



Site Plan Review Committee

Michael Thomas, City Manager

**COMMUNITY DEVELOPMENT
DEPARTMENT**
360-330-7662

Emil Pierson, CD Director
epierson@cityofcentralia.com

Mike Watilo, Building Official
mwatalo@cityofcentralia.com

PUBLIC WORKS DEPARTMENT
360-330-7512

Kim Ashmore, PW Director
kashmore@cityofcentralia.com

Patty Page, City Engineer
ppage@cityofcentralia.com

CENTRALIA CITY LIGHT
360-330-7512
ML Norton, CCL General Manager
mnorton@cityofcentralia.com

POLICE DEPARTMENT
360-330-7680
Andy Caldwell, Chief
acaldwell@cityofcentralia.com

RIVERSIDE FIRE AUTHORITY
360-736-3975
Terry Ternan, Fire Marshal
tternan@riversidefire.net

LEGAL DEPARTMENT
360-330-7675
Kyle Manley, City Attorney
kmanley@cityofcentralia.com

SITE PLAN REVIEW COMMITTEE

Meeting Agenda

Monday, June 16, 2025

Join Zoom meeting: [Public Meeting Link](#)

Join by mobile: #1-253-215-8782

Meeting ID: 891 1886 9218 Passcode: 926458

All applicants should join the meeting at 10 AM as time frames are estimations only and subject to change. The public are invited to participate.

9:00 AM STAFF REVIEW TIME

10:00 AM – Pre-Application Conference (pgs. 1-3)

Project Name:	Main Street Coffee Stand
Applicant/Owner:	Allen Austin
Property Address:	702 W Main
Contact Phone:	Not provided
Email:	allenaustin57@gmail.com
Zone:	C-3, Core Commercial District
Comp. Plan:	CBD, Central Business District
Parcel Information:	000527-000-000, 0.18 AC
Request:	Install coffee stand

10:30 AM – Pre-Application Conference (pgs. 4-6)

Project Name:	Horner Mini-Storage
Applicant/Owner:	John Johnson
Property Address:	200 E Main Street
Contact Phone:	360.951.9394
Email:	ryan@ljhilton.com
Zone:	M-1, Light Industrial District
Comp. Plan:	LI, Light Industrial
Parcel Information:	000126-000-000, 0.83 AC
Request:	Construct mini-storage units



SITE PLAN REVIEW COMMITTEE

Pre-Application Conference Request

MEETING DATE: Every Monday; excluding holidays and subject to number of submittals

TIME: 10:00 AM, each submittal will be given approximately 30 minutes.

LOCATION: Online via Zoom

Parcel Number(s): 000527-000-000

Site Address: 702 w main st, Centralia 98531

Applicant/Agent: Allen Austin

Phone and Email: Allenaustin57@gmail.com

Description of Proposal (attach a separate sheet if needed): Mobile coffee trailer

Submittal Requirements:

- Conceptual site plan showing existing and proposed uses and structures.
- Details on anticipated utility needs (water meter size, sewer capacity, power loads, etc.)
- Details on anticipated traffic impacts (existing roads, vehicles trips per day, etc.)

The purpose of the pre-application conference is to acquaint the applicant with the review procedures and applicable Centralia Municipal code provisions. It is not a full comprehensive technical review. Comments from staff are not binding and are not to be construed as approvals, waivers, variances, etc.

Submittals must be complete and received no later than 3:00 PM on the Wednesday preceding the next meeting date in order to be added to the next meeting agenda. Submittals may be made via digital or paper copies. If you have studies and/or additional information that may aide in our review of the project, please include those with your submittal.

W Main St.

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Entrance

Empty parking lot

702 west main st 98531

Coffee
mobile
Stand

Exit

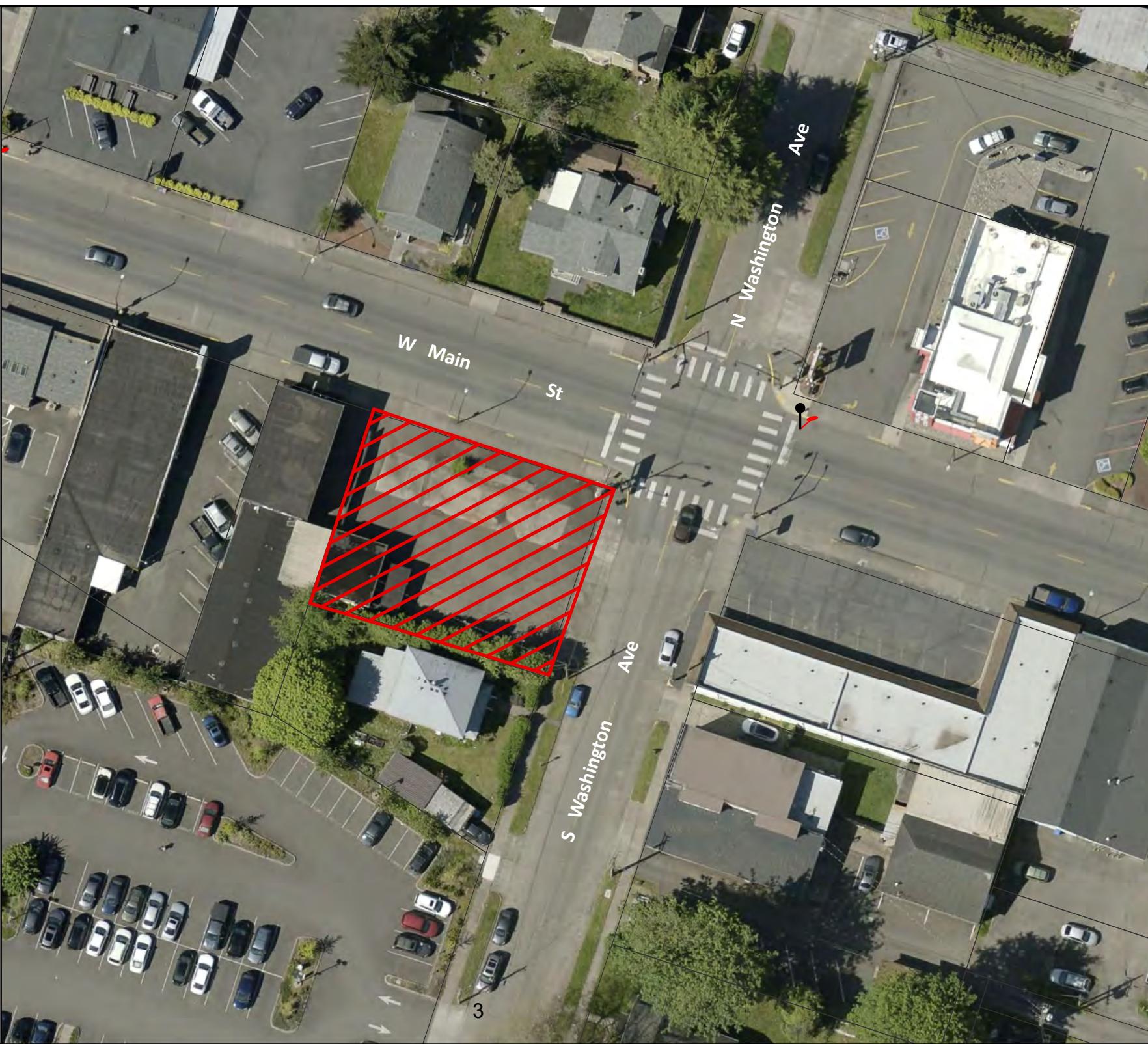
Washington AVE.

Existing Building/Rammar

- Estimated 10-20 cars trips
- No utilities needs.

• Closed for
Business

702 W Main Street Vicinity Map





SITE PLAN REVIEW COMMITTEE

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LOCATION: Online via Zoom

Parcel Number(s): 000126-000-000

Site Address: 200 E Main Street

Applicant/Agent: John Johnson

Phone and Email: 360.951.9394 - ryan@ljhilton.com

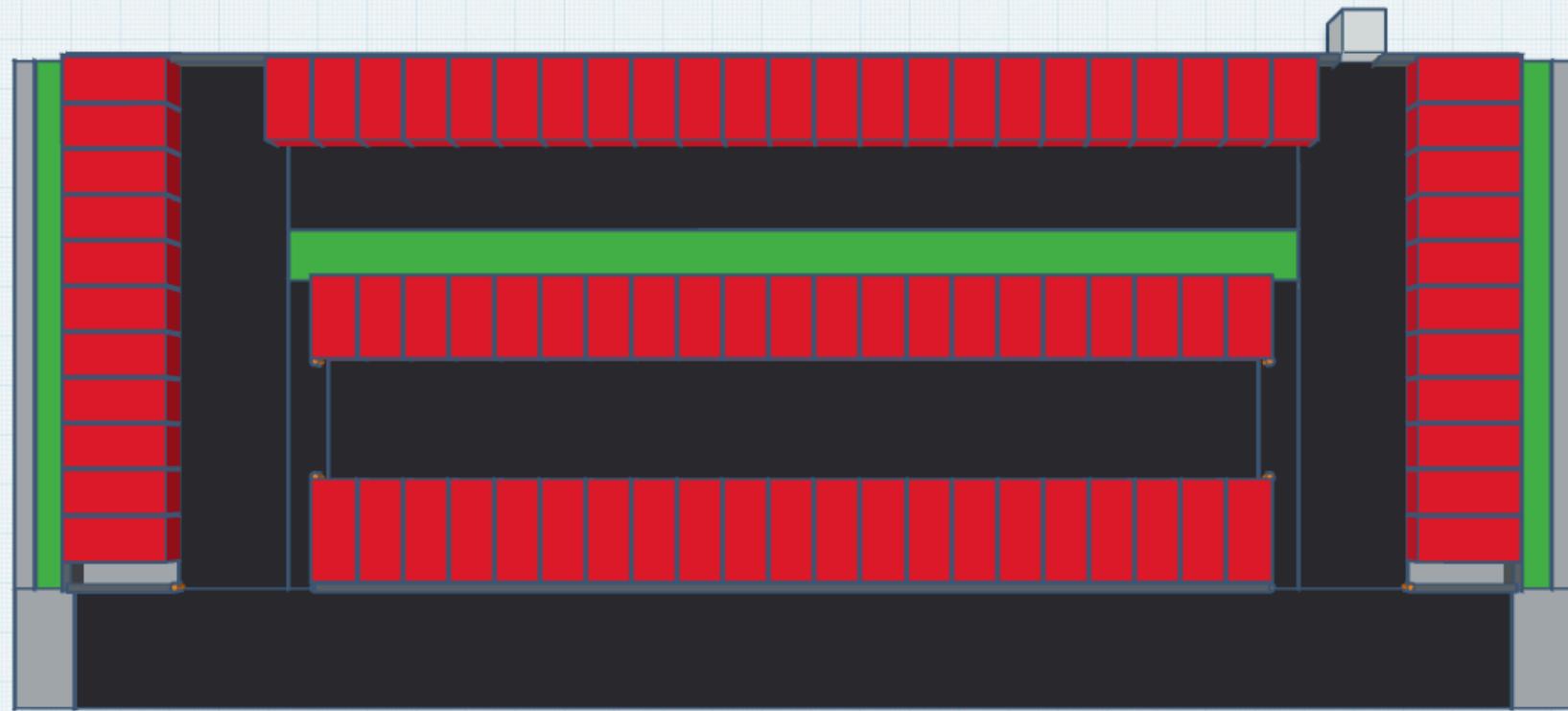
Description of Proposal (attach a separate sheet if needed): Fence the site and setup modular mini-storage with lights and security cameras.

Submittal Requirements:

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- Details on anticipated utility needs (water meter size, sewer capacity, power loads, etc.)
- Details on anticipated traffic impacts (existing roads, vehicles trips per day, etc.)

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200 E Main Street Vicinity Map

