hours of operation for Chick-fil-A are from 6:00 am to 11:00 pm, Monday through Saturday. Chick-fil-A is closed on Sundays. The Chick-fil-A restaurant will employ 60-80 area residents with full and part-time positions available. The peak employee shift includes 15 employees, and the off-peak shift includes approximately 7 employees.

Menu Boards & Acoustics: The menu board speakers for Chick-fil-A are acoustically variable with Automatic Volume Control (AVC), which adjusts the volume level based on outdoor ambient noise levels. AVC ensures the speaker volume remains appropriate regardless of changes in ambient sound levels.

Deliveries: Deliveries occur 2-3 times per week during off-peak hours to minimize on-site circulation impact. Deliveries typically take 15-45 minutes, with a goal to be on and off-site as quickly and safely as possible.

Food, Odor Control & Prevention: Chick-fil-A's chicken is cooked in a pressure cooker that uses Patented Capture Jet® technology to contain odors effectively. The mechanical hood system for waffle fries is designed to remove 95% of grease particulates. Everything on the menu is made from scratch daily, including lemonade, hand-chopped salads, hand-breaded chicken, and hand-spun milkshakes.

Security and Police Issues: Security cameras will strategically cover the site, including the front door. All security camera footage will be retained for 30 days for review by security personnel or law enforcement if necessary.

Trash/Litter/Graffiti/Site Maintenance: Chick-fil-A maintains a policy to keep the site clean of trash at all times, conducting regular maintenance checks. Graffiti is removed promptly, typically within 24 hours. The business maintains a zero-tolerance policy for loitering and panhandling. No consumption or open alcoholic beverages are permitted on the premises. Trash is picked up daily and separated for recycling and organic waste.

Lighting: Proposed lighting will be tasteful and provide a safe and secure parking and dining experience. A photometric plan or lighting study will ensure minimal impact on nearby residential properties.

Employee Parking: Employees are encouraged to use public transportation or ride-sharing services. With 68 proposed parking spaces, parking for both customers and employees is not expected to be an issue.

Operator & Community Involvement: Chick-fil-A's franchise Operator model fosters local entrepreneurship, with each restaurant locally owned and operated. Operators actively engage with the community, supporting local schools and organizations while residing locally.



SITE PLAN REVIEW COMMITTEE (SPRC) Pre-Application Conference Request

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TIME: Meetings begin at 10:00 am and are approximately 30 minutes long. All meetings are scheduled on a first-come basis.

MEETING LOCATION: Centralia Public Works Office (City Light), 1100 N. Tower, Centralia

Parcel Number(s): [010907062000](#)

Site Address: [189 Summerside Drive](#)

Applicant/Agent: Brandon Johnson, PE | JSA Civil, LLC

Phone: [360-515-9600](#) **Email:** brandon.johnson@jsa-civil.com

Name/Type of Business (if applicable):

Brief Description of Proposal (attach separate sheet if needed): Please refer to the enclosed narrative.

- Description of Proposal (1 – digital or paper copy)
- Conceptual Site Plan showing existing and proposed uses/structures (1 – digital or paper copy)
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Technical Memorandum

To: Hillary Hoke, Asst. Director, Centralia Community Development Department
From: Nick Wheeler
Date: April 21, 2025
Subject: Project Narrative
Project: Summerside Heights Plat

Dear Ms. Hoke,

This project narrative has been prepared in support of the Summerside Heights Plat project proposed at 189 Summerside Drive on Lewis County TPN 010907062000. The following information is intended to provide an overall summary of the existing conditions and improvements that are proposed.

Existing Conditions

The project site consists of one \pm 4.48-acre parcel located along the west side of Summerside Drive. The site is currently developed with a \pm 3,604 ft² single-family residence and associated \pm 672 ft² outbuilding. The undeveloped portion of the property contains mixed vegetation consisting of grass, Evergreen trees, shrubs, and brush.

Proposed Development and Zoning

A subdivision is proposed to create a total of six (6) tax lots for single-family residences. One tax lot will be created to segregate the existing single-family home that will remain in place; five (5) new parcels will be created for the future construction of new single-family homes. The site is located within the Centralia Urban Growth Area (UGA) and is currently zoned R:2 – very low density, 0-2 units per acre. Following adoption of the City of Centralia's pending Comprehensive Plan amendment, zoning of the site will be increased to R:4, allowing 0-4 units per acre. Based on our understanding, the proposed project is a permitted use following adoption of the Comprehensive Plan amendment.

Critical Areas

Based on a review of Lewis County GIS mapping, the site contains steep slopes, is partially within an erosion hazard area, and is within a Class I Critical Aquifer Recharge Area (CARA). There are no known or mapped streams, waterbodies, or wetlands on or adjacent to the site. Critical area impacts are not anticipated to result from the proposed subdivision.

Water & Sanitary Sewer

The existing home is currently served by City of Centralia water. The project proposes new connections from the City of Centralia to serve the future homes. The existing home is served by an on-site septic system, which will

remain in place. The new parcels created by the project will be served by individual on-site septic systems, which will be permitted as each home is constructed. Soil type(s) at the site are currently unknown; each lot has been sized to meet the minimum lot size requirements for Type 6 soils on a public water supply (23,000 sf).

Dry Utilities

Power to the existing home is provided by Centralia City Light. New services will be requested from Centralia City Light to serve the future single-family homes as they are constructed.

Stormwater

Stormwater management associated with the access easement utilizes Full Dispersion. Individual stormwater site plans for the future homes will be prepared in accordance with City of Centralia requirements. Residential stormwater site plans will be submitted for review with the building permit applications for each new home prior to building construction. It is understood that individual building permits will be required before construction of the new homes.

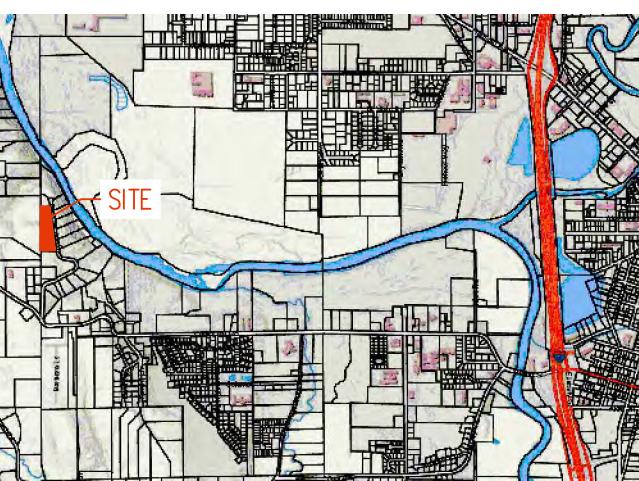
Traffic Access

Access to the site is provided from Summerside Drive. The existing home is accessed through an easement, which extends from Summerside Drive and crosses two neighboring parcels under separate ownership. The project proposes to utilize the easement to serve the existing home and 3 additional parcels; two of the new parcels will be accessed directly by driveways from Summerside Drive. Please refer to the enclosed preliminary site plan for additional information.

Thank you for accepting this project narrative and land use submittal for the proposed Summerside Heights Plat project. Please contact me with any comments or questions at nick.wheeler@jsa-civil.com.

Respectfully,

Nick Wheeler
JSA Civil, LLC



VICINITY MAP (NTS)

SITE DATA

ADDRESS	189 SUMMERSIDE DR
TPN	010907062000
PARCEL SIZE	4.48 ACRES
JURISDICTION	CENTRALIA UGA
ZONING	R4 (PENDING COMP. PLAN)
WATER	CENTRALIA
SEWER	PRIVATE ON-SITE
POWER	CENTRALIA CITY LIGHT

REV.	DATE	COMMENT	BY
0	04/17/25	PRE-APP SITE PLAN	JSA

DRAWN BY: _____
CHECKED BY: _____

SCALE: _____

0 80 160
SCALE IN FEET

PRELIMINARY
SUMMERSIDE HEIGHTS
PLAT

SHEET TITLE: _____

SHEET NO.: _____



CALL BEFORE YOU DIG

THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION BY CALLING THE UNDERGROUND LOCATE LINE AT 811 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATION.